GEOPAK Computer Identification No. 108720

DESIGN PACKAGE (GEOPAK).

THIS PROJECT WAS DEVELOPED UTILIZING THE DEPARTMENT'S ENGINEERING

FHWA 534 DATA 43103

PROJECT NHPP-5A01(801) 0028-029-269 (SEE TABULATION BELOW FOR SECTION NUMBERS) (SEE TABULATION BELOW FOR SECTION NUMBERS)

> THESE PLANS ARE UNFINISHED AND UNAPPROVED AND ARE NOT TO BE USED FOR ANY TYPE OF CONSTRUCTION OR THE ACQUISITION OF RIGHT OF WAY.

> > TIER 2 PROJECT

RECOMMENDED FOR APPROVAL

FOR RIGHT OF WAY ACQUISITION

DISTRICT PLANNING AND INVESTMENT MANAGER

DISTRICT PROJECT DEVELOPMENT ENGINEER

DISTRICT ENGINEER/ADMINISTRATOR

RECOMMENDED FOR APPROVAL FOR CONSTRUCTION

DISTRICT PLANNING AND INVESTMENT MANAGER

DISTRICT PROJECT DEVELOPMENT ENGINEER

APPROVED FOR CONSTRUCTION

RFO PLANS For Information Only DATE: 3/20/2019

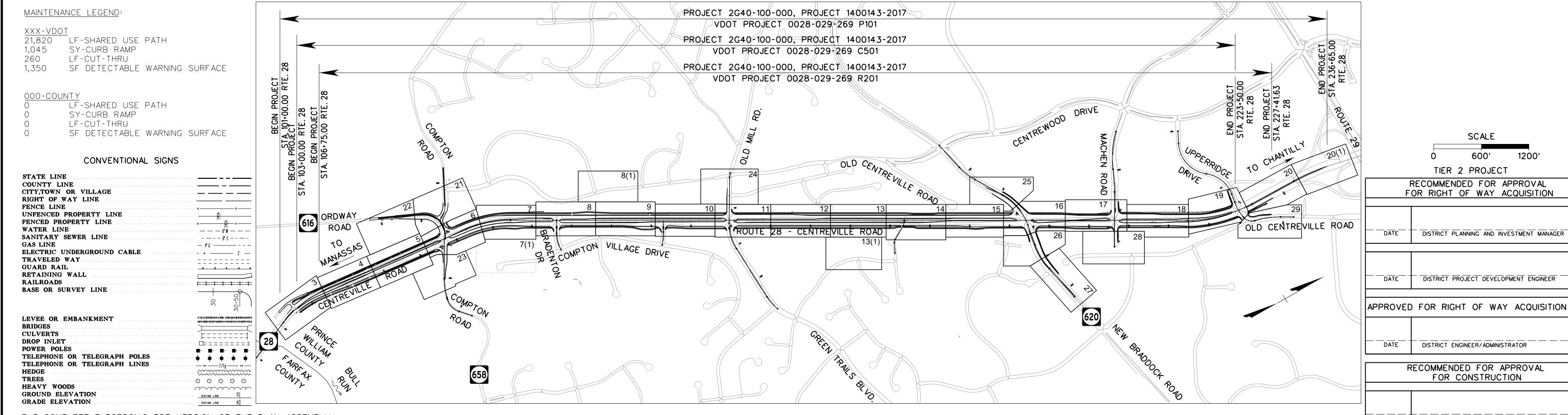
*SEE SHEET IA FOR FUNCTIONAL CLASSIFICATION AND TRAFFIC DATA

FAIRFAX COUNTY, VIRGINIA

DEPARTMENT OF TRANSPORTATION

PROJECT NO. 2G40-100-000, FUND NO. 400-C40017 PROJECT NO. 1400143-2017, FUND NO. 500-C50000

VDOT PROJECT NO. 0028-029-269 P101, R201, C501, UPC 108720, FHWA NHPP-5A01(801)



THE COMPLETE ELECTRONIC PDF VERSION OF THE PLAN ASSEMBLY AS AWARDED, HAS BEEN SEALED AND SIGNED USING DIGITAL SIGNATURES AND THE OFFICIAL PLAN ASSEMBLY IN ELECTRONIC FORMAT IS STORED IN THE VDOT CENTRAL OFFICE PLAN LIBRARY, INCLUDING ALL SUBSEQUENT REVISIONS, WILL BE THE OFFICIAL CONSTRUCTION PLANS. FOR INFORMATION RELATIVE TO ELECTRONIC FILES AND LAYERED PLANS, SEE THE GENERAL NOTES.

DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE DEPARTMENT.

THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE DEPARTMENT'S 2016 ROAD AND BRIDGE SPECIFICATIONS, 2016 ROAD AND BRIDGE STANDARDS, 2009 MUTCD, 2011 VIRGINIA SUPPLEMENT TO THE MUTCD, 2011 VIRGINIA WORK AREA PROTECTION MANUAL AND AS AMENDED BY CONTRACT PROVISIONS AND THE COMPLETE ELECTRONIC PDF VERSION OF THE PLAN ASSEMBLY.

ALL CURVES ARE TO BE SUPERELEVATED, TRANSITIONED AND WIDENED IN ACCORDANCE WITH STANDARD TC-5.11U, EXCEPT WHERE OTHERWISE NOTED.

THE <u>ORIGINAL</u> APPROVED TITLE SHEET(S), INCLUDING ORIGINAL SIGNATURES, ARE FILED IN THE VDOT CENTRAL OFFICE PLAN LIBRARY. ANY MISUSE OF ELECTRONIC FILES, INCLUDING SCANNED SIGNATURES, IS ILLEGAL AND ENFORCED TO THE FULL EXTENT OF THE LAW.

PRINCE WILLIAM COUNTY LINE TO ROUTE 29

Population 1,081,726 (2010 Census)

STATE PROJECT		FEDERAL AID PROJECT NO.		TYPE CODE	UPC NO	EQUALITIES	LENGTH II BRIDG		LENGTH E BRIDG		BRIDGE PROJECT	TYPE PROJECT	DESCRIPTION
NO.		11100201 110.	CODE	140.	FEET	FEET	MILES	FEET	MILES	NO.	1 1100201		
	P-101	NHPP-5A01(801)		108720	N/A	13,565.00	2.569	13,565.00	2.569	N/A	PRELIM ENG.	FROM: 0.057 MI. N. OF ROUTE 29	
69												TO: 0.073 MI. S. OF PRINCE WILLIAM COUNTY LINE	
9-2	R-201	N/A		108720	N/A	12,066.63	2.285	12,066.63	2.285	N/A	R/W	FROM: 0.166 MI. N. OF ROUTE 29	
1-02												TO: 0.248 MI. S. OF PRINCE WILLIAM COUNTY LINE	
0028	C-501	N/A		108720	N/A	12,050.00	2.282	12,050.00	2.282	N/A	CONSTR.	FROM: 0.095 MI. N. OF ROUTE 29	
												TO: 0.322 MI. S. OF PRINCE WILLIAM COUNTY LINE	

Project Lengths are based on Route 28 Baseline.

FINAL PLANS AUTHORIZED FOR CONSTRUCTION PER DPWES/DOT DELEGATION MATRIX

DIRECTOR, UTILITIES DESIGN & CONSTRUCTION DIVISION

DIRECTOR, DEPARTMENT OF TRANSPORTATION

H

DISTRICT ENGINEER/ADMINISTRATOR

DATE

DATE

FUNCTIONAL CLASSIFICATION				
OTHER U	RBAN PRINCIPAL ARTERIAL (GS-5)			
CENTREVILLE ROAD (ROUTE 28)	North of New Braddock Road			
AADT (2016)	59,700			
AADT (2023)-Opening Yr.	69,900			
AADT (2040)	77,000			
DHV	5,140			
D (%)	0.57			
T (%)	2			
MINIMUM DESIGN V (mph)	50 MPH			
POSTED V (mph)	45 MPH			

FUNCTIONAL CLASSIFICATION				
URBAN N	MINOR ARTERIAL (GS-6)			
ORDWAY ROAD (ROUTE 616)	West of Route 28			
AADT (2016)	13,000			
AADT (2023)-Opening Yr.	15,300			
AADT (2040)	16,800			
DHV	1,570			
D (%)	0.74			
T (%)	1			
MINIMUM DESIGN V (mph)	45 MPH			
POSTED V (mph)	45 MPH			

	FUNCTIONAL CLASSIFICATION
URBAN M	INOR COLLECTOR (GS-7)
UPPERRIDGE DRIVE (ROUTE 8349)	West of Route 28
AADT (2016)	6,900
AADT (2023)-Opening Yr.	8,100
AADT (2040)	8,900
DHV	770
D (%)	0.69
T (%)	1
MINIMUM DESIGN V (mph)	25 MPH
POSTED V (mph)	25 MPH

	FUNCTIONAL CLASSIFICATION
COMMERC	CIAL ENTRANCE
MACHEN ROAD (ROUTE 5401)	East of Route 28
AADT (2016)	4,000
AADT (2023)-Opening Yr.	4,700
AADT (2040)	5,200
DHV	440
D (%)	0.57
T (%)	0
MINIMUM DESIGN V (mph)	35 MPH
POSTED V (mph)	35 MPH

	FUNCTIONAL CLASSIFICATION
LOCAL RO	DAD
BRADENTON DRIVE	East of Route 28
AADT (2016)	1,300
AADT (2023)-Opening Yr.	1,500
AADT (2040)	1,700
DHV	100
D (%)	0.69
T (%)	0
MINIMUM DESIGN V (mph)	25 MPH
POSTED V (mph)	25 MPH

FUNCTIONAL CLASSIFICATION				
OTHER U	RBAN PRINCIPAL ARTERIAL (GS-5)			
CENTREVILLE ROAD (ROUTE 28)	South of Compton Road			
AADT (2016)	47,900			
AADT (2023)-Opening Yr.	56,100			
AADT (2040)	61,800			
DHV	4,640			
D (%)	0.62			
T (%)	2			
MINIMUM DESIGN V (mph)	50 MPH			
POSTED V (mph)	45 MPH			

FUNCTIONAL CLASSIFICATION			
URBAN N	MAJOR COLLECTOR (GS-7)		
OLD MILL ROAD (ROUTE 8591)	West of Route 28		
AADT (2016)	4,300		
AADT (2023)-Opening Yr.	5,000		
AADT (2040)	5,500		
DHV	710		
D (%)	0.50		
T (%)	1		
MINIMUM DESIGN V (mph)	25 MPH		
POSTED V (mph)	25 MPH		

	FUNCTIONAL CLASSIFICATION
URBAN M	IAJOR COLLECTOR (GS-7)
OLD CENTREVILLE ROAD (ROUTE 898)	East of Route 28
AADT (2016)	9,300
AADT (2023)-Opening Yr.	10,900
AADT (2040)	12,000
DHV	890
D (%)	0.52
T (%)	2
MINIMUM DESIGN V (mph)	25 MPH
POSTED V (mph)	25 MPH

FUNCTIONAL CLASSIFICATION				
MAJOR COLLECTOR (GS-7)				
West of Route 28				
10,900				
12,800				
14,100				
1,320				
0.53				
1				
40 MPH				
40 MPH				

RFO PLANS
For Information
Only
DATE: 3/20/2019

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FUNCTIONAL CLASSIFICATION				
URBAN N	MAJOR COLLECTOR (GS-7)			
COMPTON ROAD (ROUTE 658)	East of Route 28			
AADT (2016)	5,400			
AADT (2023)-Opening Yr.	6,400			
AADT (2040)	7,000			
DHV	440			
D (%)	0.67			
T (%)	3			
MINIMUM DESIGN V (mph)	30 MPH			
POSTED V (mph)	30 MPH			

FUNCTIONAL CLASSIFICATION				
URBAN MINOR COLLECTOR (GS-7)				
GREEN TRAILS BOULEVARD (ROUTE 8024)	East of Route 28			
AADT (2016)	4,700			
AADT (2023)-Opening Yr.	5,500			
AADT (2040)	6,100			
DHV	370			
D (%)	0.55			
T (%)	1			
MINIMUM DESIGN V (mph)	25 MPH			
POSTED V (mph)	25 MPH			

FUNCTIONAL CLASSIFICATION							
URBAN M	MAJOR COLLECTOR (GS-7)						
MACHEN ROAD (ROUTE 5401)	West of Route 28						
AADT (2016)	7,200						
AADT (2023)-Opening Yr.	8,400						
AADT (2040)	9,300						
DHV	870						
D (%)	0.50						
T (%)	1						
MINIMUM DESIGN V (mph)	35 MPH						
POSTED V (mph)	35 MPH						

	FUNCTIONAL CLASSIFICATION					
URBAN M	IINOR ARTERIAL (GS-6)					
NEW BRADDOCK ROAD (ROUTE 7783)	East of Route 28					
AADT (2016)	28,000					
AADT (2023)-Opening Yr.	32,800					
AADT (2040)	36,100					
DHV	2,010					
D (%)	0.68					
T (%)	1					
MINIMUM DESIGN V (mph)	45 MPH					
POSTED V (mph)	45 MPH					

EMERGENCY POLICE - FIRE - RESCUE	911
FAIRFAX COUNTY, VIRGINIA	
DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL	
UTILITIES DESIGN & CONSTRUCTION DIVISION	
12000 GOVERNMENT CENTER PARKWAY, SUITE 463 FAIRFA	X, VA., 22035-0052

					<u> </u>		•		
R						OFFIC	E OF CAPITAL 703-324-5		TIES
* -						PRINCE WI	LLIAM CO. LI DNAL CLASSII TRAFFIC D	FICATIO ATA	ROUTE N AND
						\square CONTRACT NO	O. PR	OJECT	NO.
S	△ #	DESCRIPTION	BY	APPROVED	DATE	SCALE	DESIGNED BY CHECKED BY	: DB	SHEE 1A
									FUND #

HNTB

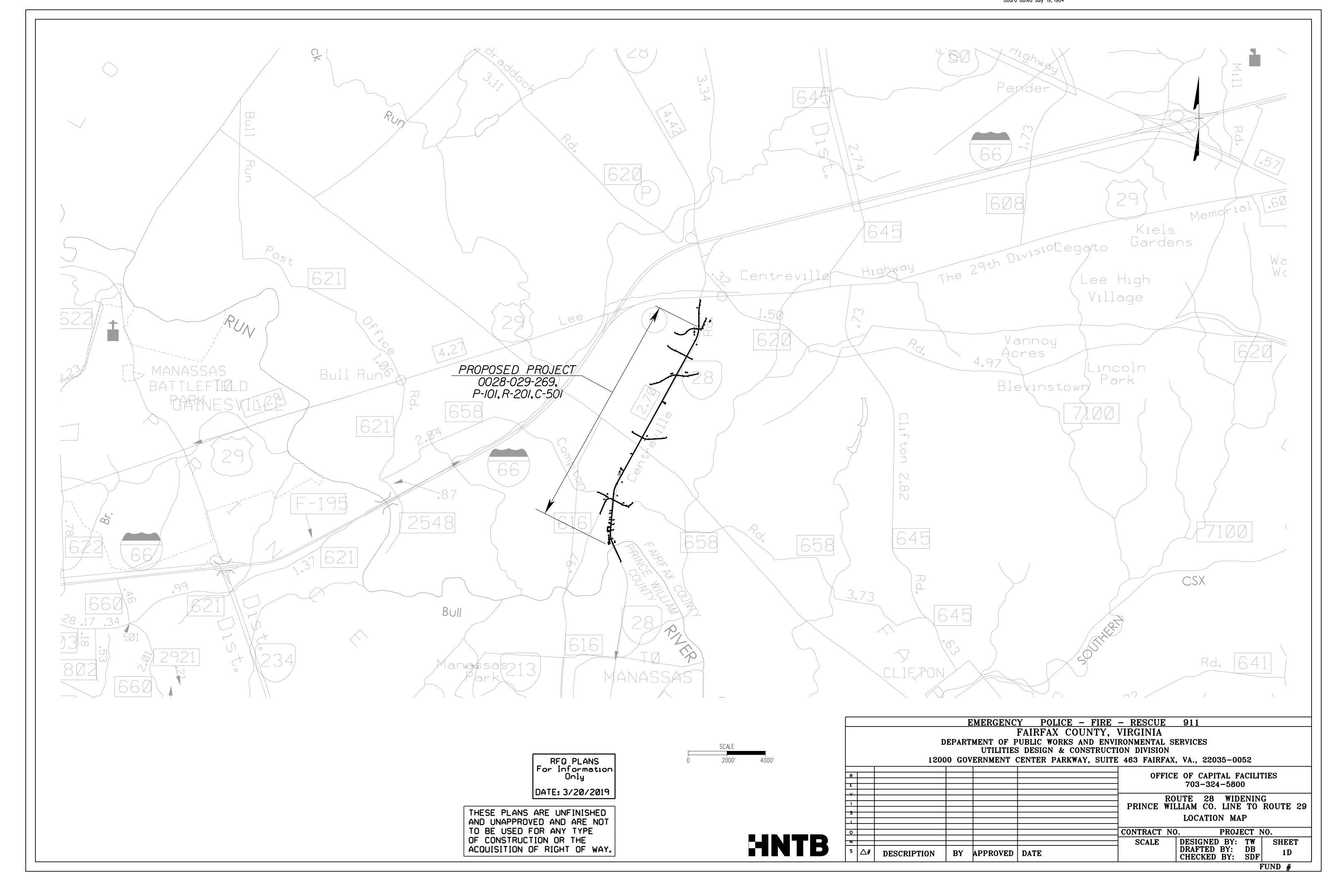
SHEET NO.	DESCRIPTION	STATIONS/LOCATIONS	SHEET NO.	DESCRIPTION		ST AT IONS/LO	CATIONS	
I	TITLE SHEET		14	ROADWAY PLAN		ST A. 179+50.00	TO STA.187.00.00 RTE.28	
<i>IA</i>	FUNCTIONAL CLASSIFICATION AND TRAFFIC DATA		14A	ROADWAY PROFILE		STA.179+50 TO	O STA.187.00 RTE.28 NB	
IB	INDEX OF SHEETS		14B	ROADWAY PROFILE		STA.179+50 TO	O STA.187+00 RTE.28 SB	
IC	RIGHT OF WAY DATA		14C	ROADWAY PROFILE		DARKWOOD DI	R	
ID	LOCATION MAP		<i>1</i> 5	ROADWAY PLAN		ST A. 187+00.00	TO STA.194.25.00 RTE. 28	
IE .	NOT USED		<i>15A</i>	ROADWAY PROFILE		STA.187.00 TO	O STA.194·25 RTE.28 NB	
IF	SURVEY ALIGNMENT DATA		<i>15B</i>	ROADWAY PROFILE		STA.187+00 TO	O STA.194•25 RTE.28 SB	
IG(1) - IG(4)	CONSTRUCTION ALIGNMENT DATA		16	ROADWAY PLAN		ST A. 194+25.00	TO STA.202.00.00 RTE.28	
IH(I) - IH(IO)	SOIL BORING LOCATIONS		<i>16A</i>	ROADWAY PROFILE		STA.194+25 To	O STA.202.00 RTE.28 NB	
<i>II</i>	NOT USED		<i>16B</i>	ROADWAY PROFILE		STA.194+25 To	0 STA.202.00 RTE.28 SB	
IJ(I)	TRANSPORTATION MANAGEMENT PLAN		16C	ROADWAY PROFILE		STA. 512+50 T	O STA. 516.50 NEW BRADDOCK	RD.
IJ(2)	SEQUENCE OF CONSTRUCTION TYPICAL SECTIONS		17	ROADWAY PLAN		STA. 202+00.00	0 TO STA.209.75.00 RTE.28	
IJ(3) - IJ(12)	SEQUENCE OF CONSTRUCTION PLANS		<i>17A</i>	ROADWAY PROFILE		STA.202+00 T	TO STA.209.75 RTE.28 NB	
IK(I) - IK(9)	EXISTING STORM DRAINAGE TABULATION		<i>17B</i>	ROADWAY PROFILE		STA.202+00 T	TO STA.209+75 RTE.28 SB	
2	GENERAL NOTES		17C	ROADWAY PROFILE		STA.609+93 T	O STA.612.75 MACHEN RD.	
2A(I) - 2A(8)	TYPICAL SECTIONS		18	ROADWAY PLAN		ST A. 209•75.00	O TO STA.217+50.00 RTE.28	
3	ROADWAY PLAN	STA.100.00 TO STA.107.00 RTE. 28	18A	ROADWAY PROFILE		STA.209•75 T	O STA.217.50 RTE.28 NB	
3A	ROADWAY PROFILE	STA.100.00 TO STA.107.00 RTE.28 NB	18B	ROADWAY PROFILE		STA.209•75 T	O STA.217:50 RTE.28 SB	
3B	ROADWAY PROFILE	STA.100+00 TO STA.107+00 RTE.28 SB	19	ROADWAY PLAN		ST A. 217+50.00	TO STA.225+00.00 RTE.28	
3C	ROADWAY PROFILE	ENTRANCES L-M & SERVICE RD	19A	ROADWAY PROFILE		STA.217+50 TO	0 STA.225.00 RTE.28 NB	
4	ROADWAY PLAN	STA. 107:00 TO STA. 113:75 RTE. 28	I9B	ROADWAY PROFILE		STA.217+50 TO	0 STA.225.00 RTE.28 SB	
4A	ROADWAY PROFILE	STA.107+00 TO STA.113+75 RTE.28 NB	19C	ROADWAY PROFILE		STA.710+86 TO	O STA.715:00 UPPERRIDGE RD.	
4B	ROADWAY PROFILE	STA.107+00 TO STA.113+75 RTE.28 SB	20	ROADWAY PLAN		STA. 225.00	TO STA 232·50 RTE. 28	
4C	ROADWAY PROFILE	ENTRANCES A-D & H-J	20(1)	ROADWAY PLAN		STA. 232·50	TO STA. 236·65 RTE. 28	
5	ROADWAY PLAN	STA.113+75 TO STA.121+00 RTE.28	21	ROADWAY PLAN		STA. 204·50	TO STA. 208+50 ORDWAY RD.	
5 <i>A</i>	ROADWAY PROFILE	STA.113+75 TO STA.121+00 RTE.28 NB	21A	ROADWAY PROFILE		STA. 204·50	TO STA. 208.50 ORDWAY RD.	
5B	ROADWAY PROFILE	STA.113+75 TO STA.121+00 RTE.28 SB	2IB	ROADWAY PROFILE		STA. 300:00	TO STA. 302·44 COMPTON RD.	
5 <i>C</i>	ROADWAY PROFILE	ENTRANCES E-G	22	ROADWAY PLAN		STA. 200:00	TO STA. 204·50 ORDWAY RD.	
6	ROADWAY PLAN	STAJ21·00 TO STAJ28·50 RTE. 28	22A	ROADWAY PROFILE		STA. 200:00	TO STA. 204·50 ORDWAY RD.	
6A	ROADWAY PROFILE	STA.121.00 TO STA.128.50 RTE.28 NB	23	ROADWAY PLAN		STA. 1105+07.3	19 TO STA 1102:00 COMPTON R.D.).
6B	ROADWAY PROFILE	STA.121.00 TO STA.128.50 RTE.28 SB	23A	ROADWAY PROFILE		STA. 1105+07.3	19 TO STA 1102:00 COMPTON R.D.).
6C	ROADWAY PROFILE	STA.1100.00 TO STA.1102.00 COMPTON RD.(EAST)	24	ROADWAY PLAN		STA. 402:00	TO STA. 404.00 OLD MILL RD.	
6D	ROADWAY PROFILE	STA. 208·50 TO STA. 210·30 ORDWAY RD.	24A	ROADWAY PROFILE		STA. 402:00	TO STA. 404.00 OLD MILL RD.	
7	ROADWAY PLAN	STA.128·50.00 TO STA.1354·50.00 RTE. 28	<i>2</i> 5	ROADWAY PLAN		STA. 507+97 7	TO STA. 512+50 NEW BRADDOCK	RD.
7 <i>A</i>	ROADWAY PROFILE	STA.128·50 TO STA.135·50 RTE.28 NB	25A	ROADWAY PROFILE		STA. 507+97 7	TO STA. 512+50 NEW BRADDOCK	RD.
7B	ROADWAY PROFILE	STA.128·50 TO STA.135·50 RTE.28 SB	<i>2</i> 6	ROADWAY PLAN		STA. 516+50 T	TO STA.520.00 NEW BRADDOCK	RD.
8	ROADWAY PLAN	STA.135·50.00 TO STA.143·00.00 RTE. 28	26A	ROADWAY PROFILE		STA. 516+50 T	TO STA.520.00 NEW BRADDOCK	RD.
B(I)	ROADWAY PLAN	STA.TO STA.RTE. 28	27	ROADWAY PLAN		STA. 520.00	TO STA 526+32 NEW BRADDOC	K RD.
<i>8A</i>	ROADWAY PROFILE	STA.135·50 TO STA.143·00 RTE.28 NB	27A	ROADWAY PROFILE		STA. 520.00	TO STA. 526+32 NEW BRADDOC	K RD.
8B	ROADWAY PROFILE	STA.135·50 TO STA.143·00 RTE.28 SB	<i>28</i>	ROADWAY PLAN			TO STA.614.20 MACHEN RD.	
BC	ROADWAY PROFILE	ENTRANCE K	28A	ROADWAY PROFILE			TO STA.614.20 MACHEN RD.	RFQ PLANS
9	ROADWAY PLAN	STA.143.00.00 TO STA.150.50.00 RTE. 28	29	ROADWAY PLAN			O STA. 721-34 OLD CENTREVILL	For Information
9A	ROADWAY PROFILE	STA.143.00 TO STA.150.50 RTE.28 NB	29A	ROADWAY PROFILE			O STA 721·34 OLD CENTREVILL	F RD.
9B	ROADWAY PROFILE	STA.143.00 TO STA.150.50 RTE.28 SB						DATE: 3/20/2
- 9 C	ROADWAY PROFILE	ENTRANCE N	CROSS SECTIONS					THESE PLANS ARE UNFINISH
0	ROADWAY PLAN	STA.150·50.00 TO STA.158·00.00 RTE. 28	X-I - X-96	RTE. 28	X-108 - X-113	NEW	BRADDOCK RD.	AND UNAPPROVED AND ARE I
OA	ROADWAY PROFILE	STA.150·50 TO STA.158·00 RTE.28 NB	X-97 - X-99	COMPTON RD.	X-114	MACH	IEN RD.	TO BE USED FOR ANY TYPE OF CONSTRUCTION OR THE
OB	ROADWAY PROFILE	STA.150·50 TO STA.158·00 RTE.28 SB	X-100 - X-106	ORDWAY RD.	X-115 - X-116	UPPE	RRIDGE DR./OLD CENTREVILLE	ACQUISITION OF RIGHT OF V
_ 7	ROADWAY PLAN	STA.158.00.00 TO STA.165.00.00 RTE. 28	X-107	OLD MILL RD.	II6 SHEETS (S SECTIONS	
, VA	ROADWAY PROFILE	STA.158.00 TO STA.165.00 RTE.28 NB				<u>EMERGENO</u>	<u>CY POLICE - FIRE</u> FAIRFAX COUNTY,	
VIB	ROADWAY PROFILE	STA.158.00 TO STA.165.00 RTE.28 SB			DEPA		PUBLIC WORKS AND ENVI	IRONMENTAL SERVICES
- IC	ROADWAY PROFILE	STA.404·00 TO STA.407·51.52 OLD MILL RD.				UTILITIE	S DESIGN & CONSTRUCT	ION DIVISION
12	ROADWAY PLAN	STA.165+00.00 TO STA.172+50.00 RTE. 28				OVEKNMENT	LENIER PAKKWAY, SUITE	E 463 FAIRFAX, VA., 22035-0052
12A	ROADWAY PROFILE	STA.165.00 TO STA.172.50.00 RTE.28 NB		R				OFFICE OF CAPITAL FACILITIES 703-324-5800
12B	ROADWAY PROFILE	STA.165.00 TO STA.172.50 RTE.28 SB		<u>v</u>				
13	ROADWAY PLAN	STA.172+50.00 TO STA.179+50.00 RTE. 28						ROUTE 28 WIDENING PRINCE WILLIAM CO. LINE TO ROU
13(1)	ROADWAY PLAN	STA.TO STA.RTE. 28		5				INDEX OF SHEETS
	ROADWAY PROFILE							CONTRACT NO. PROJECT NO.
13A	NOADWAL FRUFILE	STA.172+50 TO STA.179+50 RTE.28 NB		B S A# DE			+	SCALE DESIGNED BY: TW S

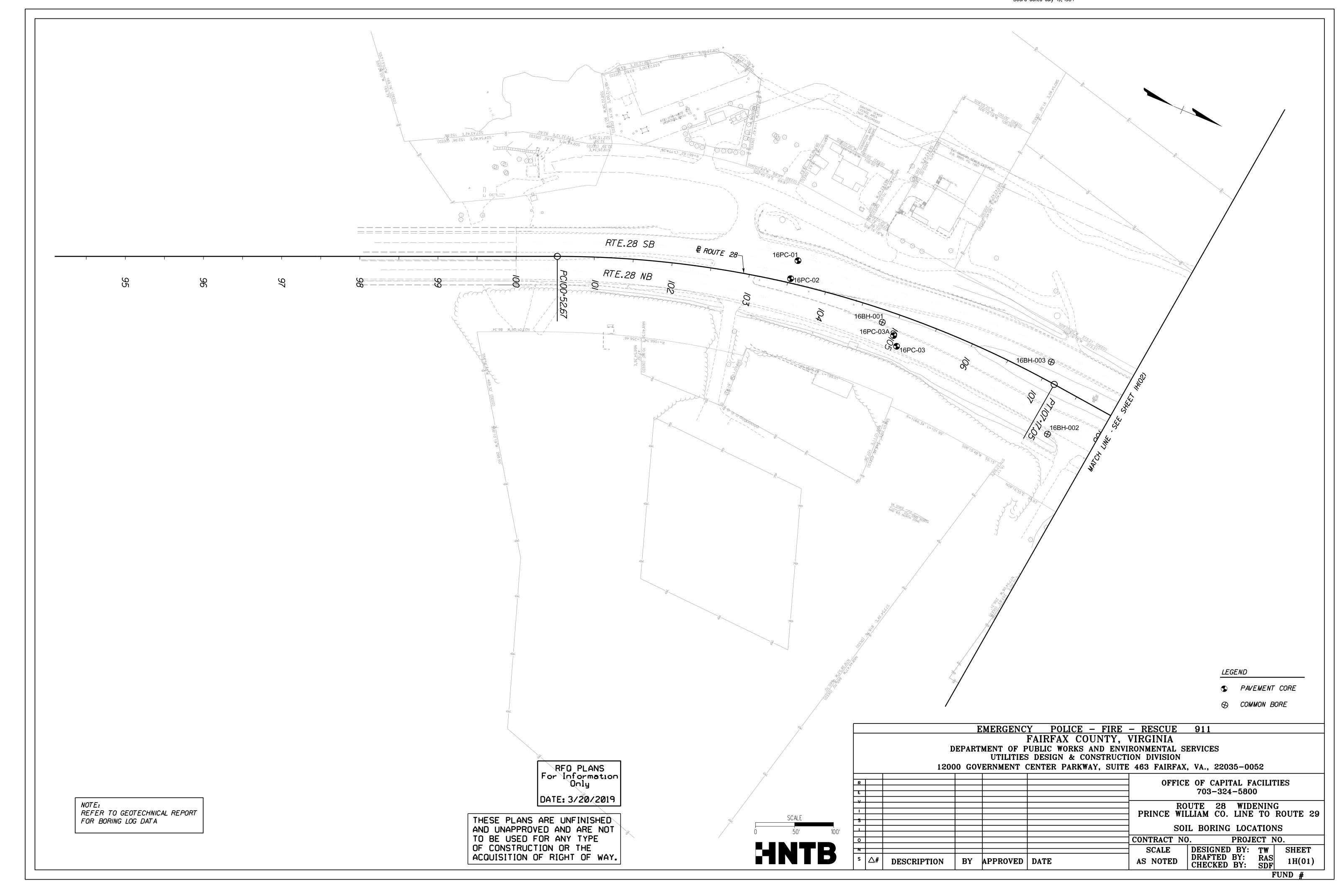
		AREA														
												EASEMENT		ITS		
Parcel	LANDOWNER	SHEET NO.	TOTAL	FEE	TAKING	PRESCRIPTIVE R/W		FEE REMAINDER		PERMANENT		UTILITY		TEMPORARY		PROFFERS
No.		31122111431	ACRES	ACRES	SQ. FT	ACRES	SQ. FT	ACRES	SQ. FT	ACRES	SQ. FT	ACRES	SQ. FT	ACRES	SQ. FT	YES/NO
1	JIMMY H. KEATON AND CLAUDIA K. KEATON	3, 4	2.028					2.028							3,394.64	NO
2	BURKETT GREEN AND ERMA BUSH	4	1.021					1.021							1,240.43	NO
3	LURTY M. LONG AND LAURA F. LONG	4	0.946					0.946							1,405.21	NO
4	LURTY M. LONG AND LAURA F. LONG	4	1.306					1.306							1,914.62	NO
5	LAWRENCE D. STEVER AND SANDRA L. STEVER	4, 5	1.025		162.03			1.021							5,352.39	NO
6	AUBRY PLAINS	5, 22	0.999					0.999							2,568.40	NO
7	AUBRY PLAINS	5, 22	1.074					1.074							6,578.16	NO
8	THUY-LINH TRUONG	5, 22	0.524					0.524							4,418.88	NO
9	WILLIAM P. SMITH & JOHN O. DUNCAN, TR.	5, 6, 21, 22	2.898	2.898				0.000								NO
10	SECTION ONE CROFTON COMMONS	6, 7, 21	2.579					2.579							576.50	NO
11	COMPTON VILLAGE, HOMEOWNERS ASSN	6, 7, 23	4.041					4.041							2,354.42	NO
12	SECTION TWO CROFTON COMMONS	7	1.489					1.489							1,944.03	NO
13	SECTION FOUR CROFTON COMMONS	7	1.868					1.868							1,254.11	NO
14	W. LOUIS TERRELL AND CAROLE W. TERRELL	7, 8	0.670		1,134.22			0.644							4,586.51	NO
15	DAVID L. HUNTER	7, 8	5.000	3.161	•			1.839							•	NO
16	PHILIP E. COX AND ALISON L. COX	8	0.417					0.417							4,853.14	NO
17	PHILIP E. COX AND ALISON L. COX	8	0.411					0.411							2,266.47	NO
18	AJEY BARGOTI	8, 9	1.389	1.389				0.000								NO
19	COMPTON VILLAGE, HOMEOWNERS ASSN	8, 9	2.047					2.047							306.24	NO
20	GRACE AUBREY ENNIS, TRUSTEE OF THE GRACE AUBREY ENNIS REVOCABLE TRUST	9, 10	4.550	1.840				2.710							6,304.77	NO
21	COMPTON VILLAGE SECTION 1	10	0.135		102.26			0.133							134.22	NO
22	OLD MILL COMMUNITY ASSN	10, 11, 24	1.953		2,369.33			1.899		1					8,124.72	NO
23	OLD MILL COMMUNITY ASSN	11, 12	4.736		9,500.38			4.518							14,277.48	NO
24	OLD MILL COMMUNITY ASSN	12, 13	2.273		7,989.23			2.090							8,486.36	NO
25	CALVERT HOMES, INC.	13, 14	3.105		14,143.40			2.780							13,398.56	NO
26	GREEN TRAILS ASSOCIATES SUBDIVISION	11, 12, 13	13.126		11,113.10			13.126							1,148.45	NO
27	JAGDISH BERRY AND SHOBHA BERRY	13	2.512	2.512				0.000							1,110.13	NO
28	COMPTON VILLAGE SECTION 5	9, 10	0.462	2.312				0.462							303.16	NO
29	MILDRED K. DEBELL TRUSTEE PROPERTY	14	0.229		1,503.87			0.194							1,567.78	NO
30	CENTREVILLE ROAD LC	14, 15	1.041		435.72			1.031							1,285.74	NO
31	HIEN BINH TRAN AND LINH MY HUYNH	14	0.694		+33.72			0.694							2,820.59	NO
32	COMPTON VILLAGE, HOMEOWNERS ASSN	14, 15	6.883					6.883							5,367.57	NO
33	CENTRE RIDGE	16, 17	12.463		3,719.77			12.378							5,477.77	NO
34	W.F. CLOYED SUBDIVISION	16, 26	0.611		12,631.48			0.321							248.03	NO
35	W.F. CLOYED SUBDIVISION	16, 26	0.752		32,760.57			0.000		1					240.03	NO
36	HSRE-CAPMED CENTREMED I, LLC	16, 17, 26	5.006		40.39			5.005							1,413.41	NO
37	ASHER VIEW COMMUNITY ASSN	17, 18	3.862		5,197.58			3.743							8,945.62	NO
38	REDWOOD SQUARE CENTER	17, 18, 28	0.847		23.24			0.846		1					4,994.14	NO
39	MP CENTREVILLE VENTURE	17, 18, 28	2.052		7,384.68			1.882							4,795.70	NO
40	NORTH FAIRFAX DRIVE INVESTMENTS, L.L.C.	19	1.129		7,304.00			1.129		1					2,535.91	NO
41	SECTION ONE GRANDVIEW	20, 29	1.895		1,167.09			1.868							2,732.70	NO
42	OUR BUILDER LLC	26	0.019		825.86			0.000							2,732.70	NO
43	WINDING RIDGE PHASE I	26, 27	0.019		823.80			0.059							1,758.79	NO
44	SINGLETON GROVE HOMEOWNERS ASSOCIATION	26, 27	0.039					0.039							872.99	NO
45	SINGLETON GROVE HOMEOWNERS ASSOCIATION	27	6.536					6.536		1					775.54	NO
46	AUBRY PLAINS	22	0.808			1		0.336			1				1,707.56	NO
47	AUBRY PLAINS AUBRY PLAINS	22	0.808			1		0.461			+				552.59	NO
47	SCOTT SKOKAN AND KIMBERLY SKOKAN		4.966			1		4.966		1	1					NO
		3,4	0.624			1		0.624		1	1				1,002.64	NO
49	BRYAN A. SKOKAN	4	1.440			+		1.440		1	+			+	3,564.66 264.72	NO
50	YG LAND HOLDINGS, LLC	4,5			422.67	+				1	+					
51	CENTRE VILLAGE CENTRE VILLAGE	18, 19	1.504		432.67	+		1.494		1	+	1			2,645.47	NO
52	CENTRE VILLAGE	18, 19	3.361		776.32	1		3.343		1	-				8,436.20	NO
53	CAPITIOL WORSHIP CENTRE, LLC	10	0.969			1		0.969		1					335.72	NO

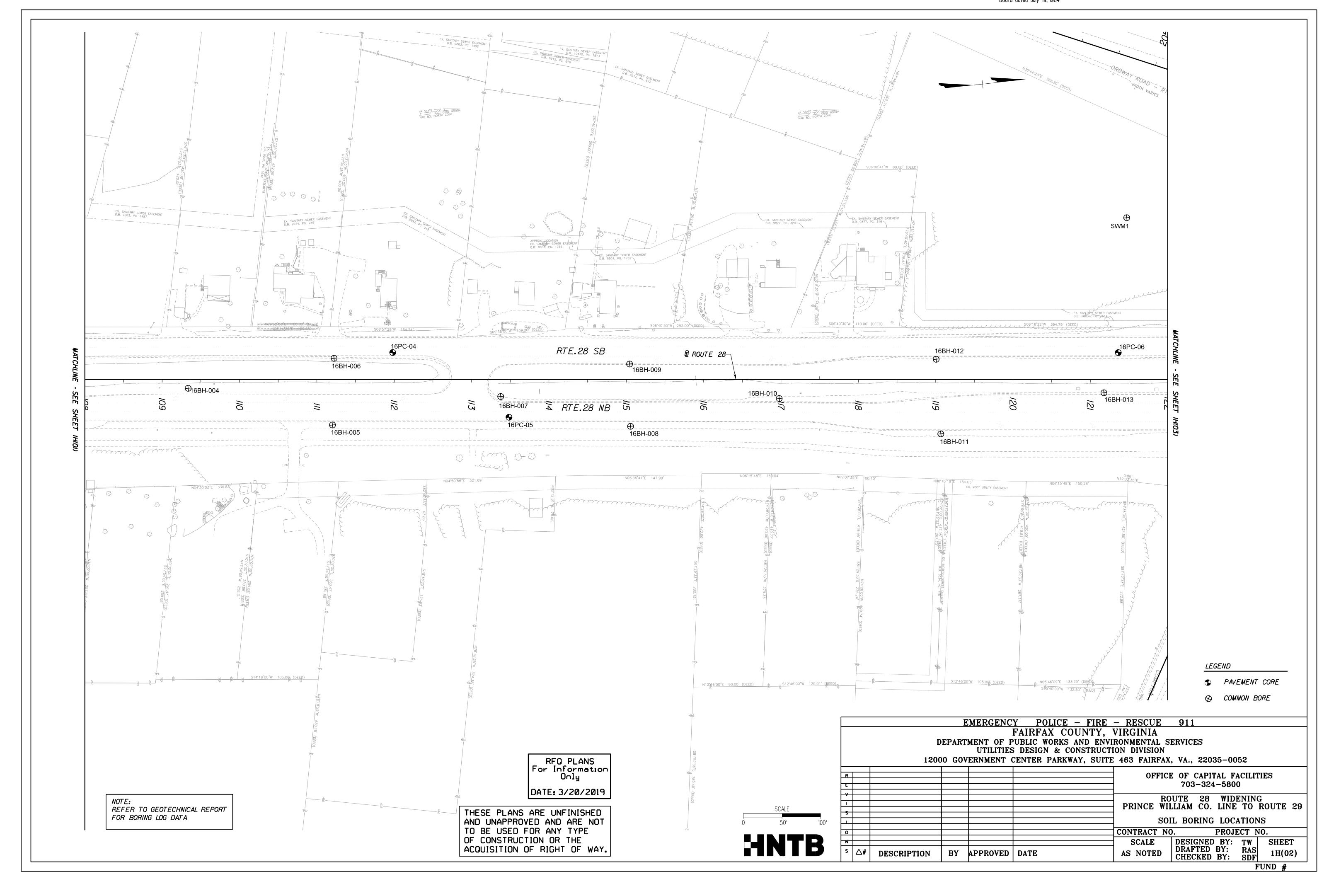
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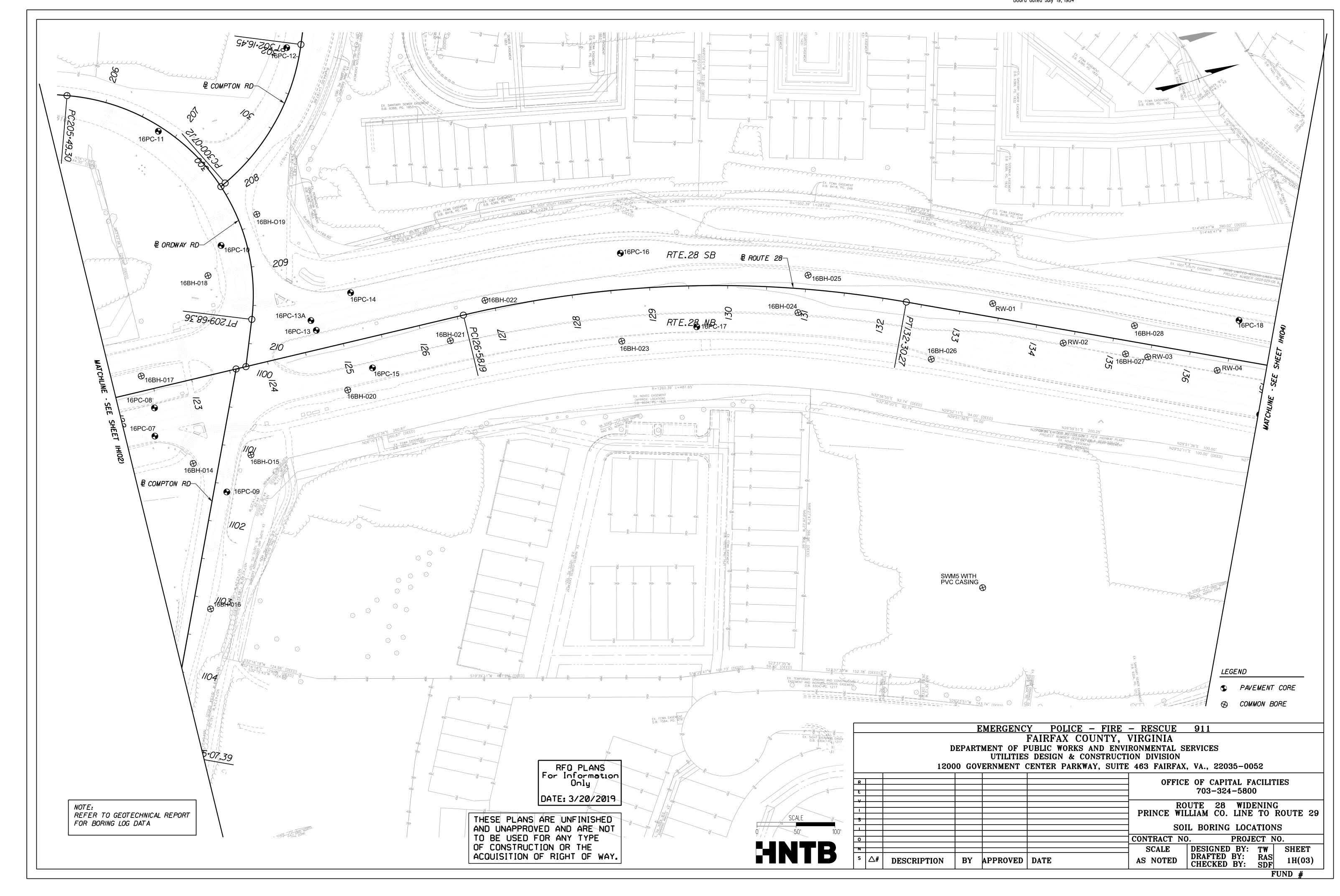
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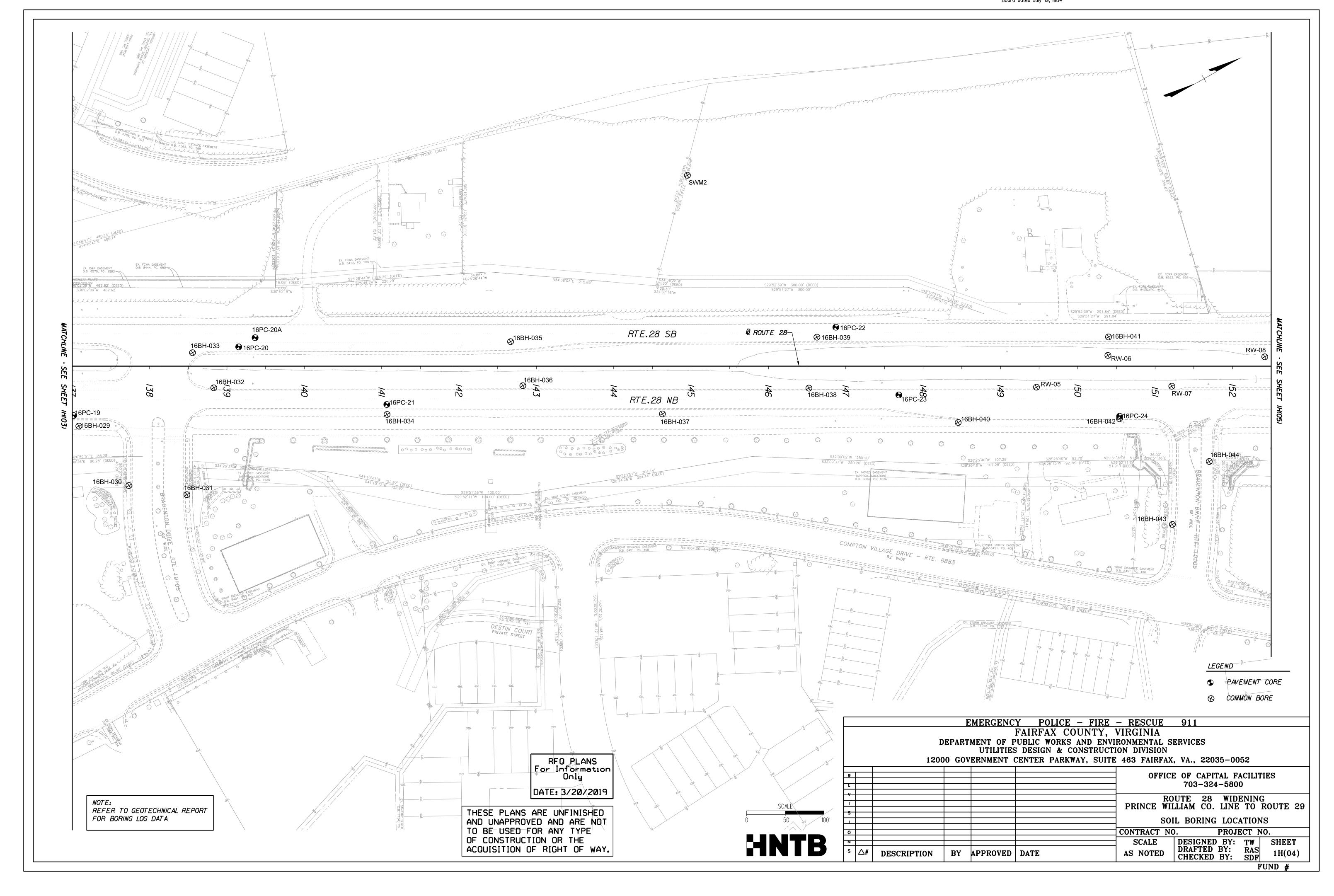
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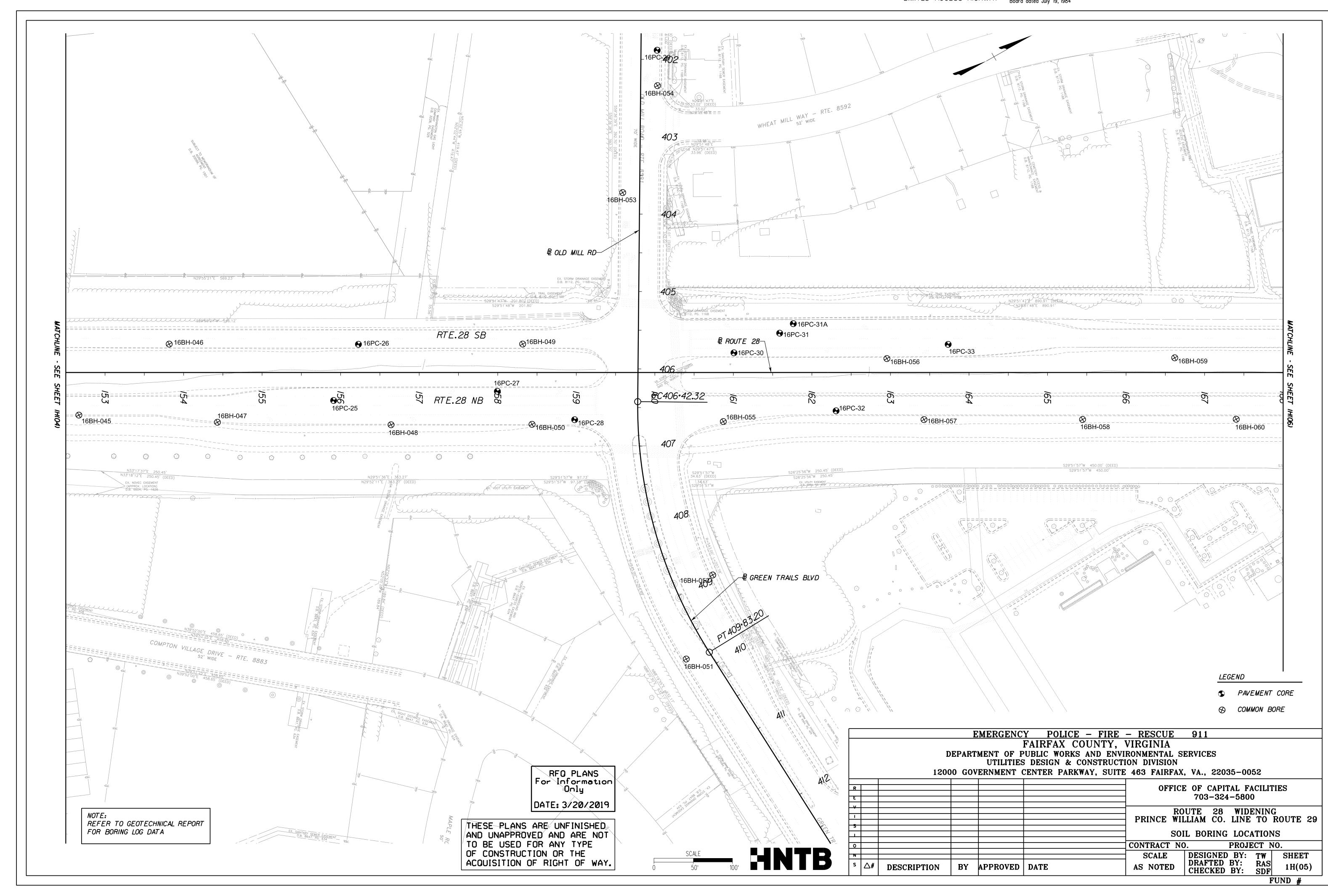


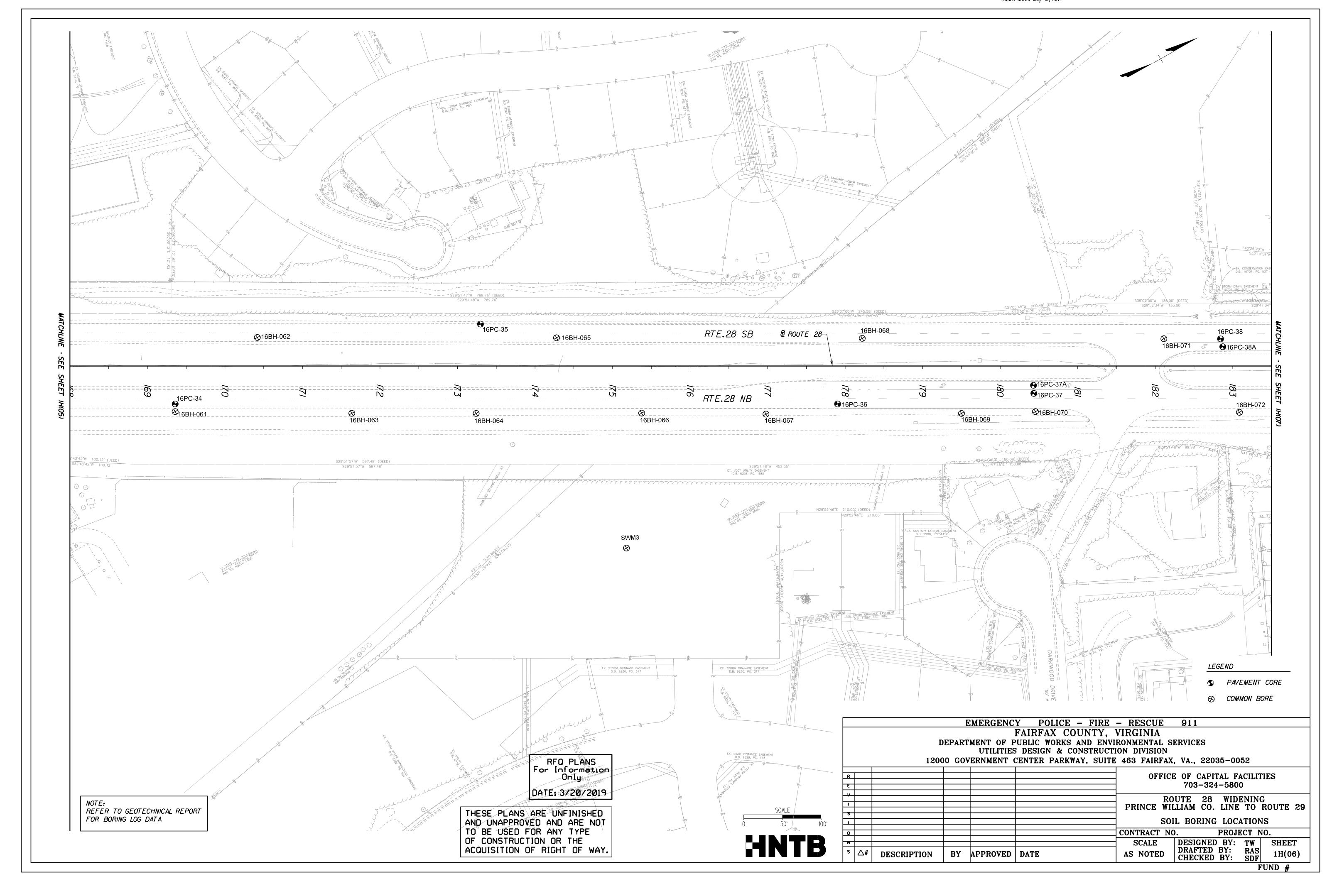


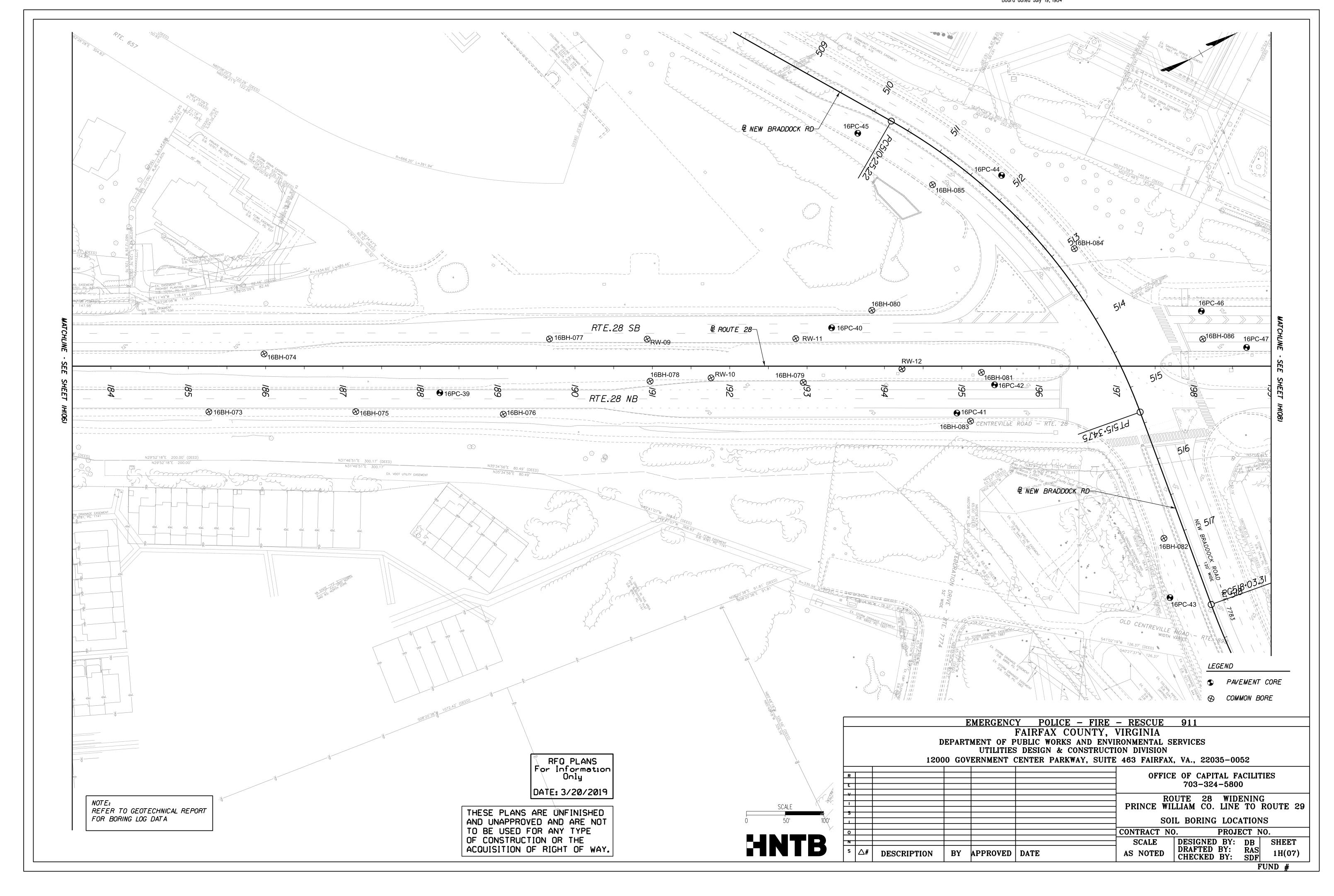


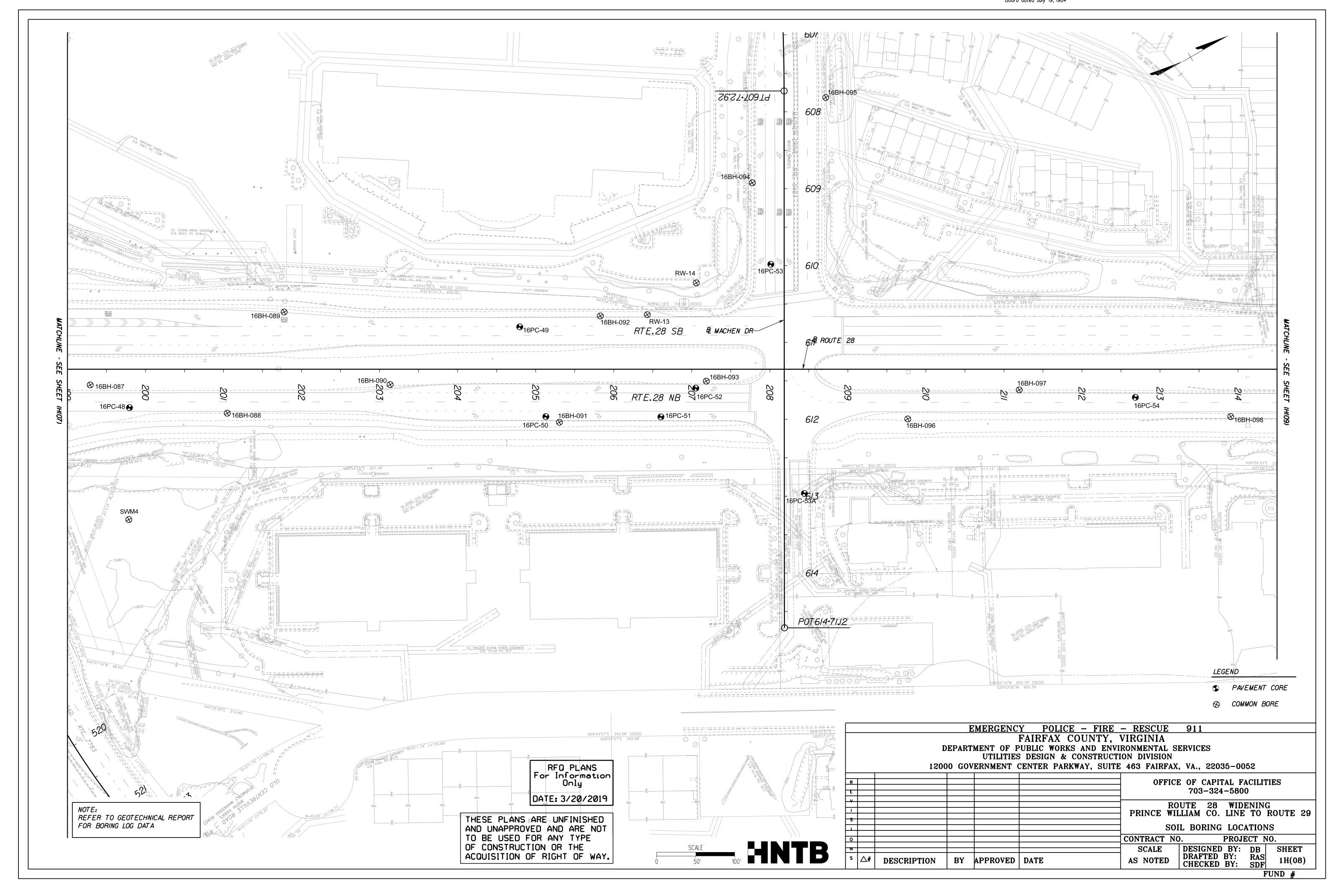


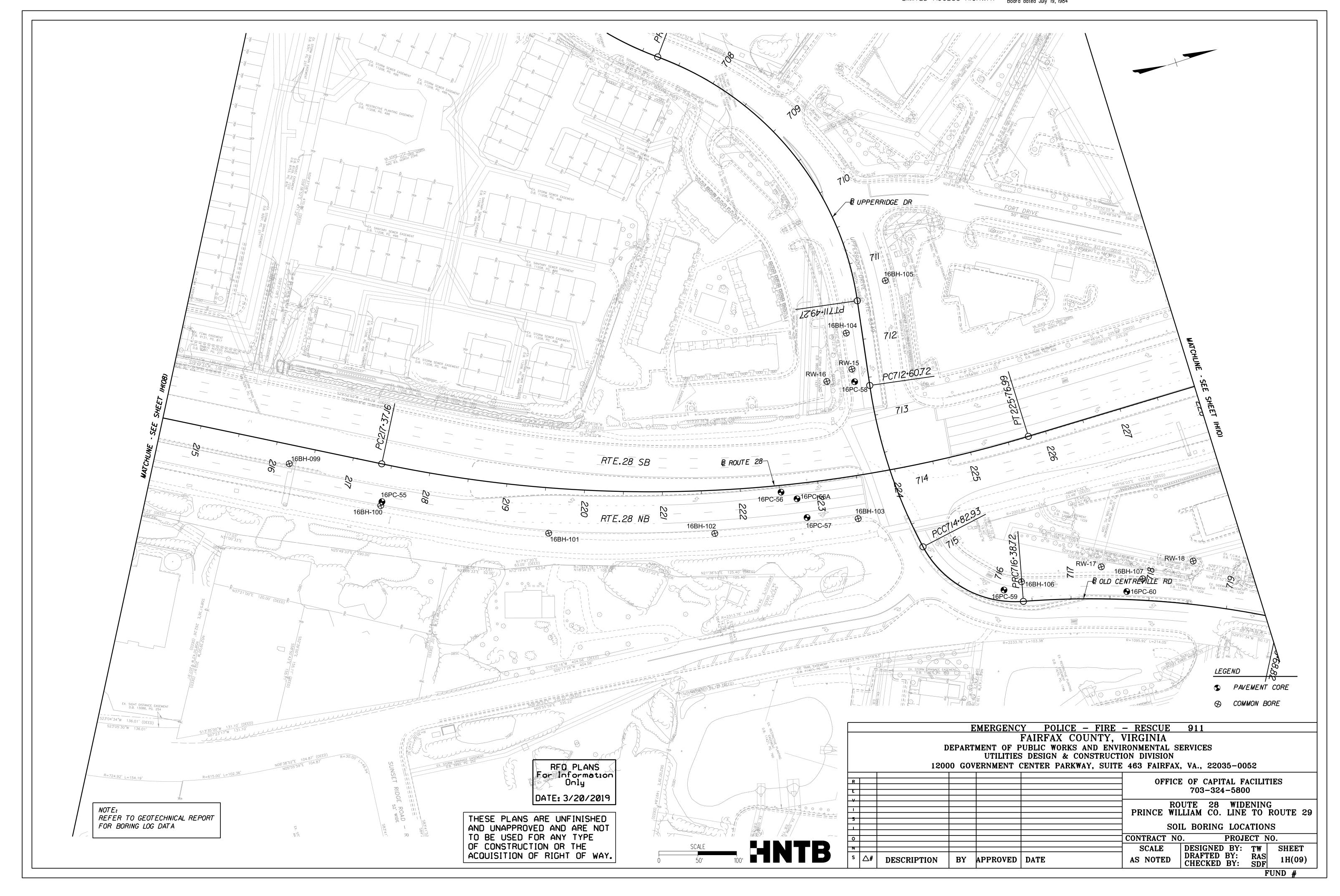


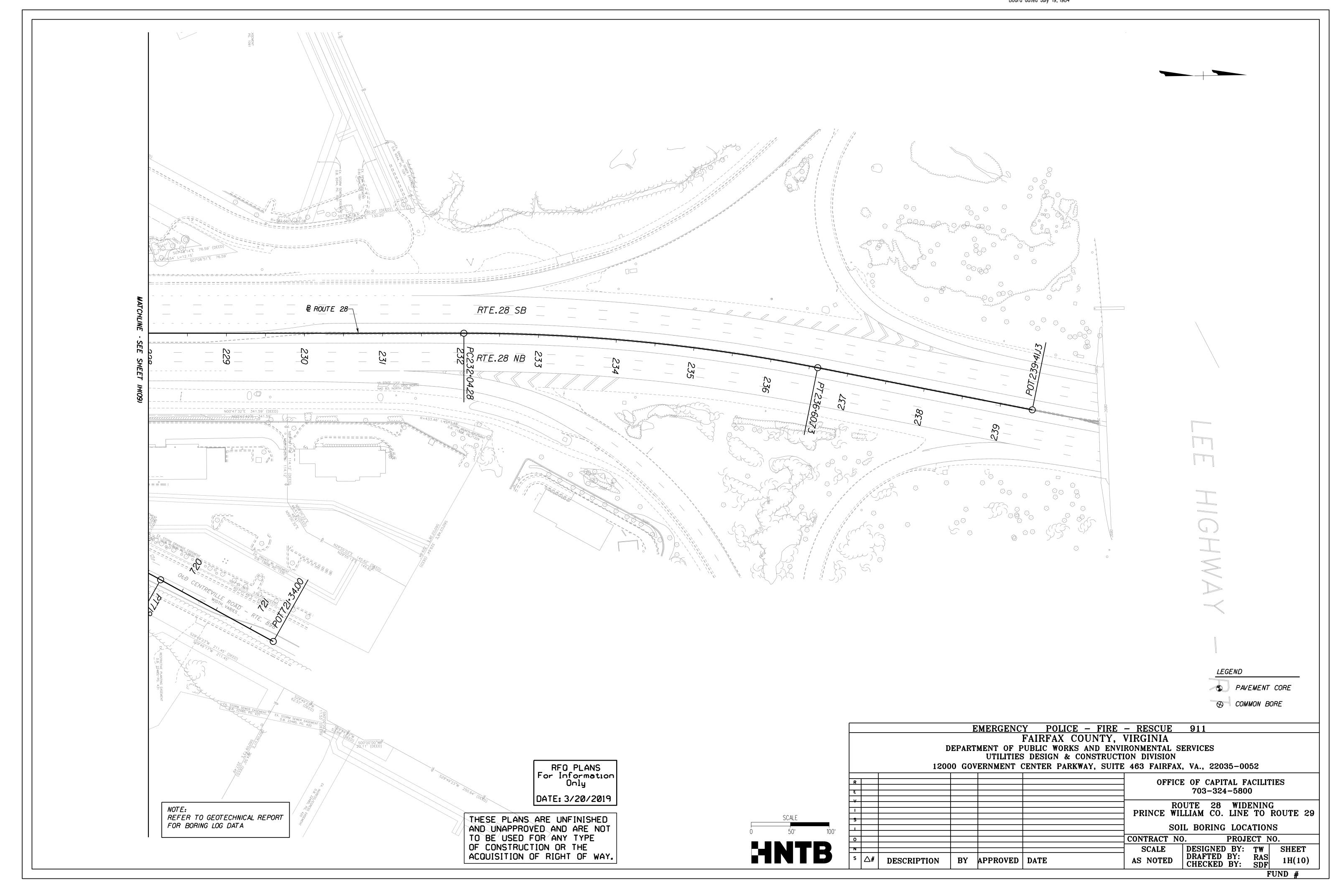












GENERAL NOTES

GRADING

- G-1 The grade line denotes top of finished pavement unless shown otherwise on typical sections or plans.
- G-2 Earthwork quantities on this project are based on anticipated settlement and may require adjusting during construction.
- G-6 The borrow material for this project shall be a minimum CBR value of 5 or as approved by the Materials Engineer.
- G-7 Material from regular excavation which is suitable for stabilization with hydraulic cement (lime) shall be placed in the top portion of the subgrade.

INCIDENTALS

- 1-3 Service Roads are to be constructed, and private entrances connected thereto prior to the permanent severing of private entrances by other phases of the proposed construction.
- I-4 All trees located within the Clear Zone or within a minimum of 30 feet of the edge of pavement, within the limits of the right of way or construction easement, unless otherwise noted on plans or directed by the Engineer, shall be removed, as provided for a Section 301 of the applicable VDOT Road and Bridge Specifications.
- That portion of the right of way lying within the Clear Zone or within a minimum of 10 feet from the edge of pavement or surfacing or within the limits of the construction slopes beyond 10 feet, shall be cleared and grubbed in accordance with the applicable VDOT Road and Bridge Specifications, Section 301, where sufficient right of way or construction easement is provided.
- I-6 Certain trees shall be preserved as noted on plans or as directed by the Engineer.
- I-7 Where Standard slope roundoffs would damage trees, bushes or other desirable vegetation, they shall be omitted when so ordered by the Engineer.
- I-8A Clearing and grubbing shall be confined to those areas needed for construction. No trees or shrubs in ungraded areas shall be cut without the permission of the Engineer. Sta. . . . to Sta. . . .
- I-9 When no centerline alignment is shown for a proposed entrance, the entrance shall be constructed in the same location as the existing entrance.
- I-10 St'd. RM-1 Right of Way monuments shall be set by the Contractor.
- I-12 St'd. RM-2 right of way monuments shall be set by the Contractor.
- I-16 The "underground utilities" survey data on this project has been provided by consultant and copies are available from the Department.
- I-18 All pavement markings and traffic flow arrows shown on the roadway construction plans are schematic only. The actual location and application of pavement markings shall be in accordance with Section 704 of the applicable VDOT Road and Bridge Specifications, MUTCD, sequence of construction/traffic control plans, pavement marking plan sheets ... thru ... and as directed by the Engineer.

STORMWATER MANAGEMENT

- S-1 CLEARING AND GRUBBING OF SWM BASIN SITE The area where the dam is to be constructed and the area upstream of the dam, to an elevation equal to the crest of the dam (maximum ponded water elevation), shall be cleared and grubbed in accordance with Section 301 of the applicable VDOT Road and Bridge Specifications.
- S-2 SWM BASIN DAM CONSTRUCTION The dam for detention basins (no permanent pool) shall conform to the details contained in the plans and shall be constructed in accordance with Section 303 of the applicable VDOT Road and Bridge Specifications. The native material on which the dam will set shall meet the specifications for AASHTO Type A-4 or finer material. Where the native material does not meet this requirement, the area beneath the dam is to be excavated a minimum of 4' and backfilled with a material meeting the AASHTO Type A-4 or finer classification unless otherwise specified in the plans. The material used for the embankment of the dam shall be AASHTO Type A-4 or finer or otherwise specified in the plans. Dams with foundation and embankment material not meeting the above requirements or dams greater than 15' in height, or dams for retention basins (permanent pool) shall incorporate a membrane-lined trench, a homogenous embankment with seepage controls, a zoned embankment or other such approved designs as specified in the plans.
- S-3 SWM BASIN OUTLET PIPE The pipe culvert under or through the dam for detention basins (no permanent pool) shall be reinforced concrete pipe with rubber gaskets in accordance with Section 232 and 212 of the applicable VDOT Road and Bridge Specifications. A concrete cradle shall extend the full length of the pipe culvert in accordance with the Standard Drawings. The connection between the pipe culvert and the SWM-1 Drainage Structure (or other control structure) shall be made watertight as approved by the Engineer and the cost shall be included in the price bid for pipe.
- S-4 The SWM-1 Drainage Structure (or other control structure) shall have 4" high numbers and 1" wide stripes painted at 1 intervals as shown on the Standard Drawings or detail sheets. The numbers and stripes are to be installed at the time of the initial installation of the SWM-1 Drainage Structure (or other control structure). Paint and application shall be in accordance with Section 231 and 411 of the applicable VDOT Road and Bridge Specifications and the cost is to be included in the price bid for the applicable structure.
- S-5 All SWM Basins designated for use as temporary sediment basins shall be constructed during the initial phase of earth moving activities or as specified by the plans or directed by the Engineer. During project construction, the SWM-1 Drainage Structure (or other control structure) shall be modified in accordance with the Standard Drawings or plan details in order to provide a temporary sediment basin with both a "wet" storage volume (permanent pool) and a "dry" storage volume. Sediment accumulated in the basin shall be removed when the volume of the "wet" storage (permanent pool) has been reduced by 50%. Sediment shall be disposed of in accordance with Section 106.04 of the applicable VDOT Road and Bridge Specifications. When project construction is complete to a stage where no additional sediment from the project is expected to enter the basin, as determined by the Engineer, the basin shall be cleaned out and restored to the original design elevations, the area stabilized and all temporary modifications to the SWM-1 Drainage Structure (or other control structure) removed.

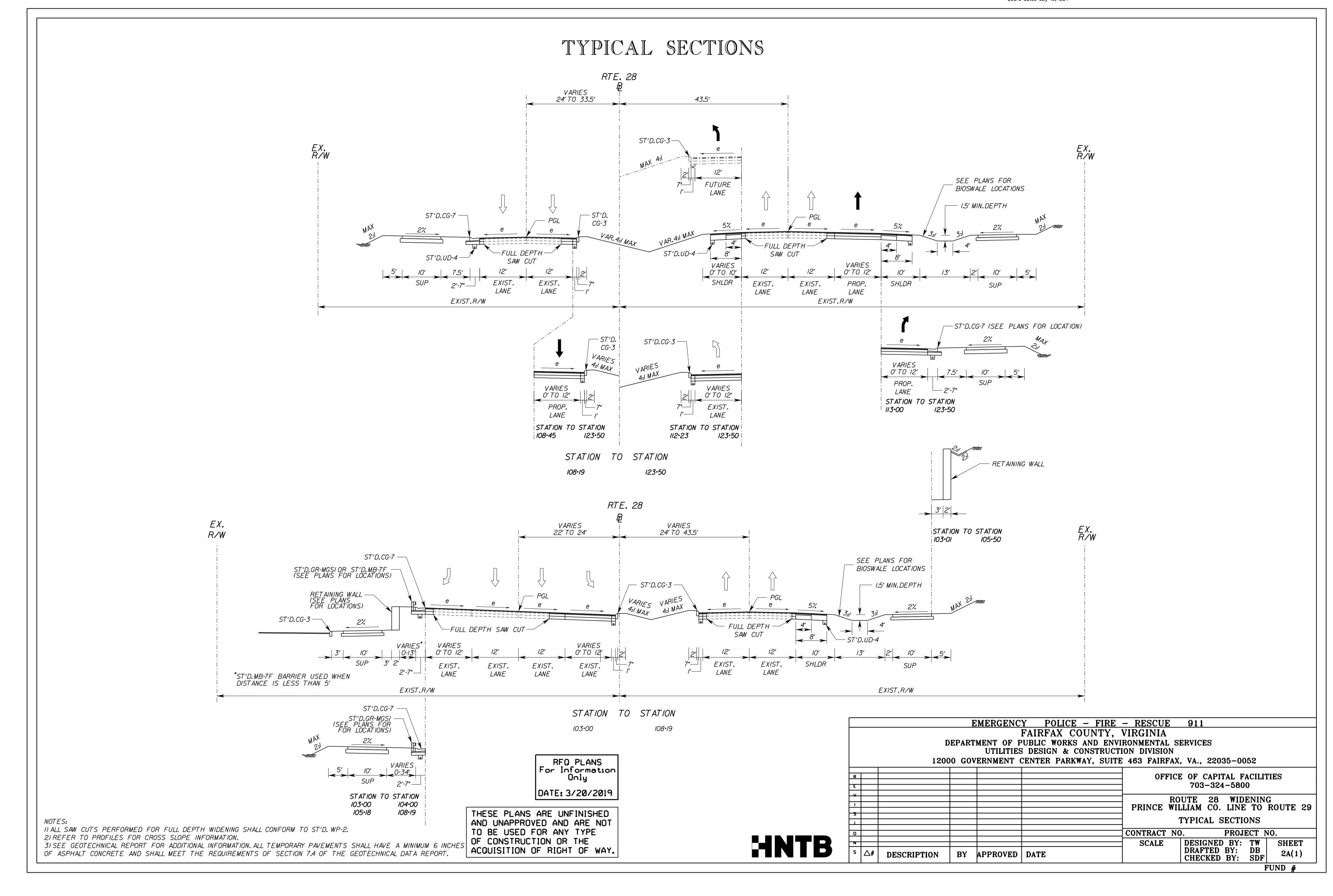
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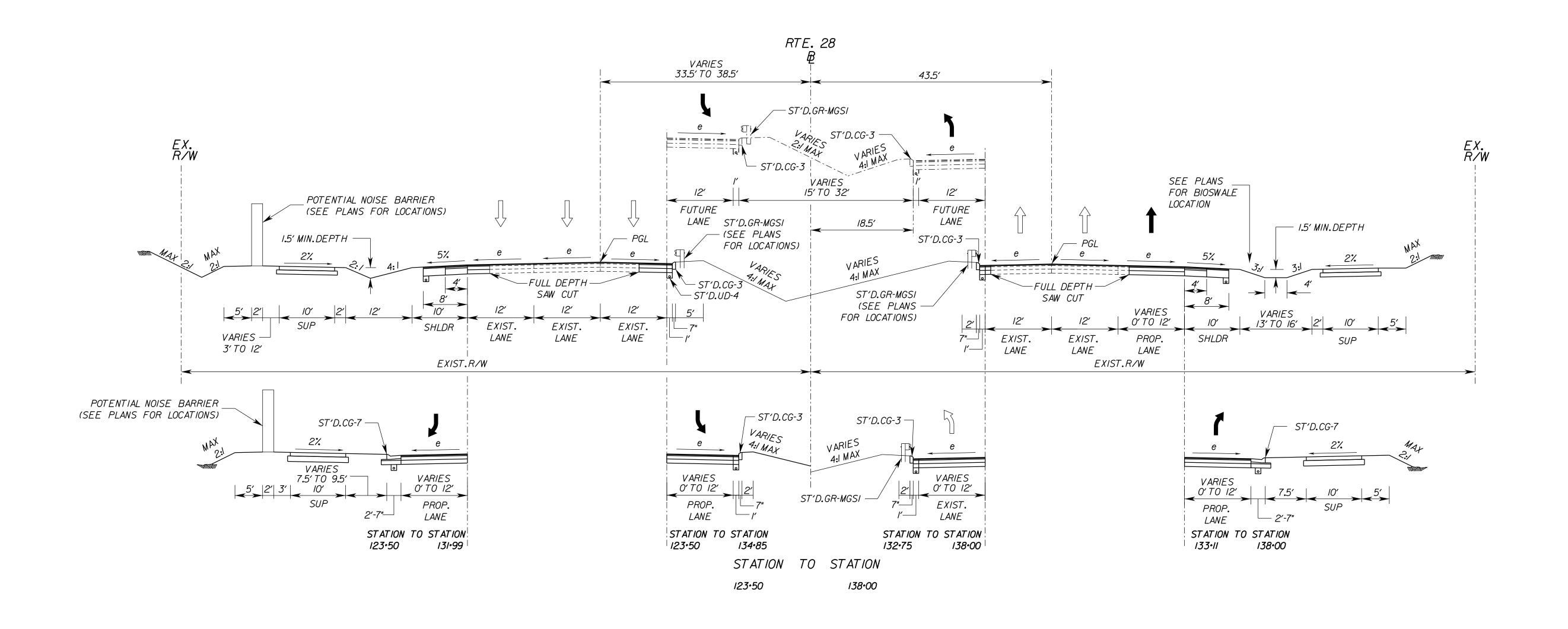
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FUND #



TYPICAL SECTIONS



RFO PLANS For Information Only DATE: 3/20/2019

I) ALL SAW CUTS PERFORMED FOR FULL DEPTH WIDENING SHALL CONFORM TO ST'D, WP-2. 2) REFER TO PROFILES FOR CROSS SLOPE INFORMATION. 3) SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION. ALL TEMPORARY PAVEMENTS SHALL HAVE A MINIMUM 6 INCHES OF ASPHALT CONCRETE AND SHALL MEET THE REQUIREMENTS OF SECTION 7.4 OF THE GEOTECHNICAL DATA REPORT.

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EMERGENCY POLICE - FIRE - RESCUE 911 FAIRFAX COUNTY, VIRGINIA DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL SERVICES UTILITIES DESIGN & CONSTRUCTION DIVISION 12000 GOVERNMENT CENTER PARKWAY, SUITE 463 FAIRFAX, VA., 22035-0052 OFFICE OF CAPITAL FACILITIES 703-324-5800 ROUTE 28 WIDENING PRINCE WILLIAM CO. LINE TO ROUTE 29 TYPICAL SECTIONS PROJECT NO. CONTRACT NO. DESIGNED BY: TW
DRAFTED BY: DB
CHECKED BY: SDF SHEET

BY APPROVED | DATE

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FUND #



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DESCRIPTION

RTE. 28 *43.*5′ ST'D.CG-3 =:=:=:=(EX. R/W VARIES 20' TO 32' *FUTURE* VARIES 1.5' TO 13.5' VARIES 6.5′ TO 18.5′ LANE LANE 1.5' MIN. DEPTH — *ST'D.CG-*7 ST'D.CG-3 -FULL DEPTH SAW CUT FULL DEPTH SAW CUT VARIES O'TO 12' 7.5' 10' 5' SUP EXIST. EXIST. LANE EXIST. LANE VARIES — Oʻ TO IOʻ SHLDR PROP. LANE EXIST. LANE EXIST. LANE EXIST.R/W EXIST.R/W SEE PLANS FOR ST'D.GR-MGSI -ST'D.CG-7— BIOSWALE LOCATIONS — *ST'D.CG-3* VARIES 1.5' MIN. DEPTH -____ I.5' MIN. DEPTH VARIES 0' TO 12' | | | 2' VARIES O' TO 10' SHLDR _ SEE PLANS FOR BIOSWALE LOCATIONS PROP. 7" LANE 1' STATION TO STATION VARIES VARIES 0' TO 12' 7.5' TO 29' 10' 5' STATION TO STATION STATION TO STATION *140•50 145+50* STATION TO STATION ST'D.CG-3 — 160•00 4:1 MAX VARIES O'TO 12' LANE STATION TO STATION *160•00* STATION TO STATION 138+00 160•00

TYPICAL SECTIONS

RFO_PLANS For Information Only DATE: 3/20/2019

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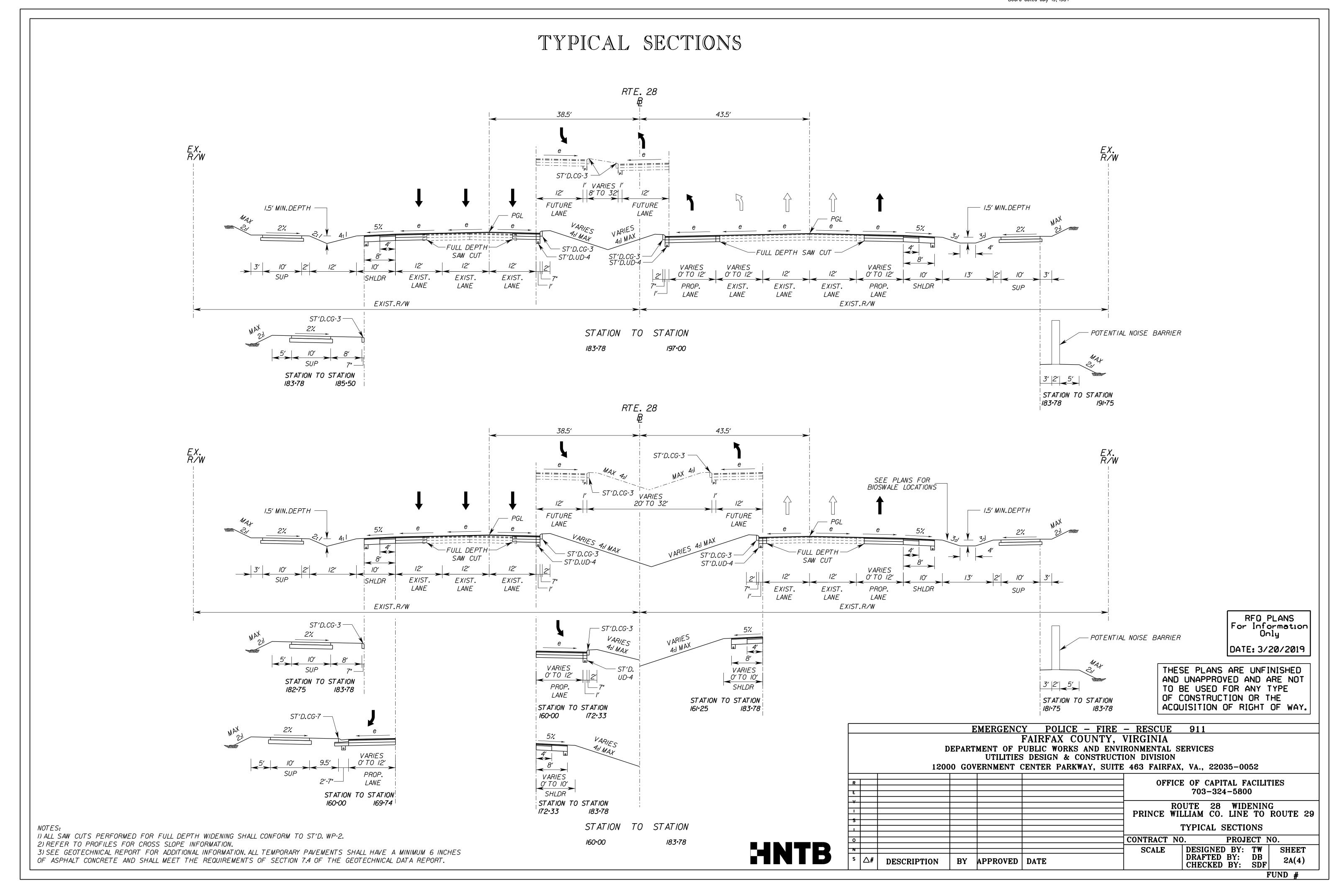
OFFICE OF CAPITAL FACILITIES 703-324-5800 ROUTE 28 WIDENING PRINCE WILLIAM CO. LINE TO ROUTE 29 TYPICAL SECTIONS PROJECT NO. CONTRACT NO. DESIGNED BY: TW
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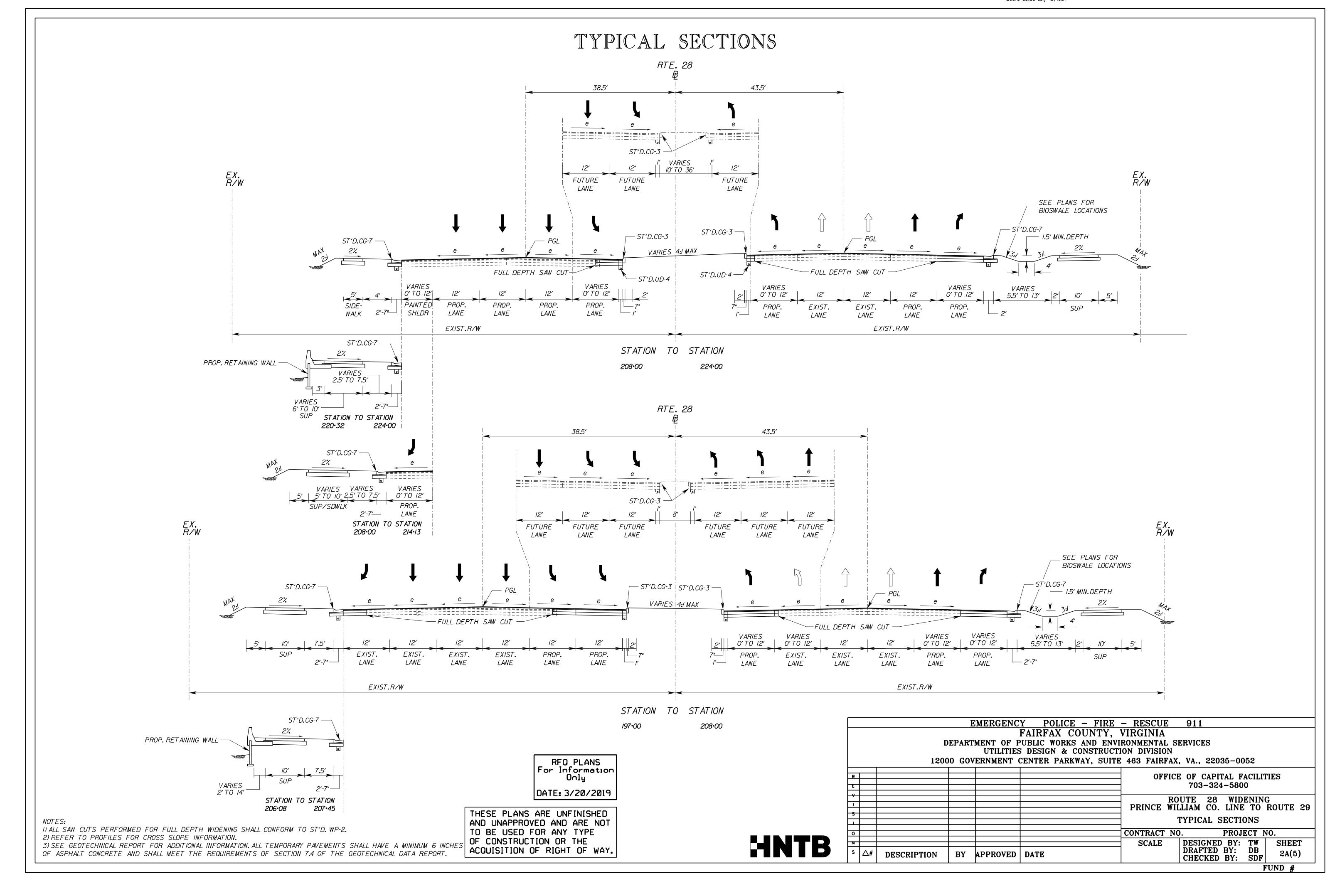
HNTB

FUND #

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SECTIONS TYPICAL RTE. 28 EX. R/W <u>ROUTE 28</u> PAVEMENT BUILDUP DETAIL - *ST'D.CG-7* -ST'D.GR-MGSI — OVERLAY MATCHEXIST CURB CG-3 MATCH EXIST. & GUTTER ¯ EXIST. *₿BUILDUP* EXIST. — FULL DEPTH SAW CUT — *ST'D.UD-4* FULL DEPTH SAW CUT PVMT VARIES | 11.5' TO 24' | 10' | 5' | SUP EXIST._ SIDEWALK PROP. EXIST. EXIST. EXIST. EXIST. LANE LANE LANE LANE LANE LANE LANE EXIST.R/W EXIST.R/W

STATION TO STATION

236•40

224.00

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NOTES:

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EMERGENCY POLICE - FIRE - RESCUE 911

FAIRFAX COUNTY, VIRGINIA

DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL SERVICES

UTILITIES DESIGN & CONSTRUCTION DIVISION

12000 GOVERNMENT CENTER PARKWAY, SUITE 463 FAIRFAX, VA., 22035-0052

OFFICE OF CAPITAL FACILITIES

703-324-5800

ROUTE 28 WIDENING
PRINCE WILLIAM CO. LINE TO ROUTE 29

TYPICAL SECTIONS

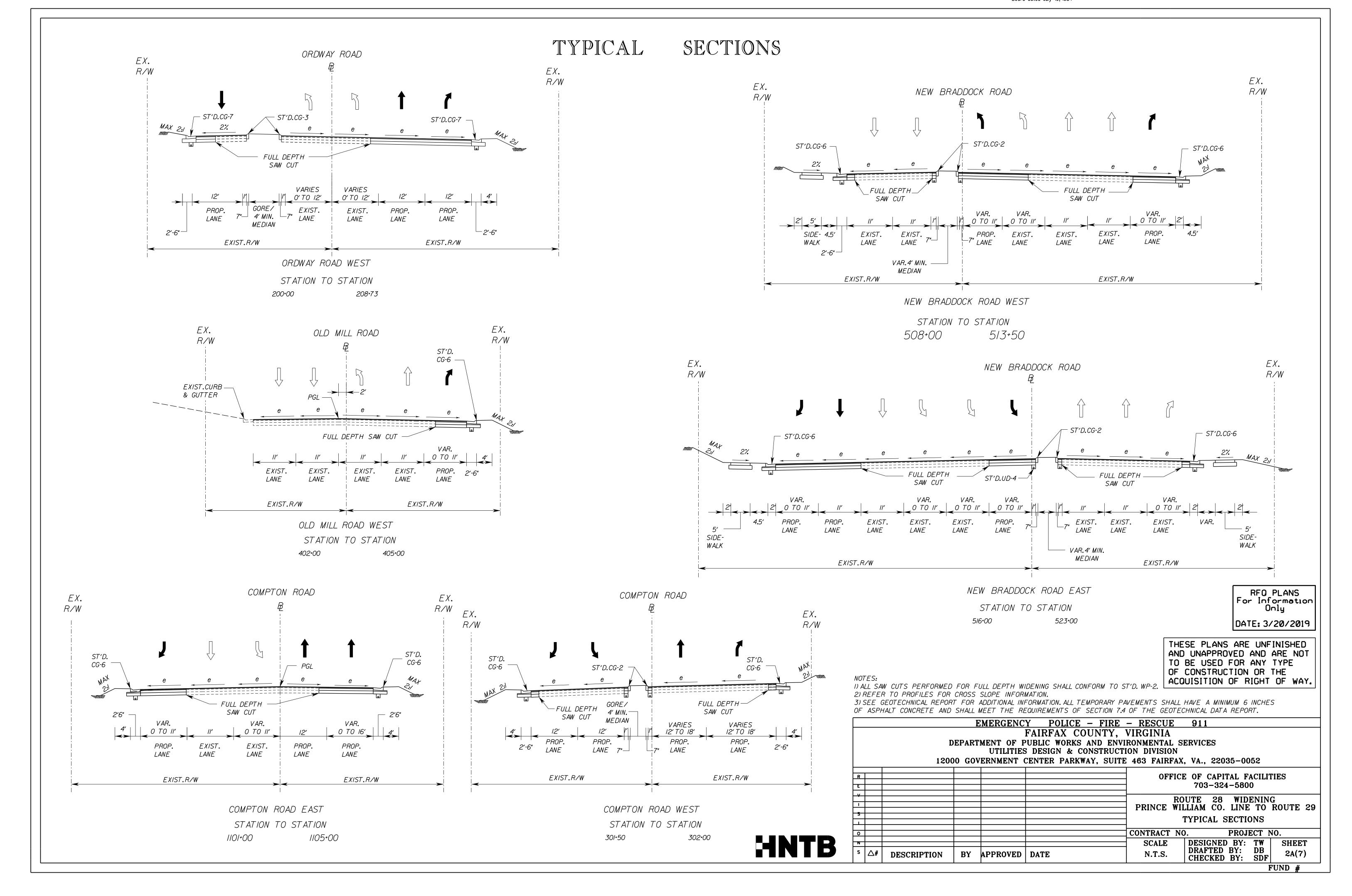
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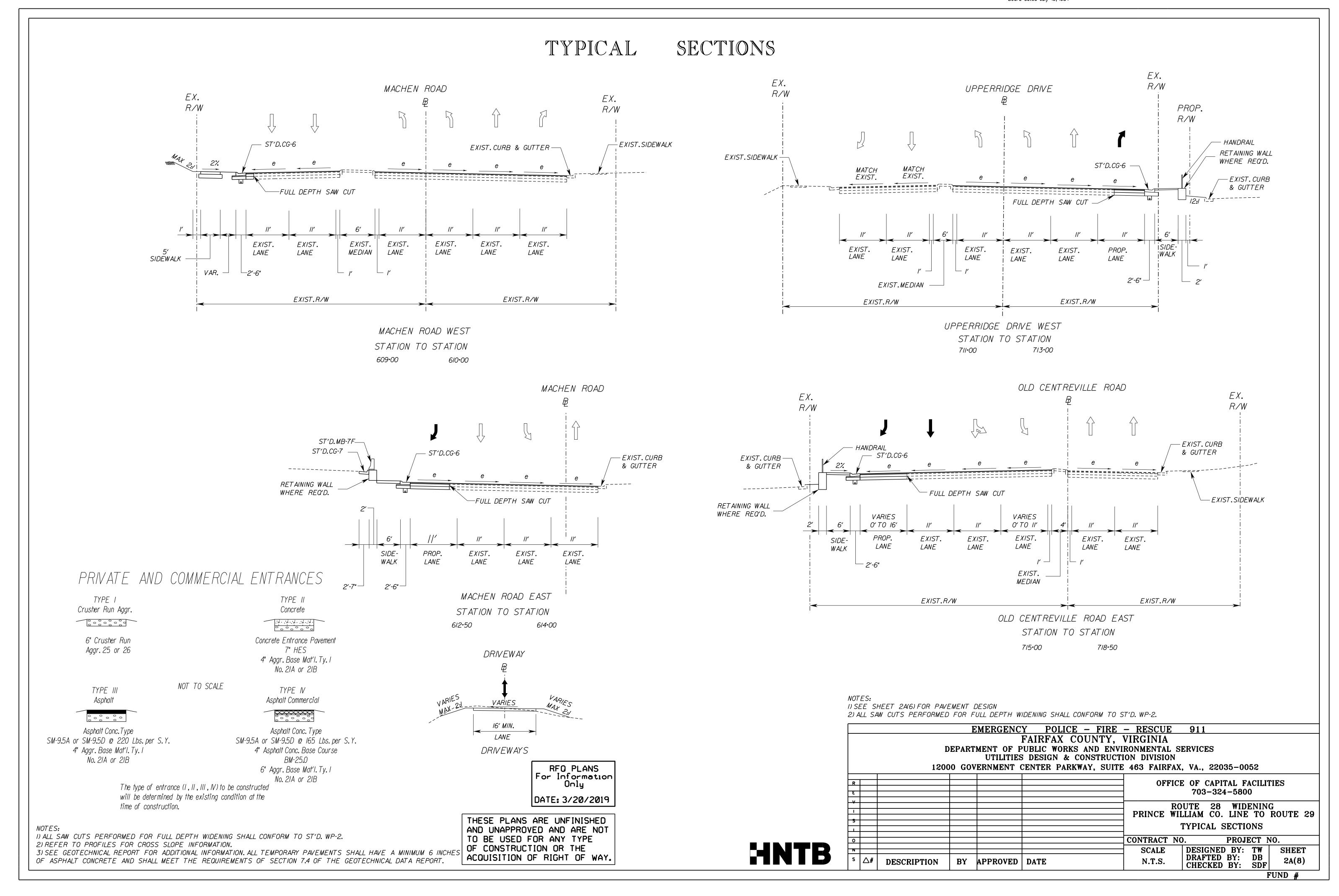


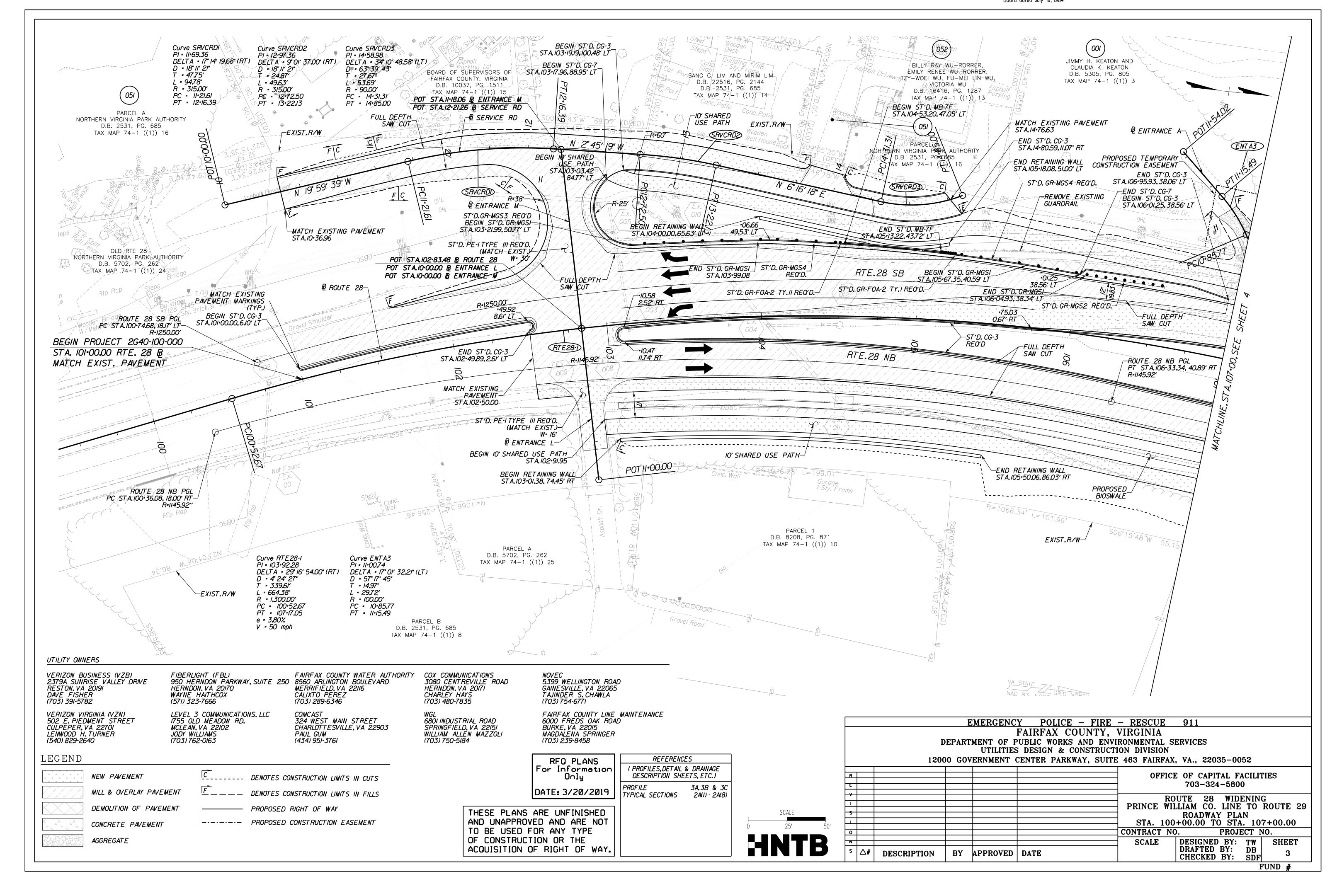
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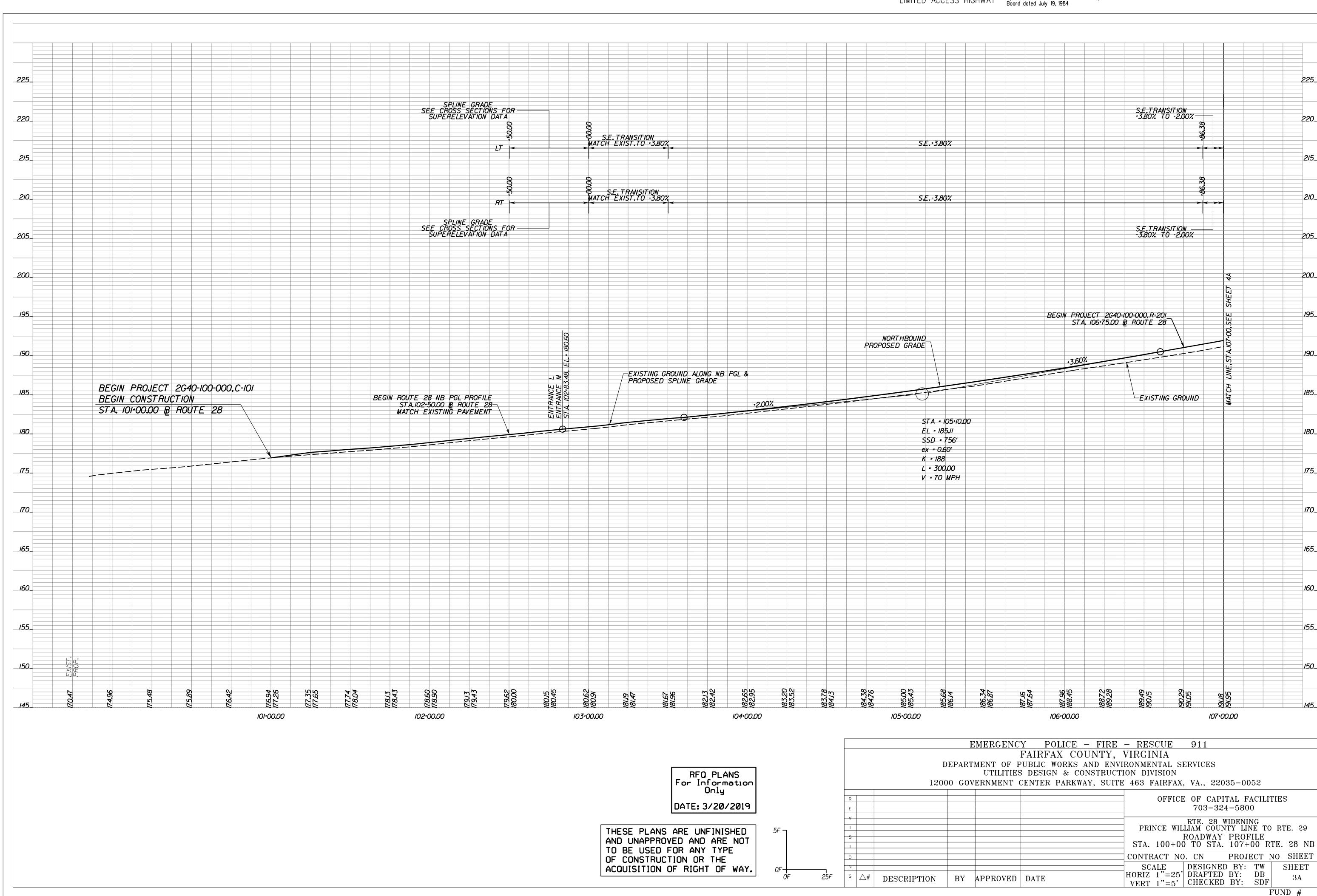
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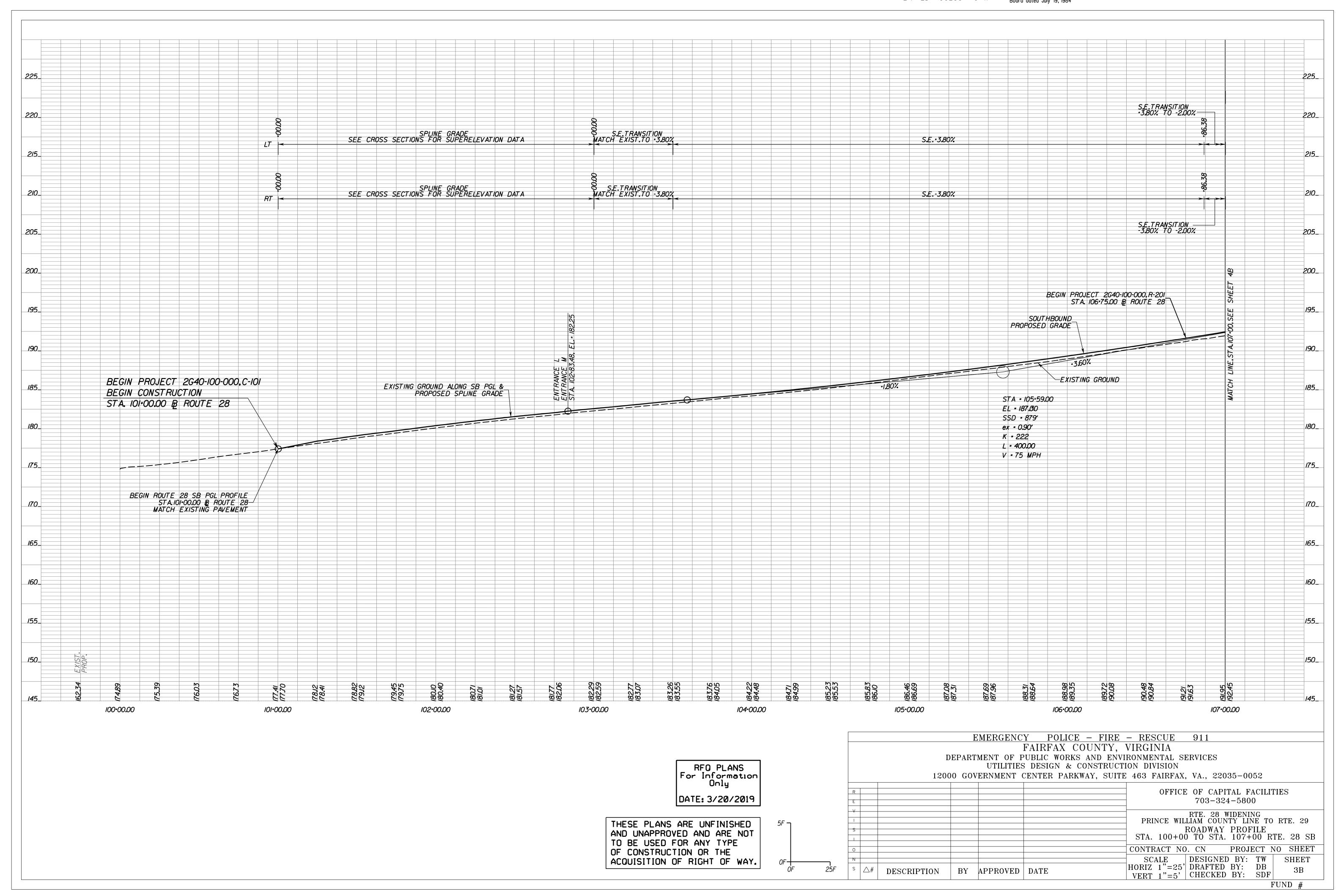
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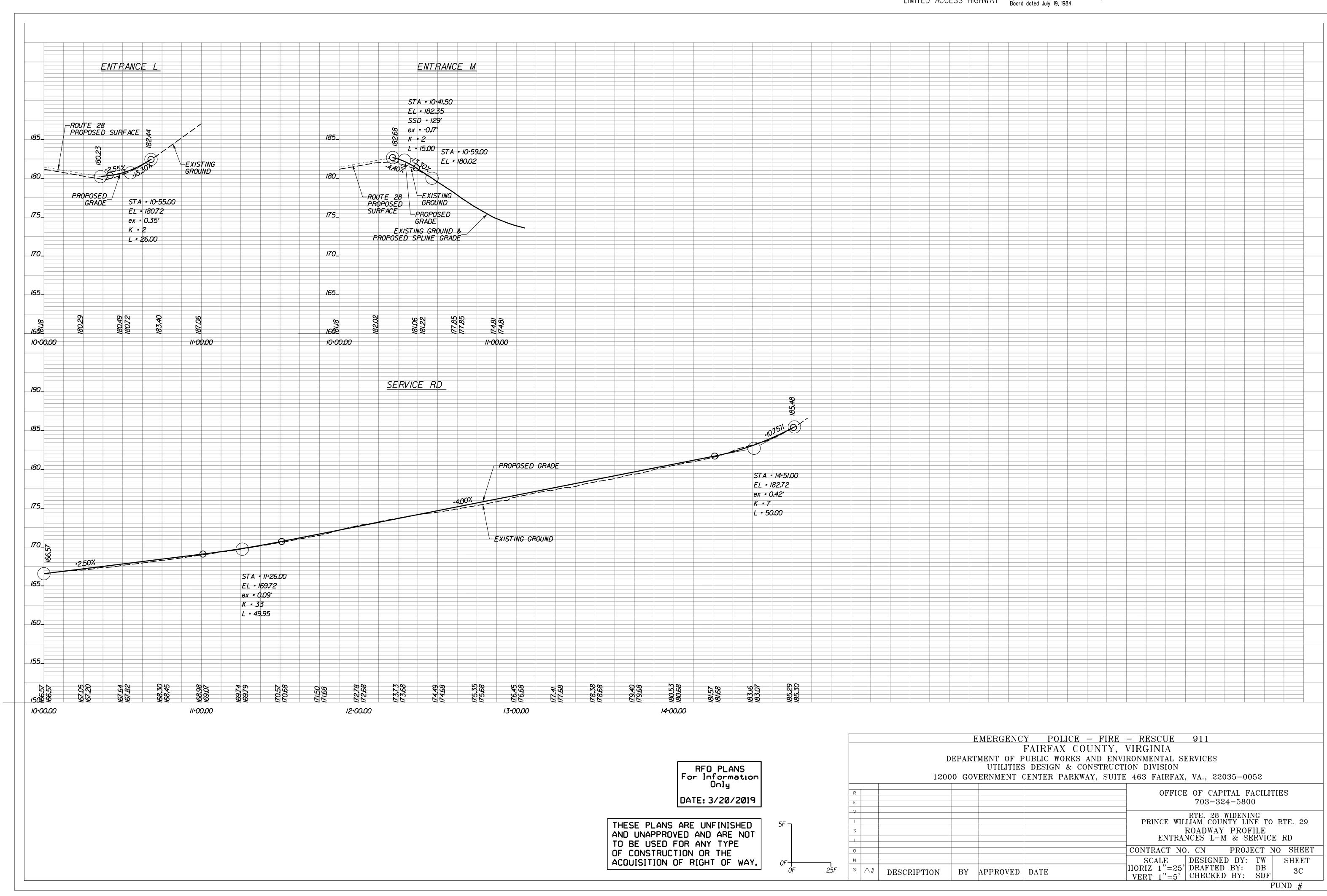


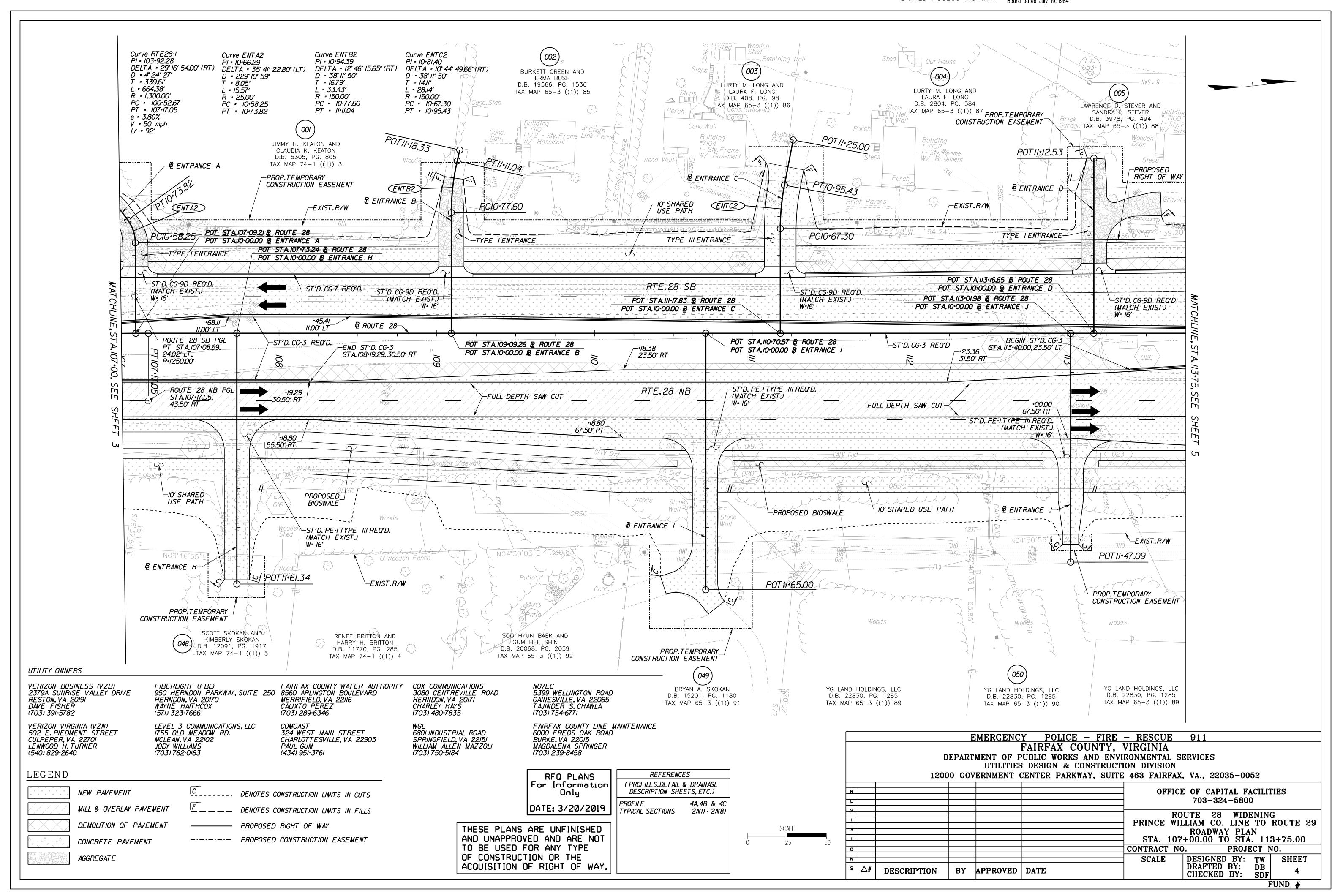


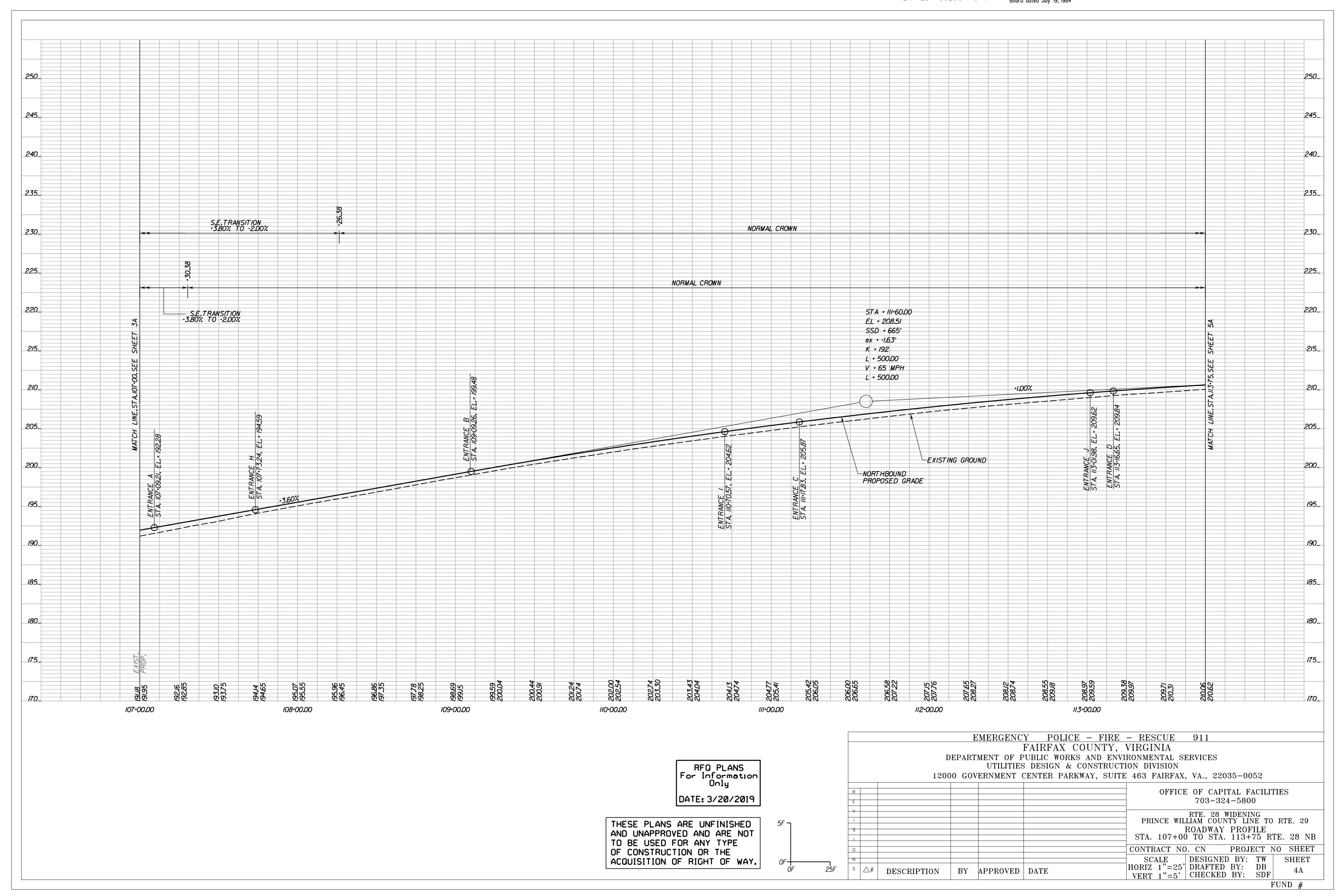


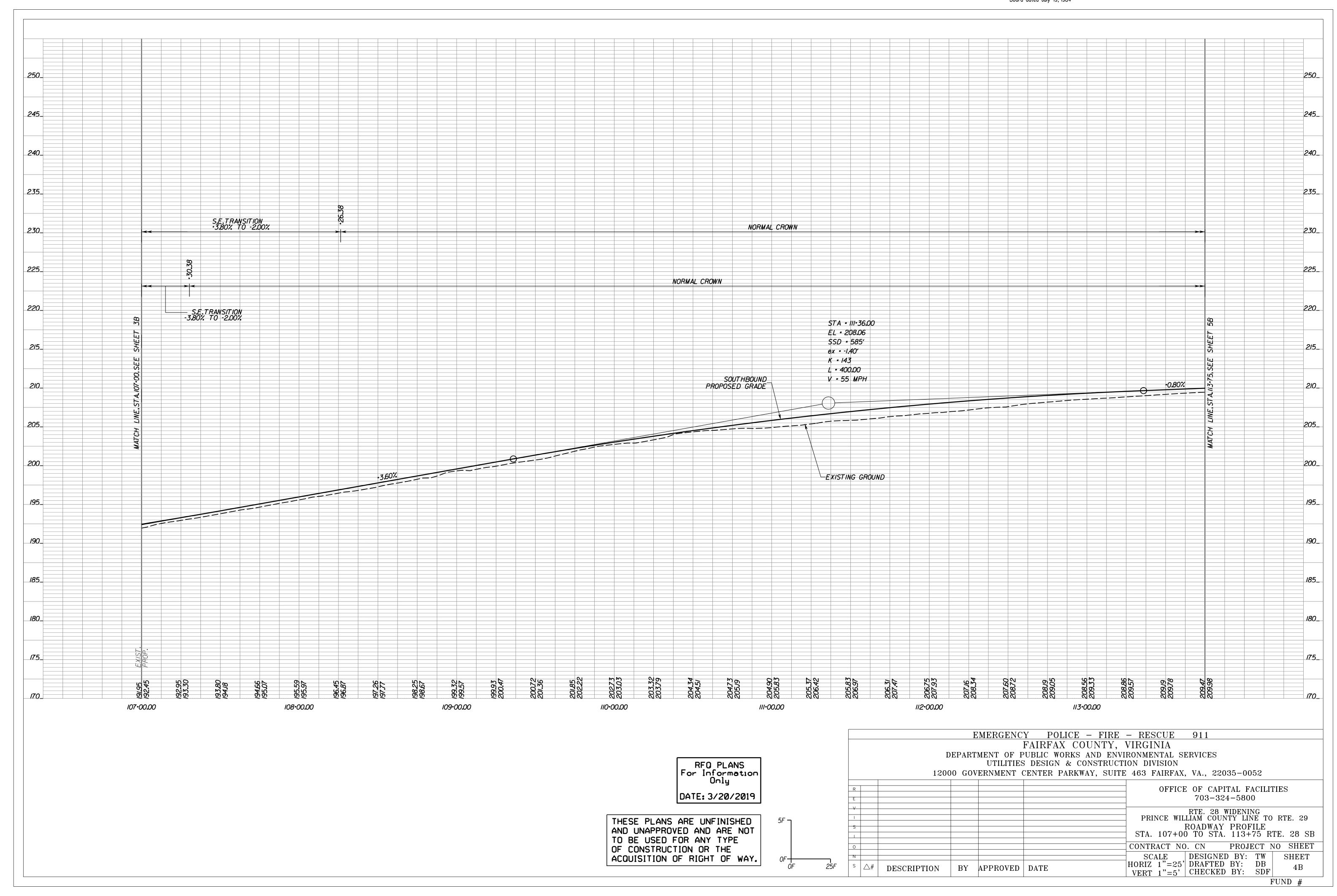


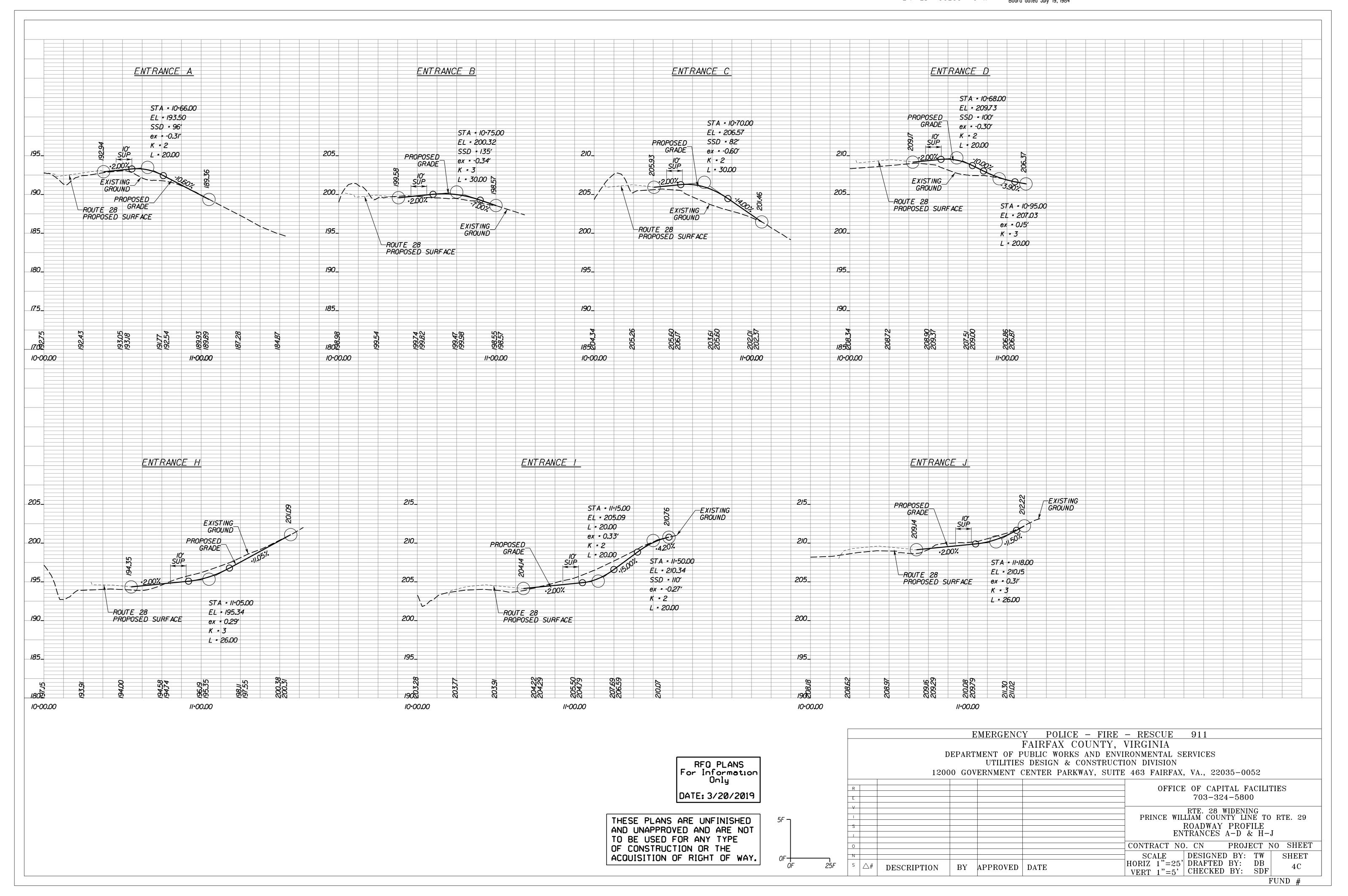


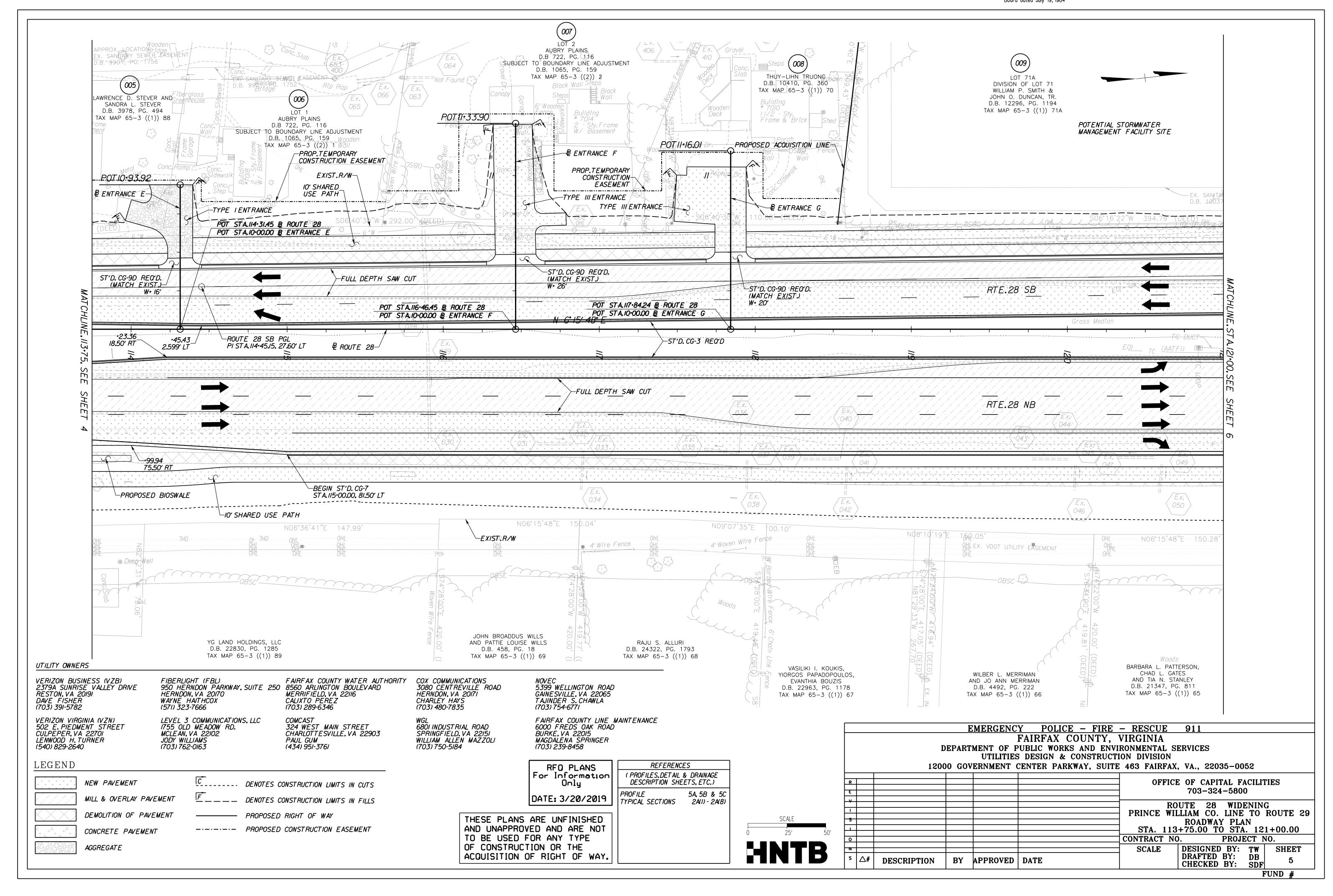


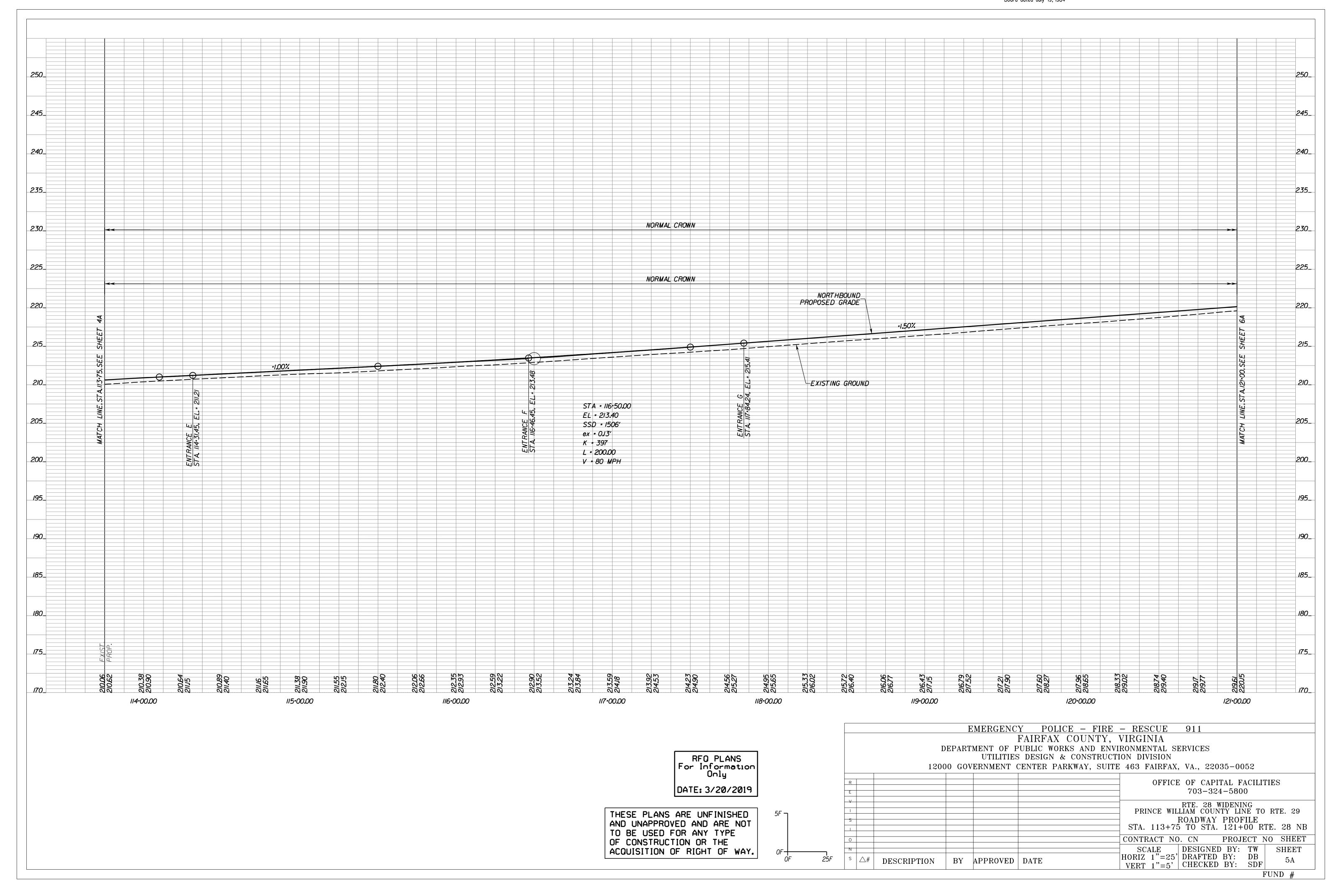


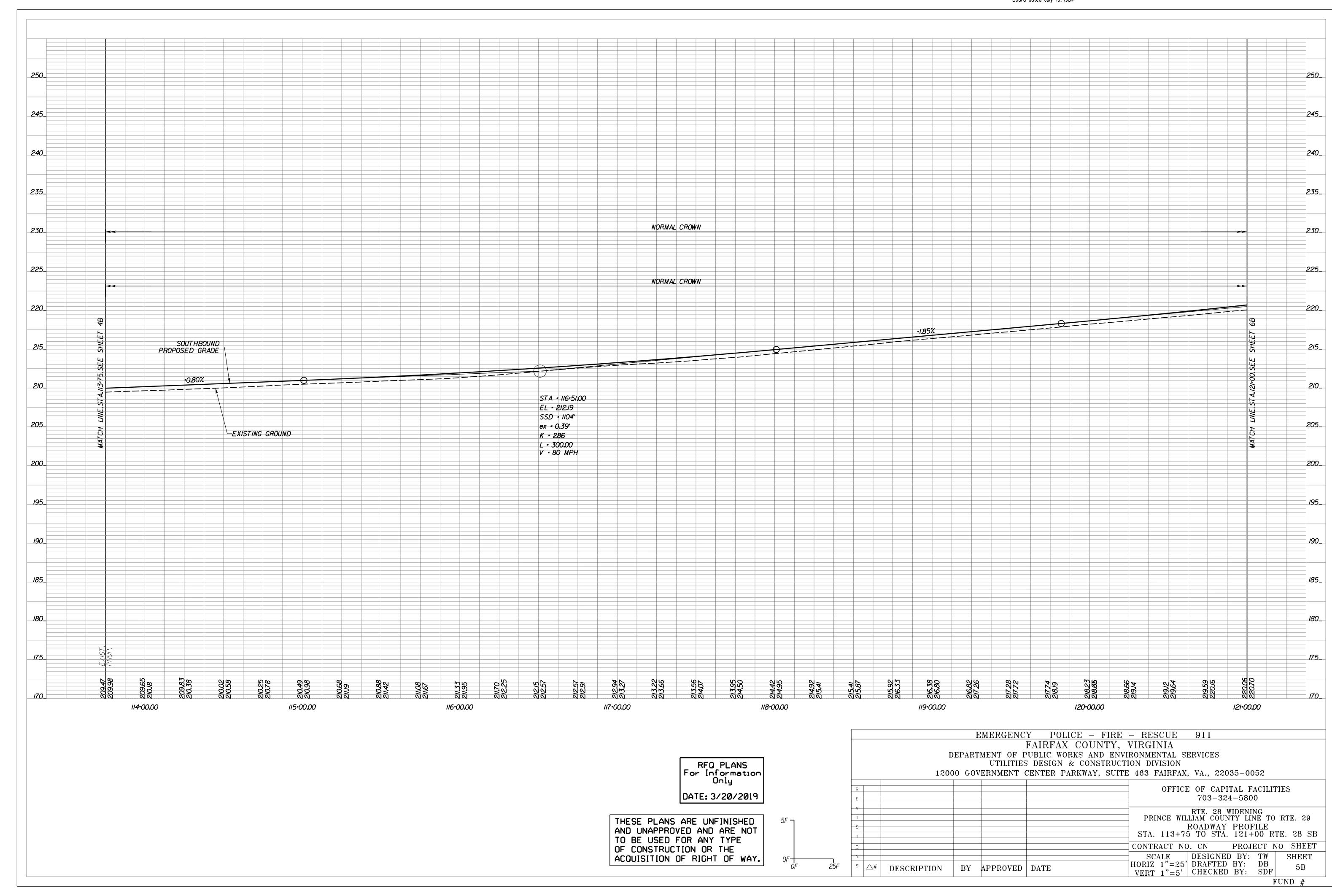


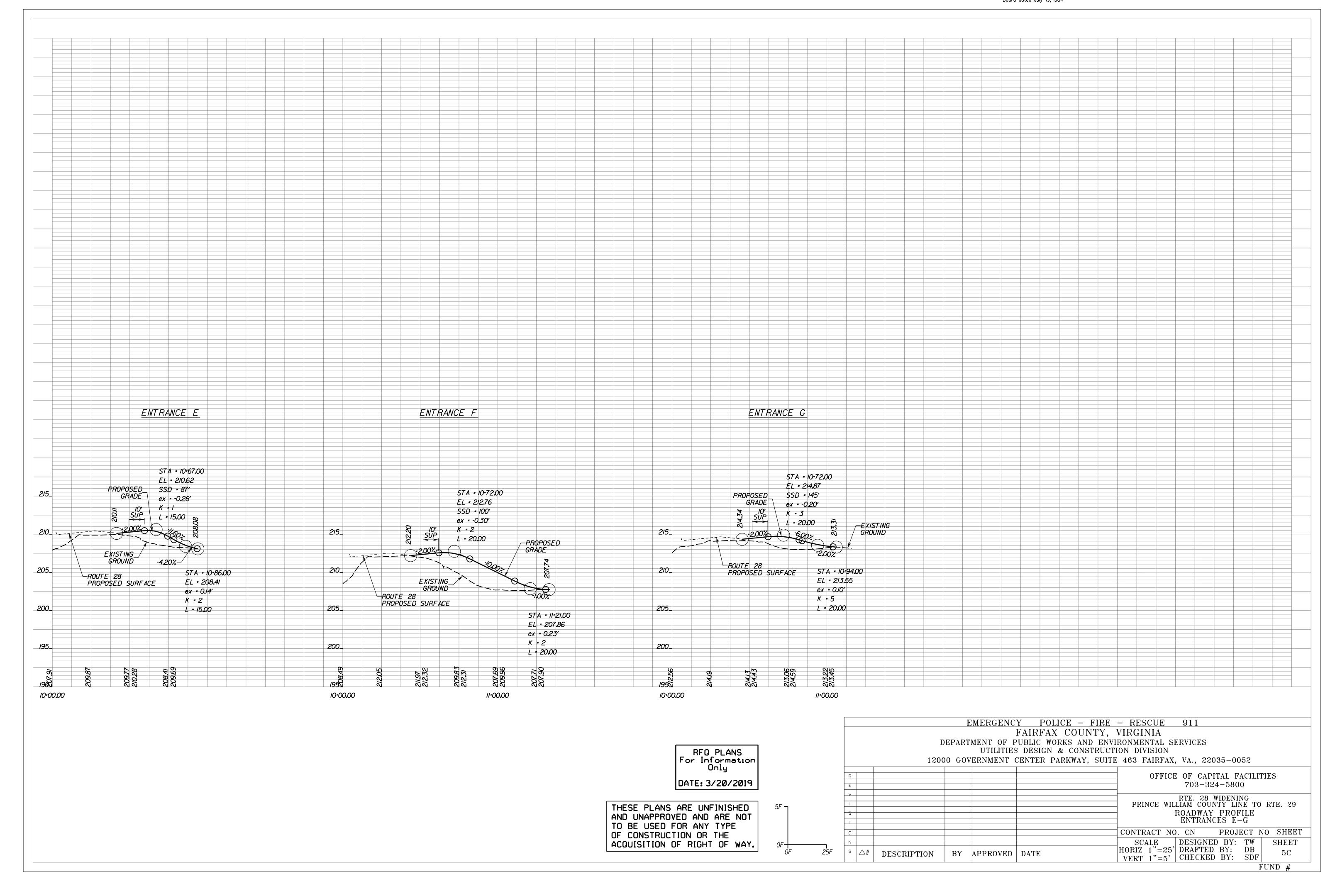


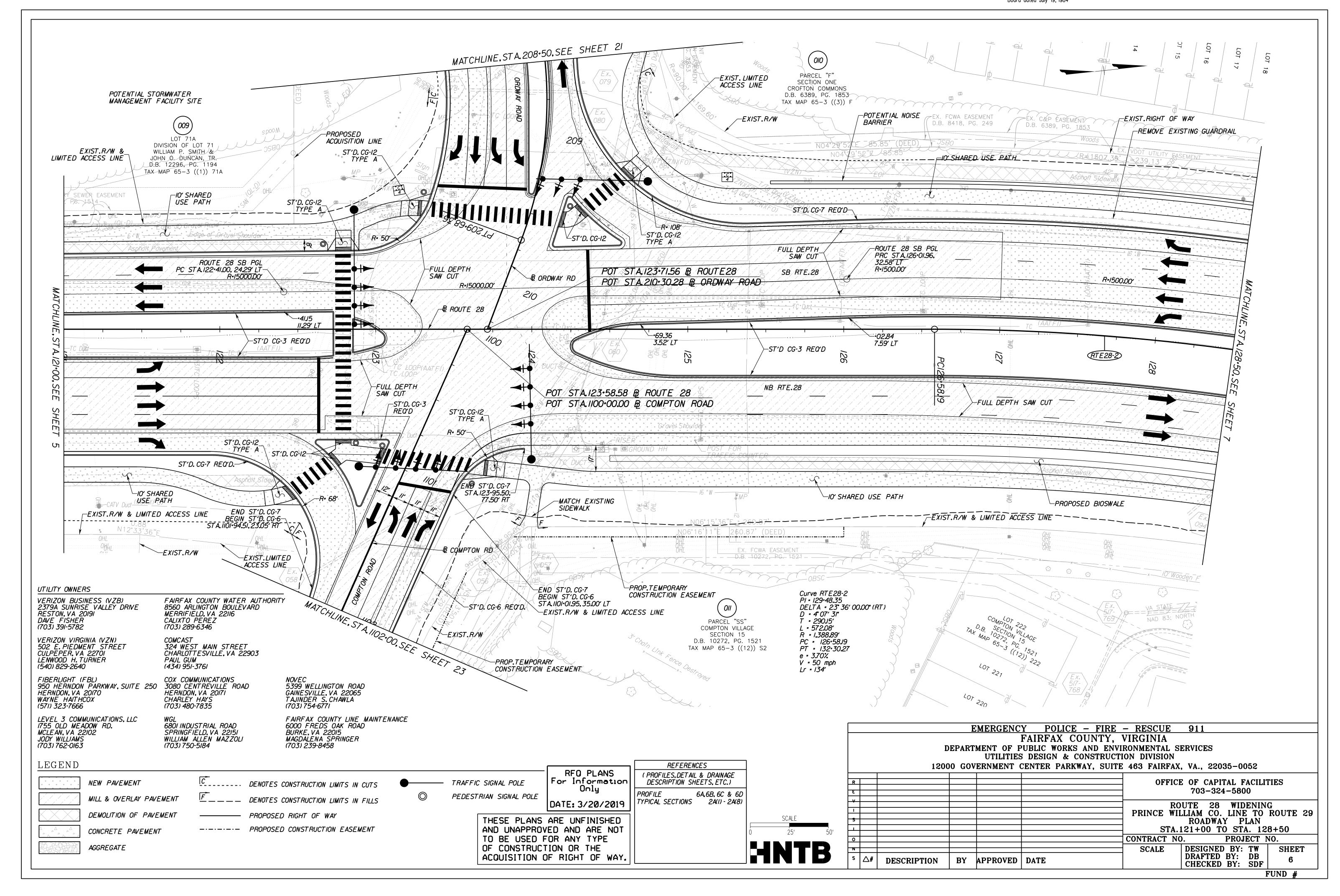


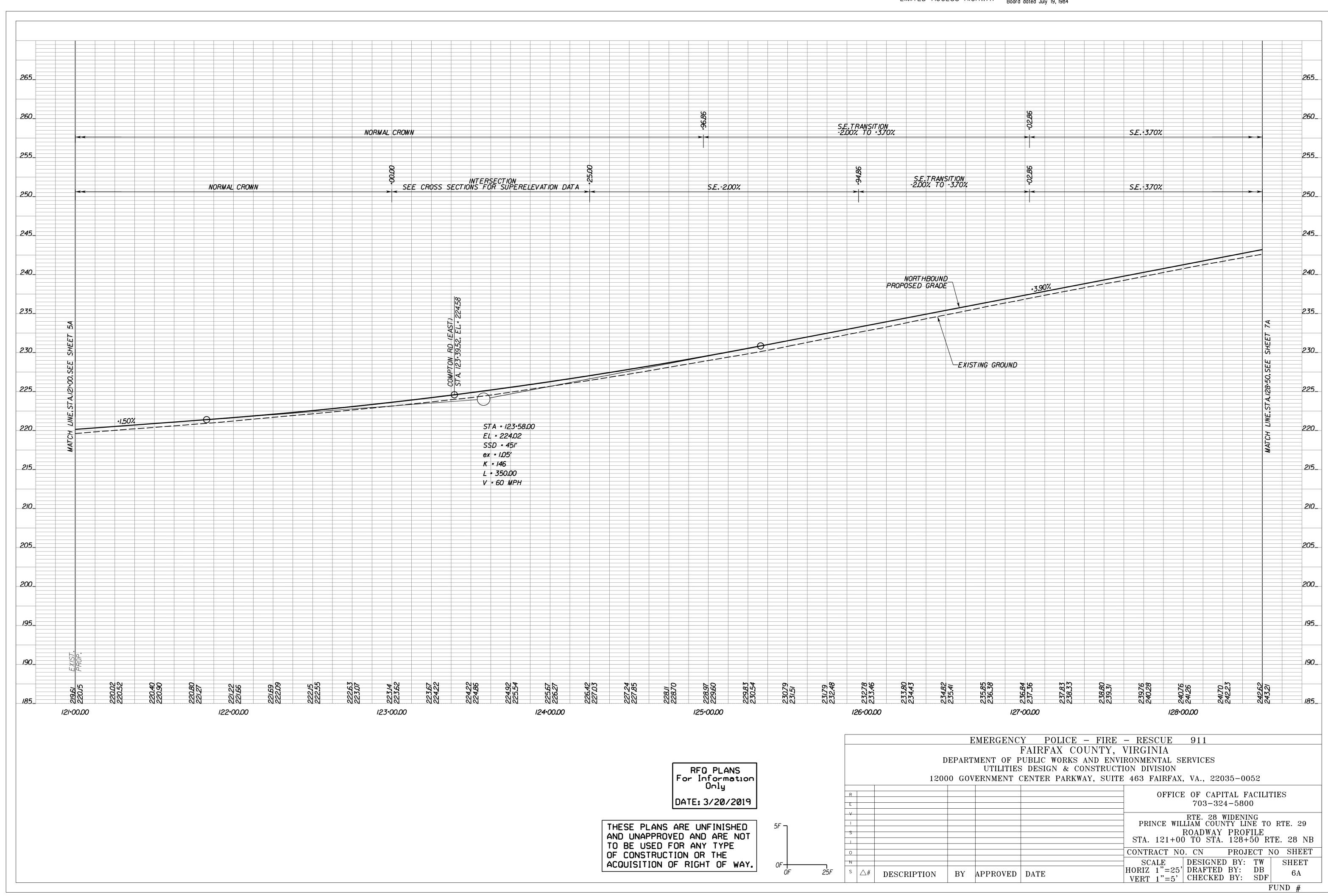


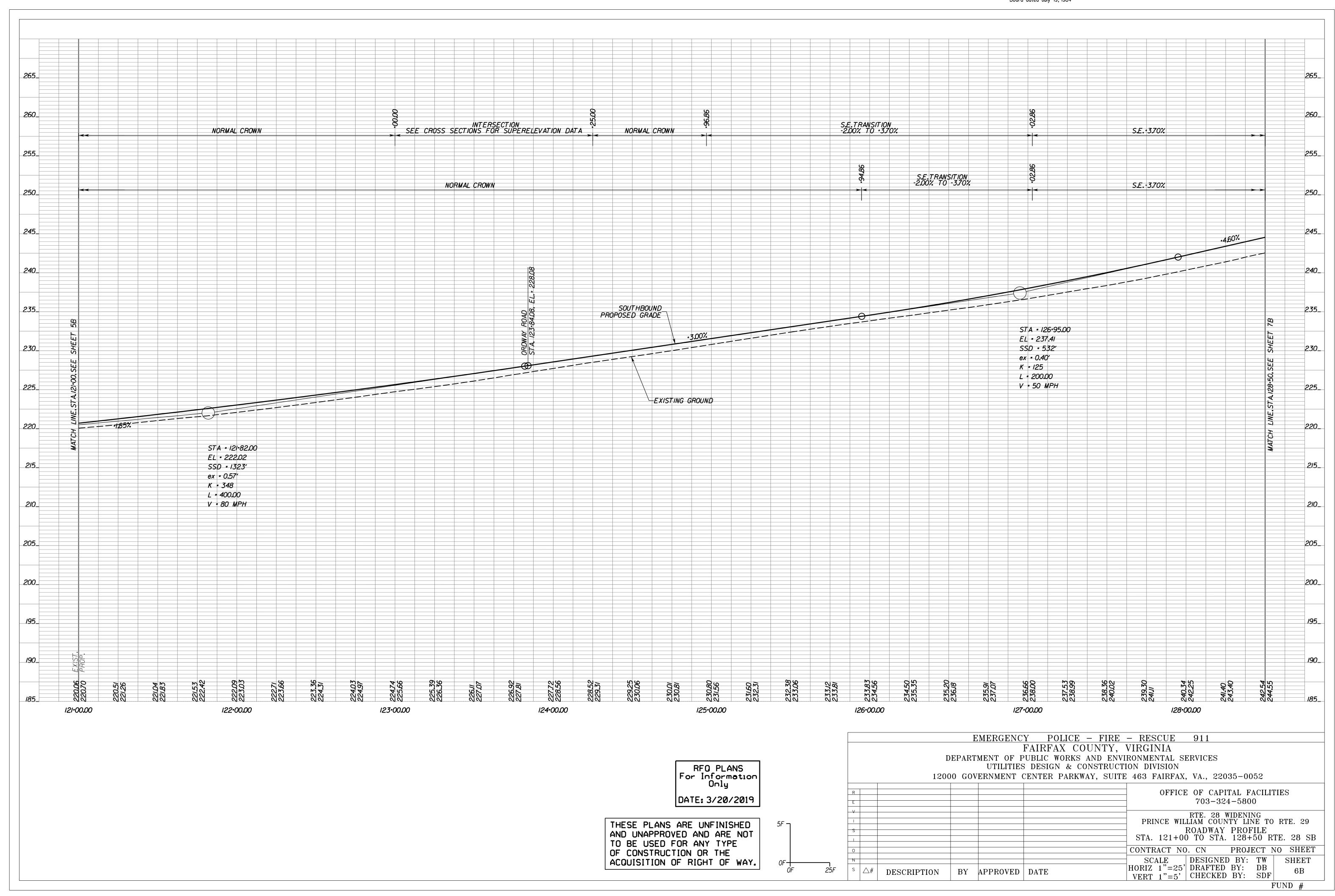


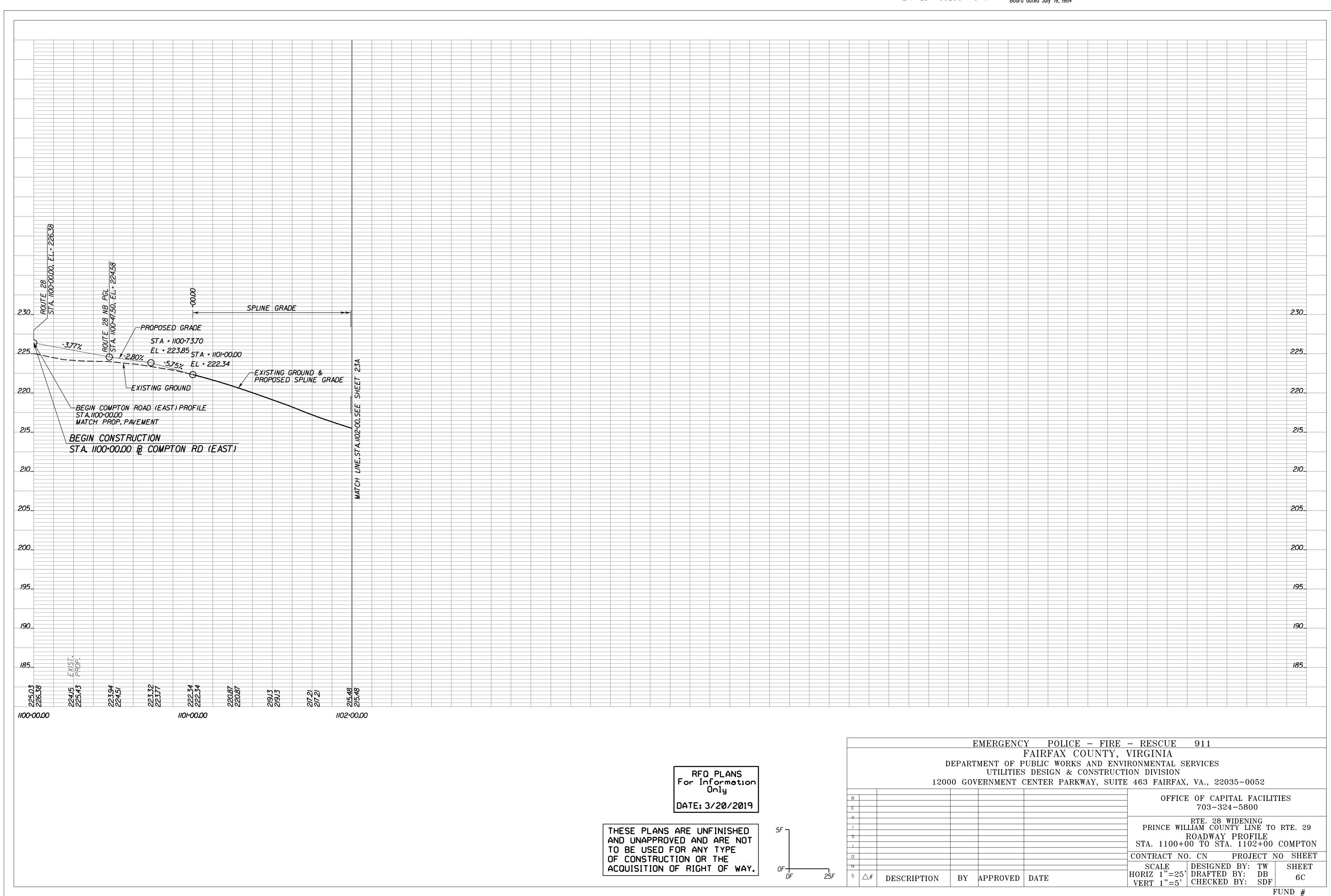


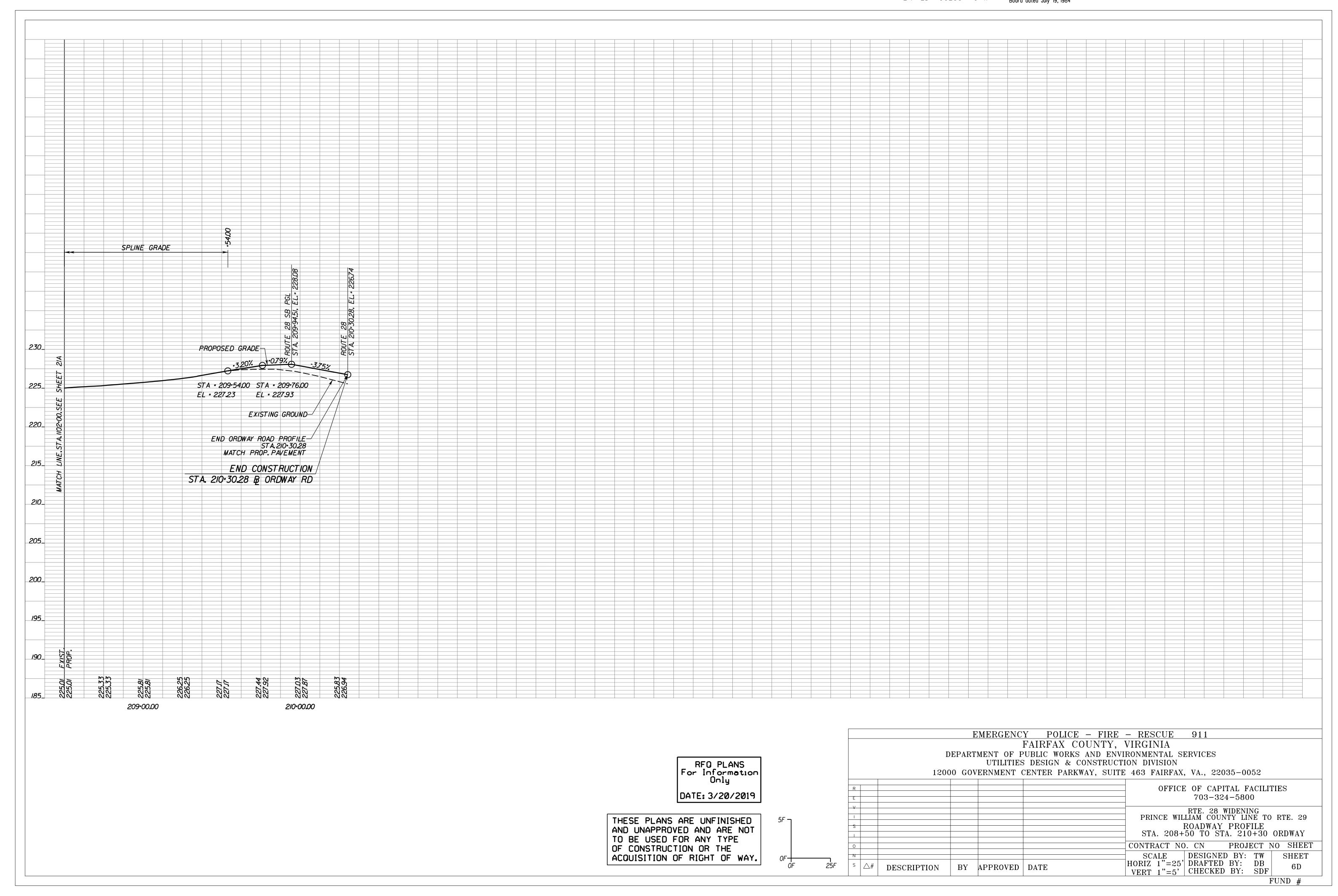


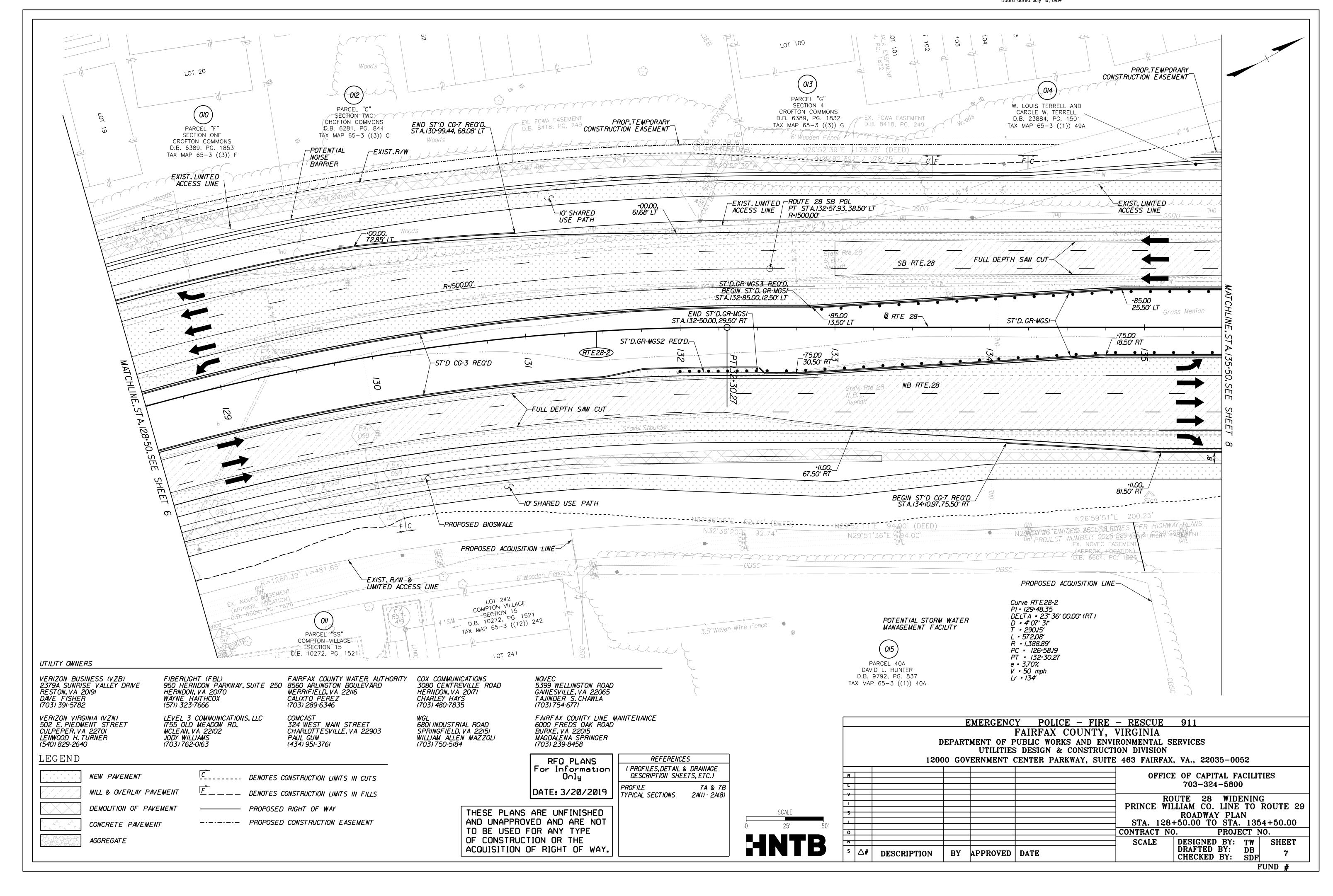


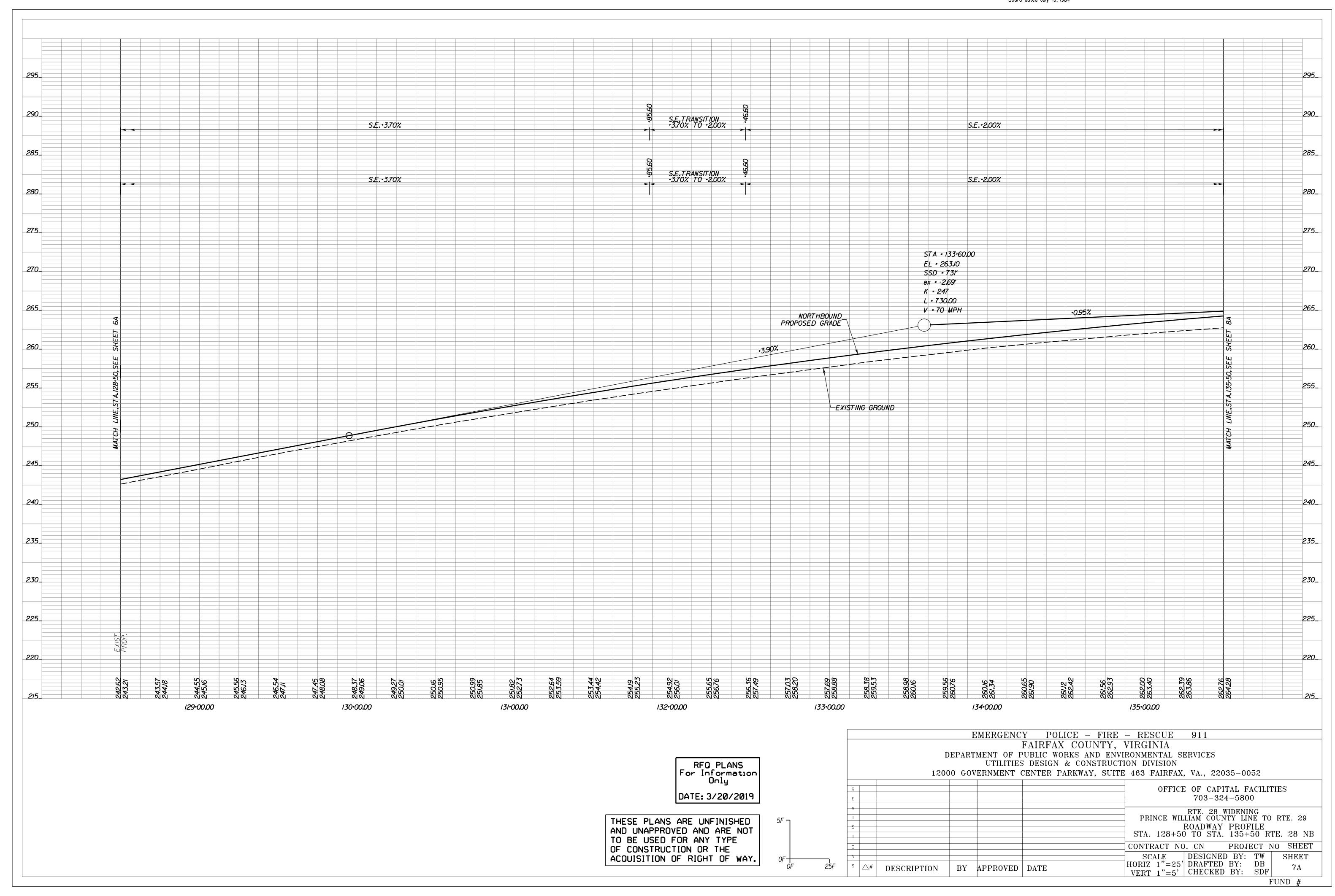


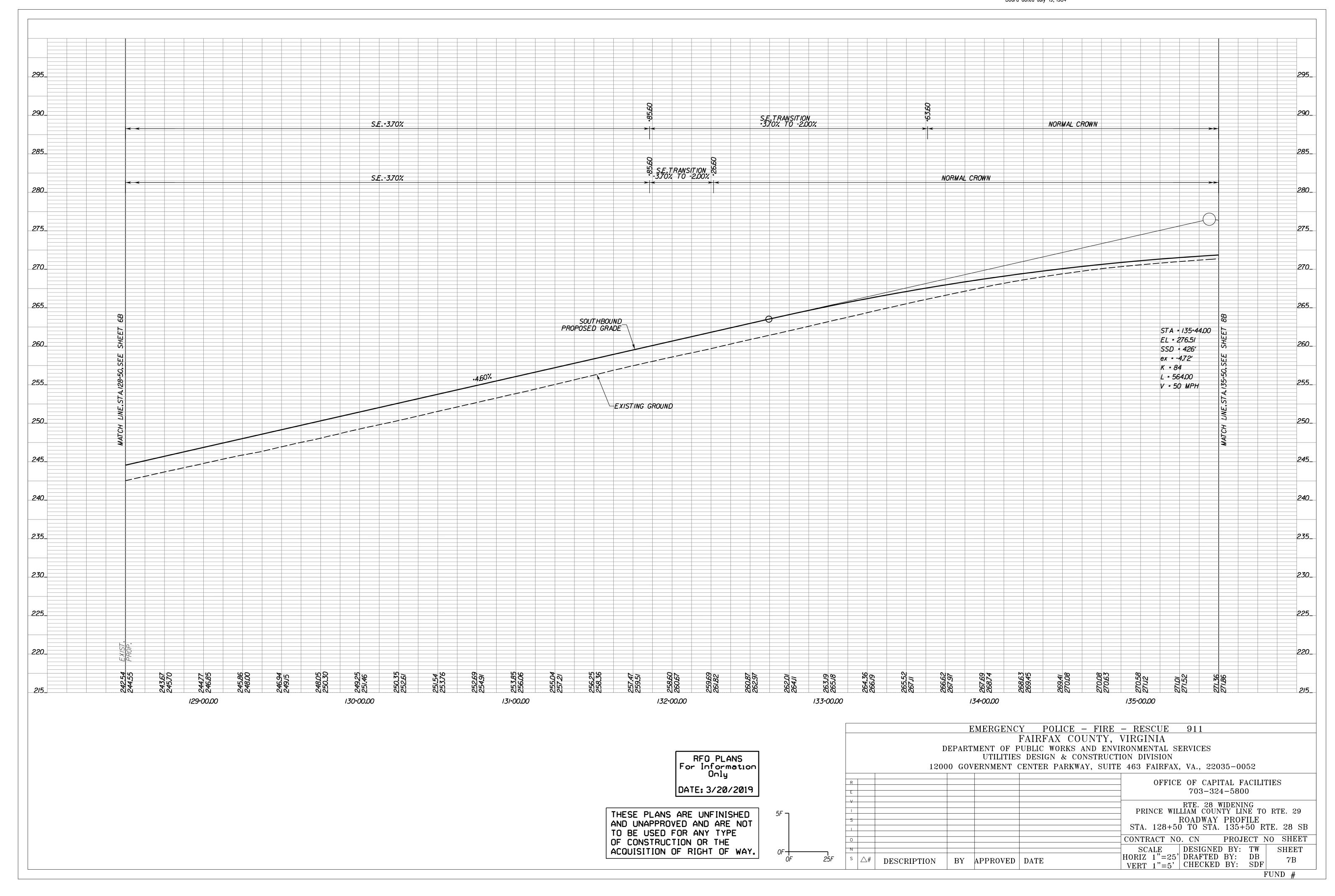


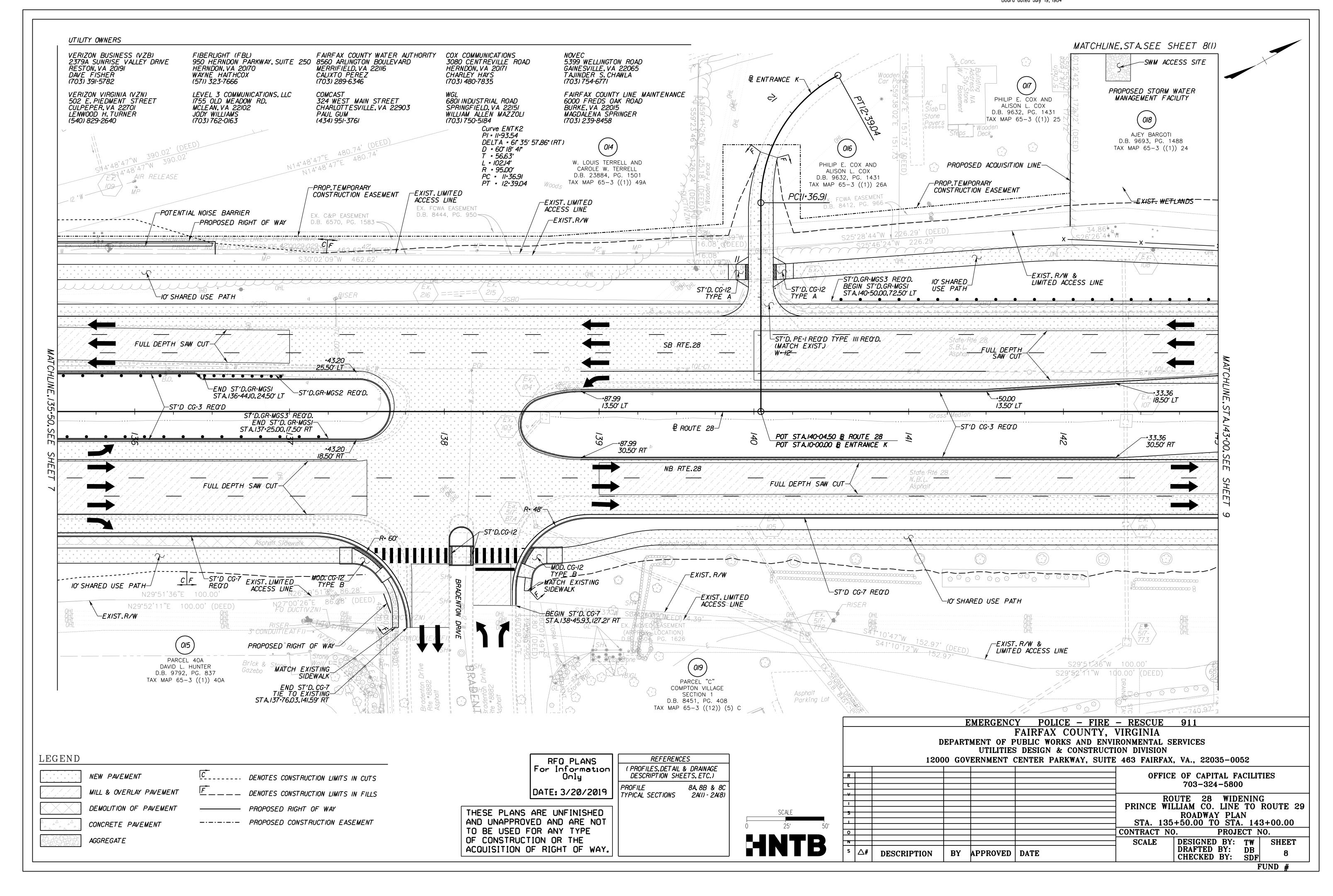


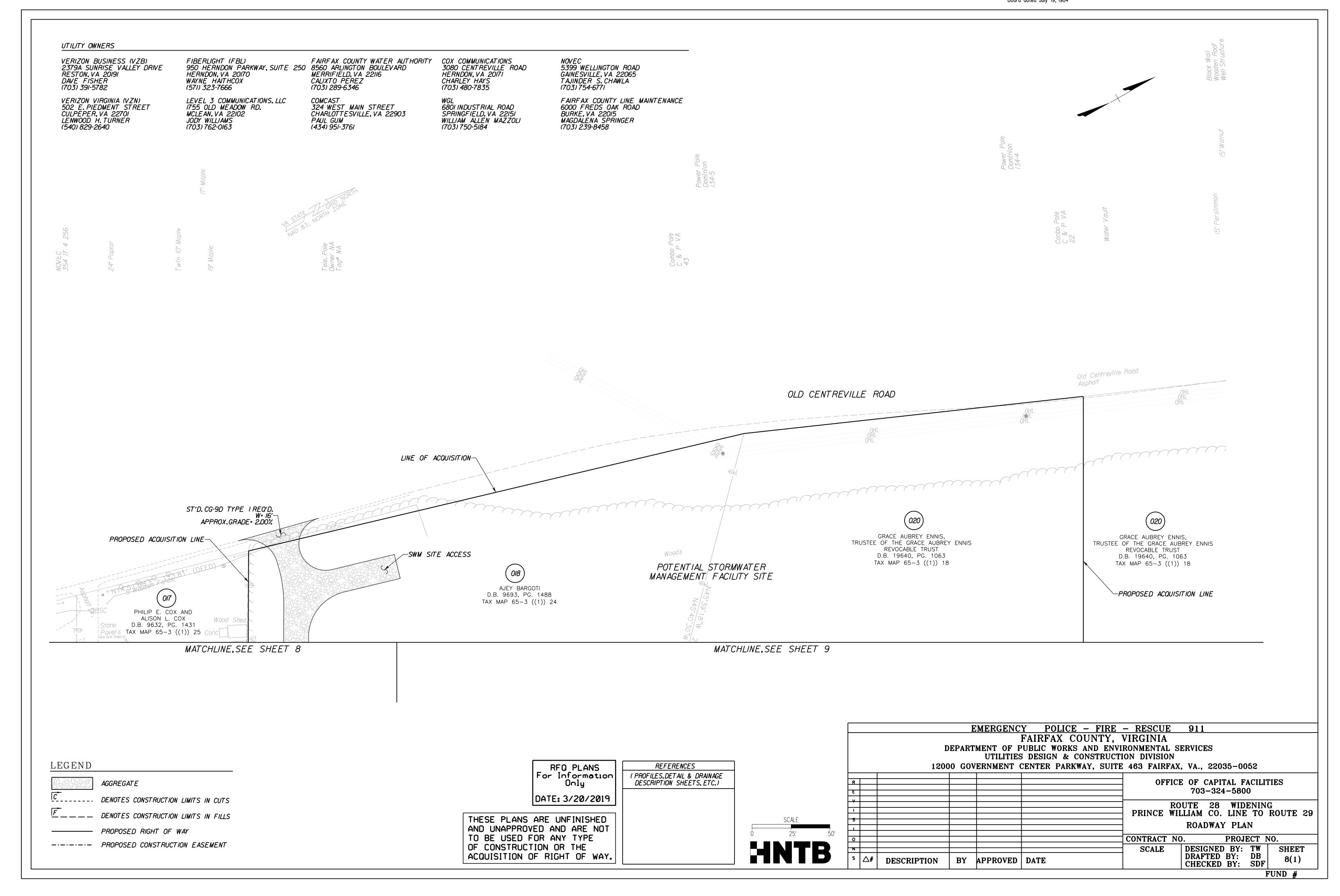


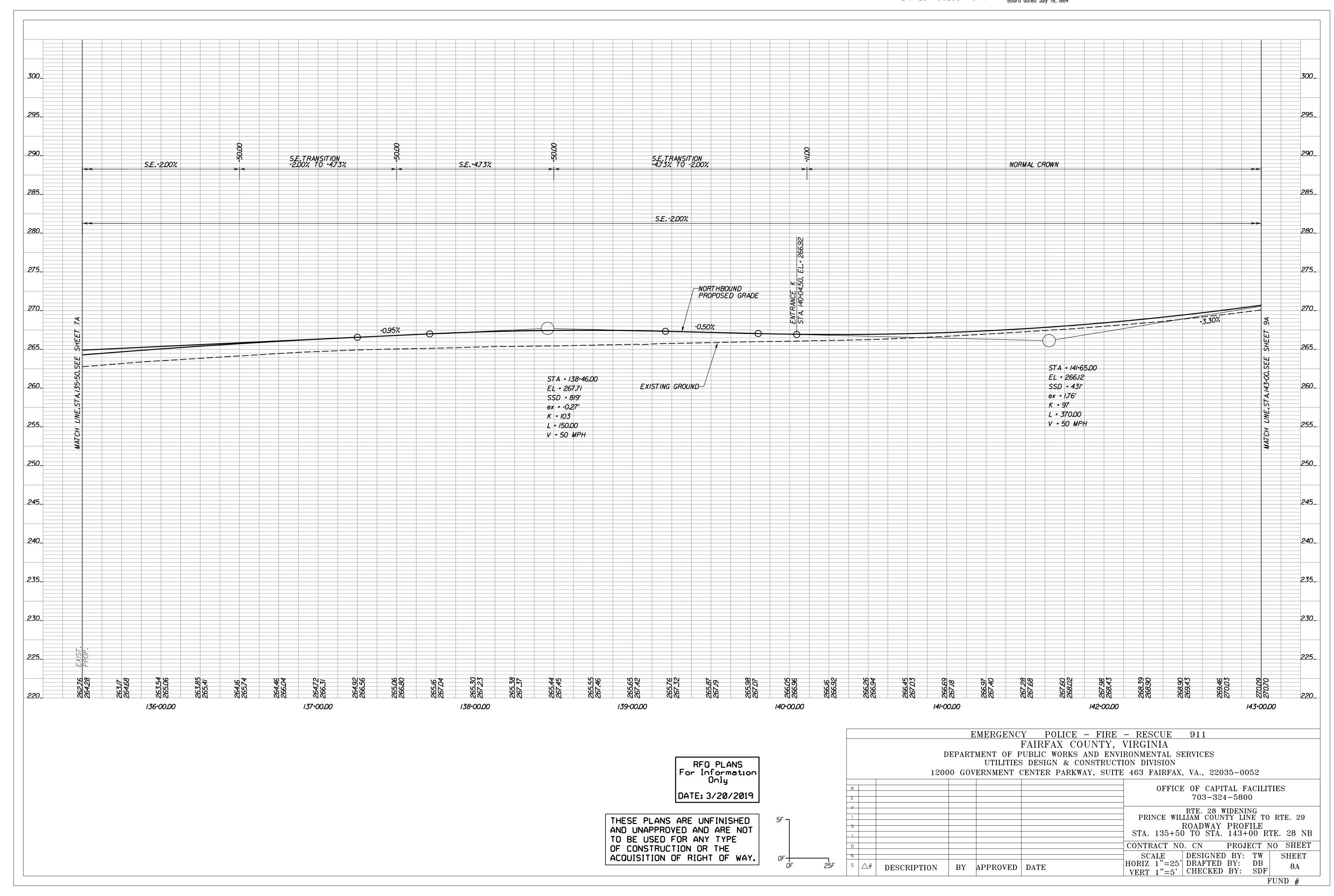


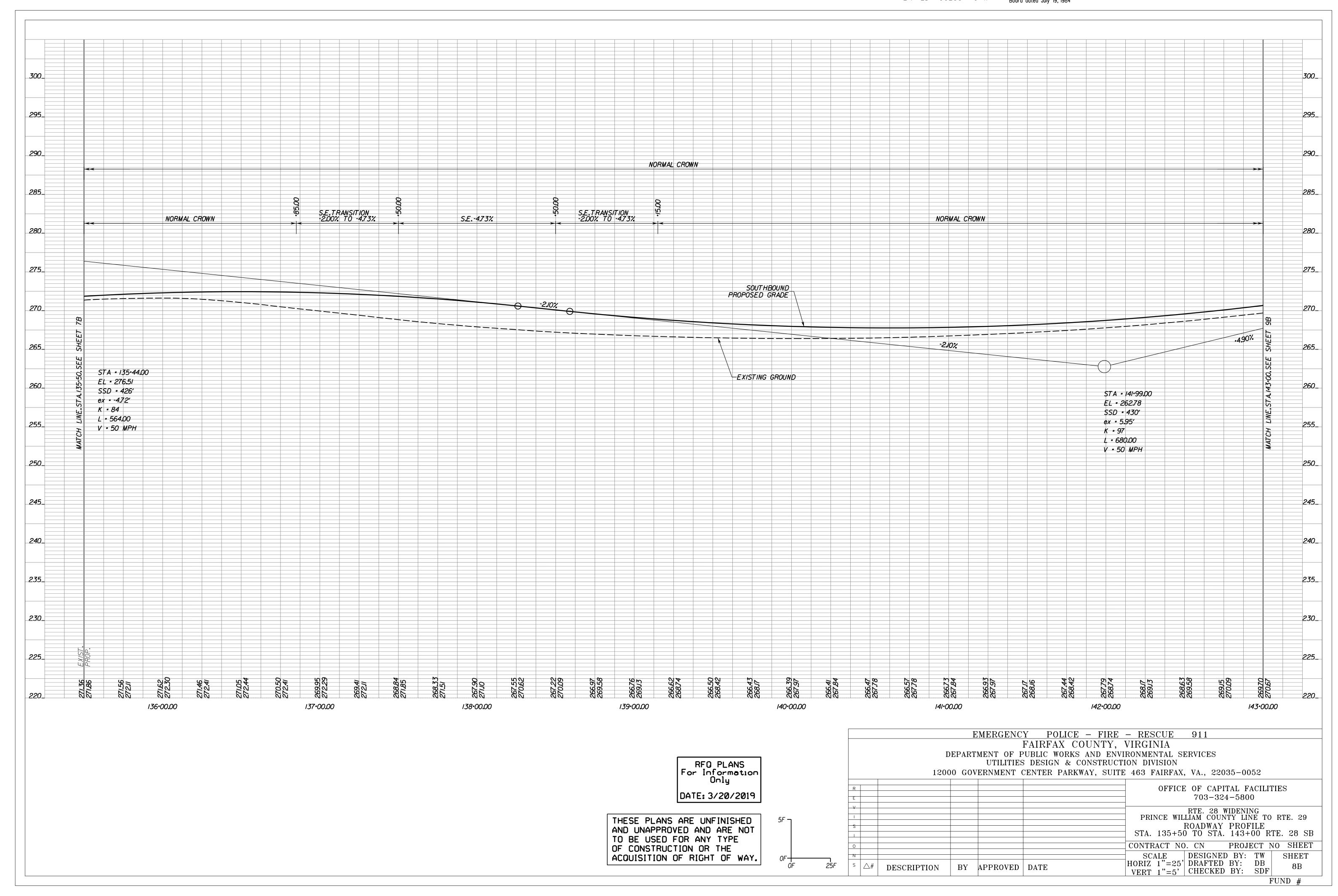


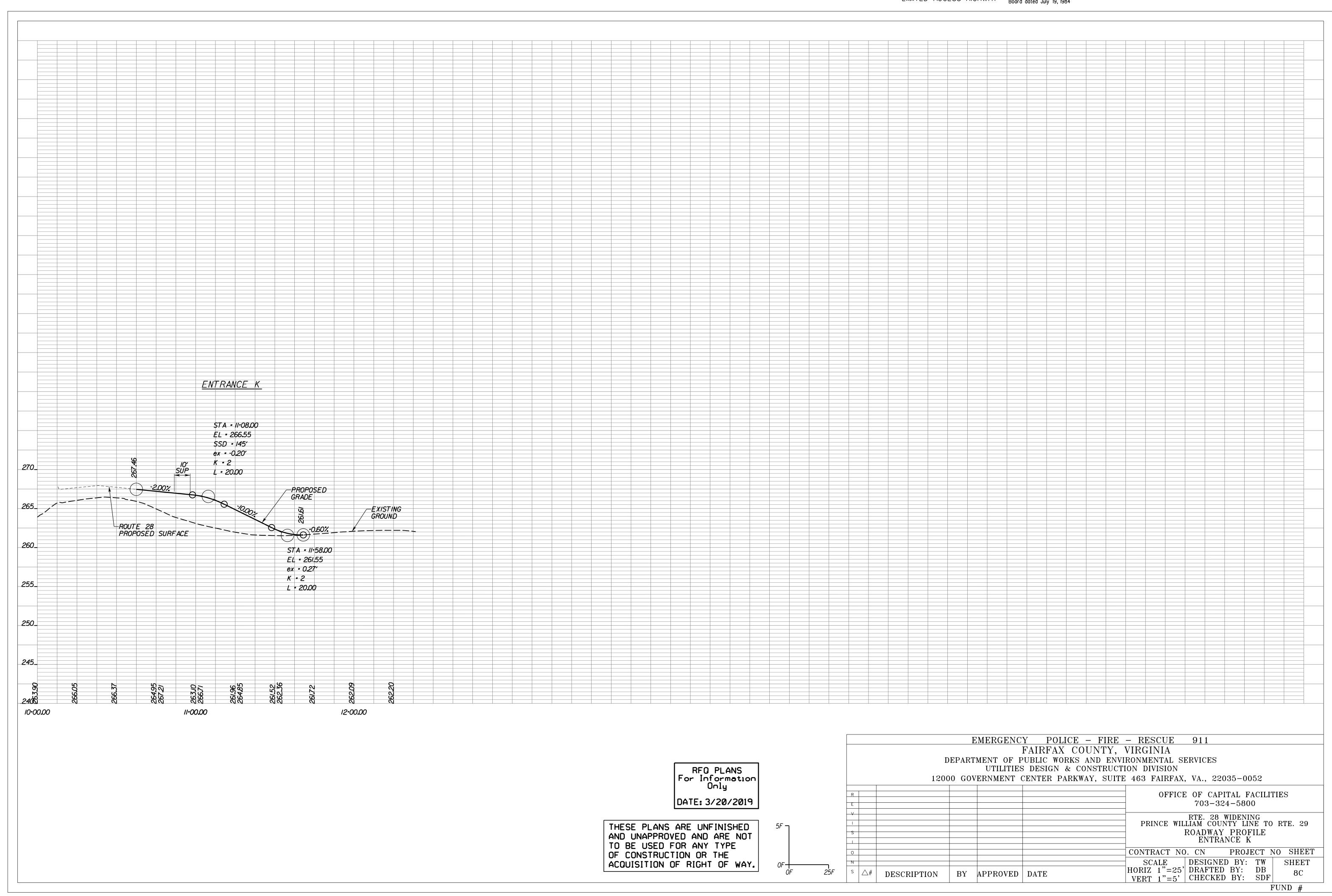


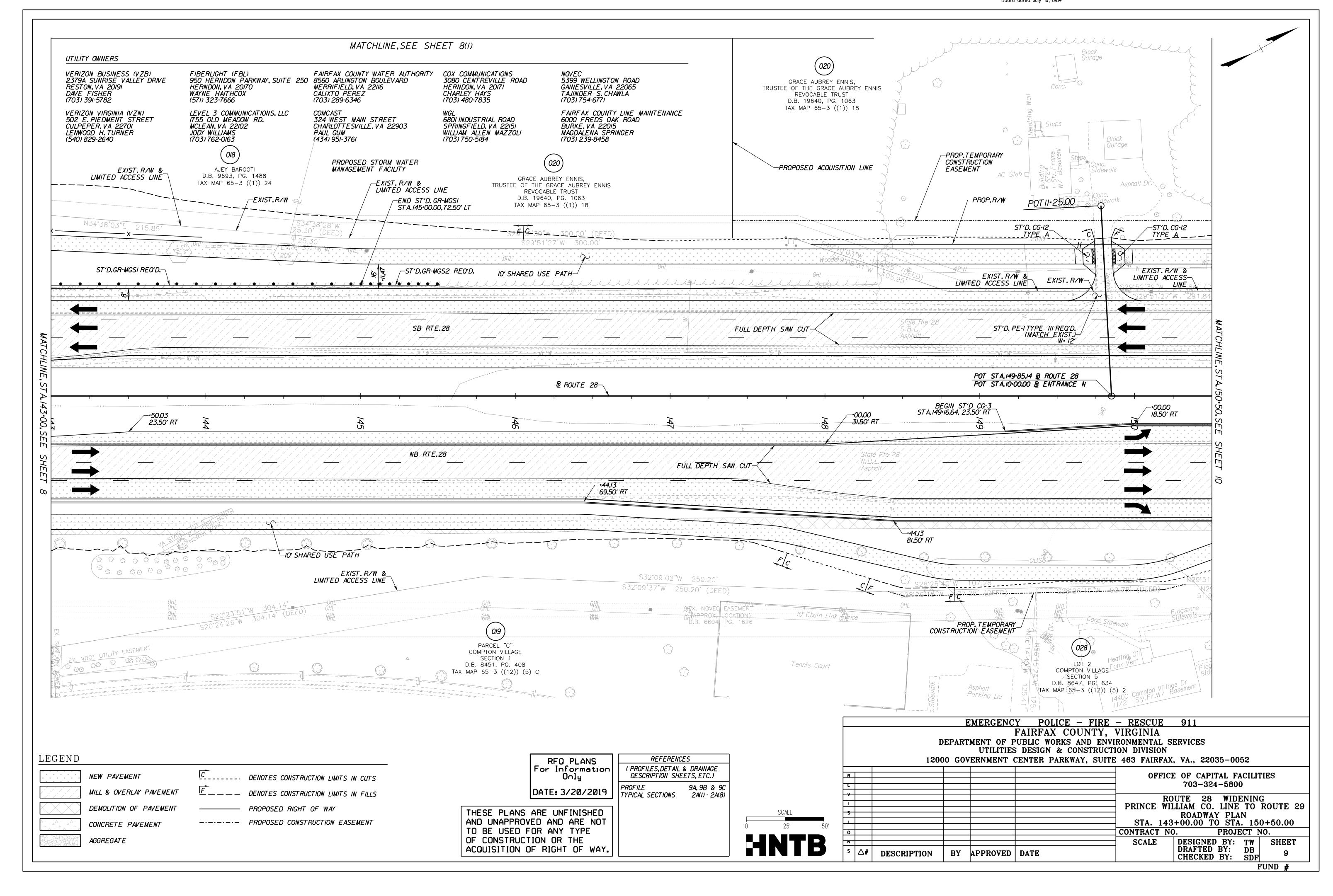


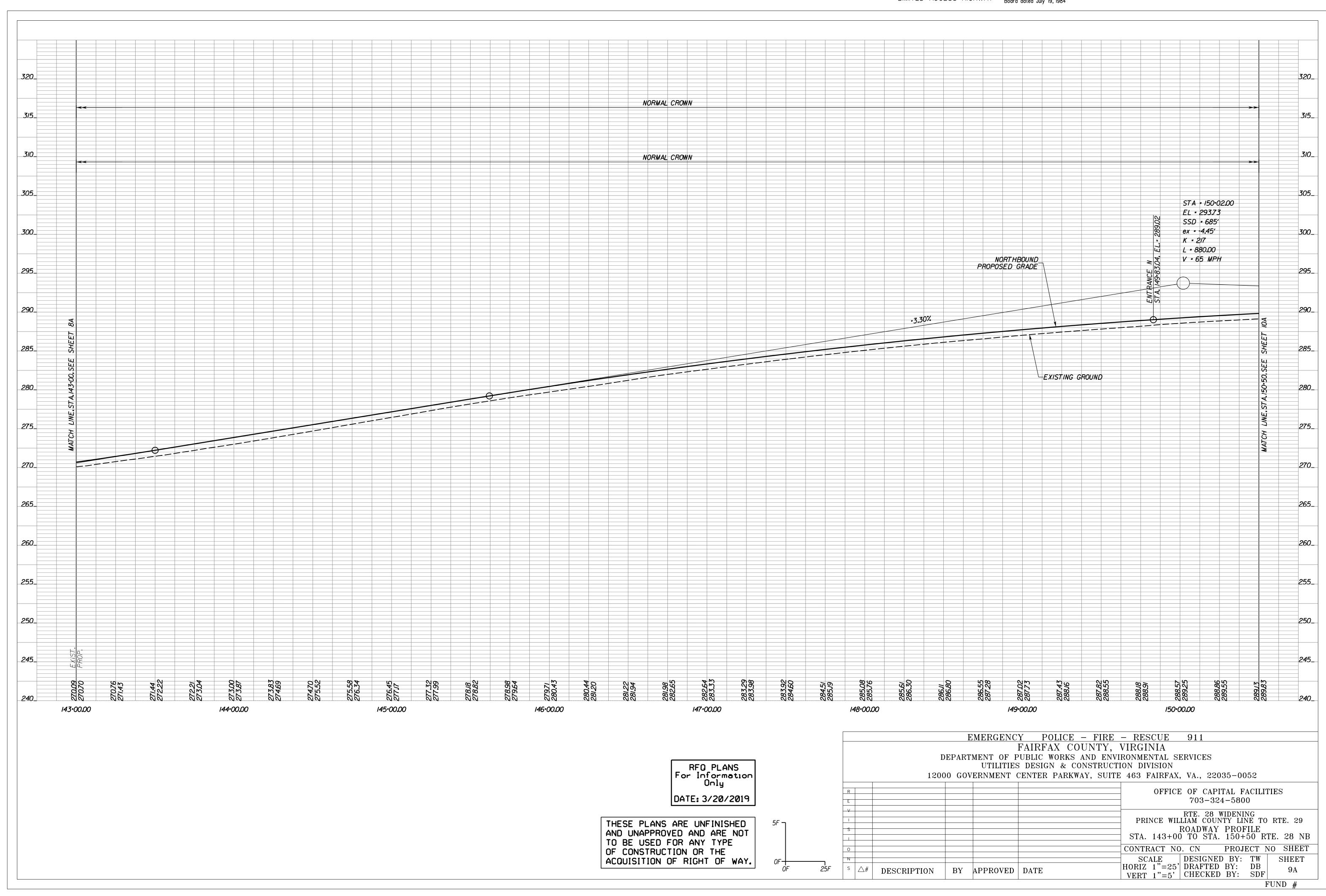


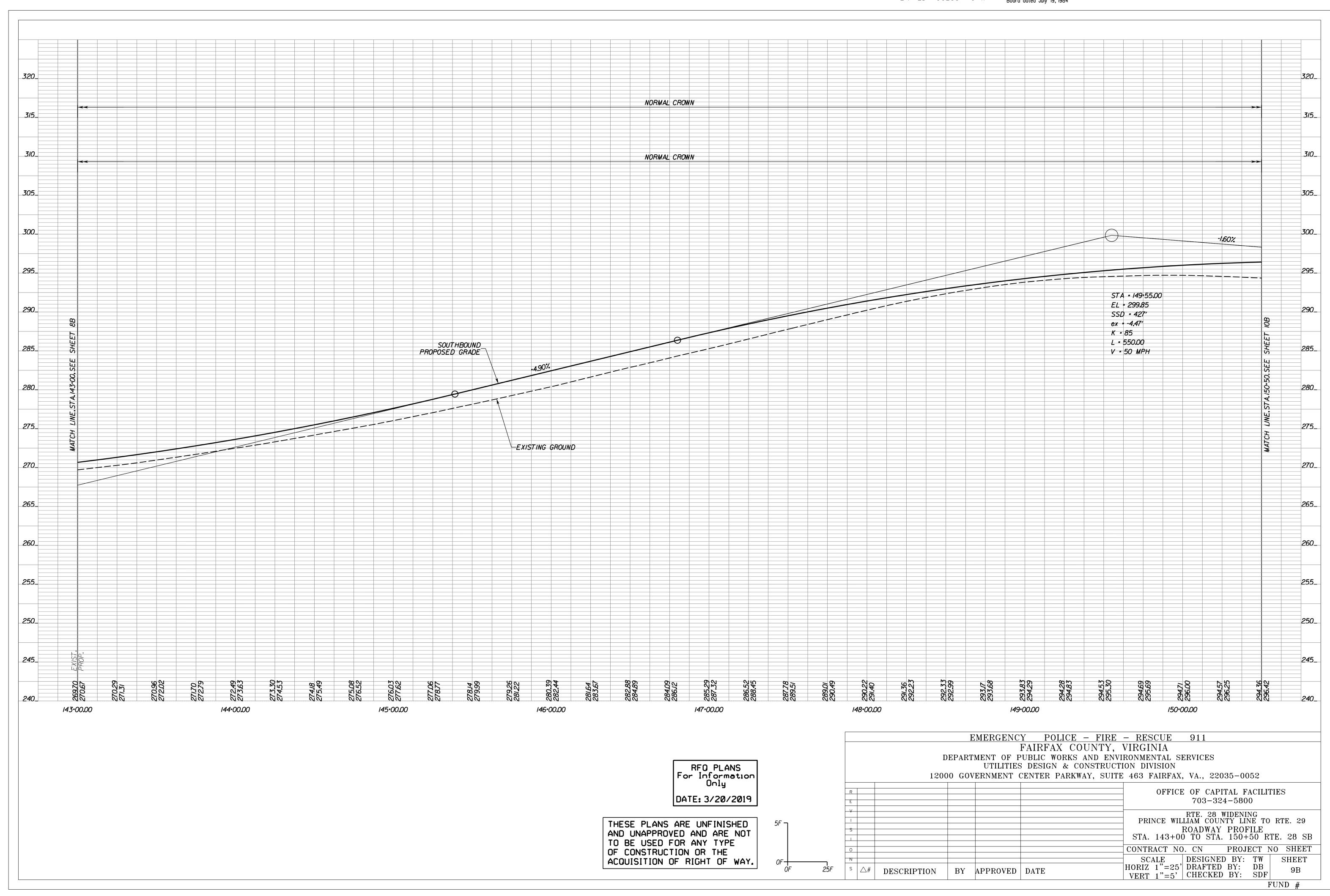












ACQUISITION OF RIGHT OF WAY.

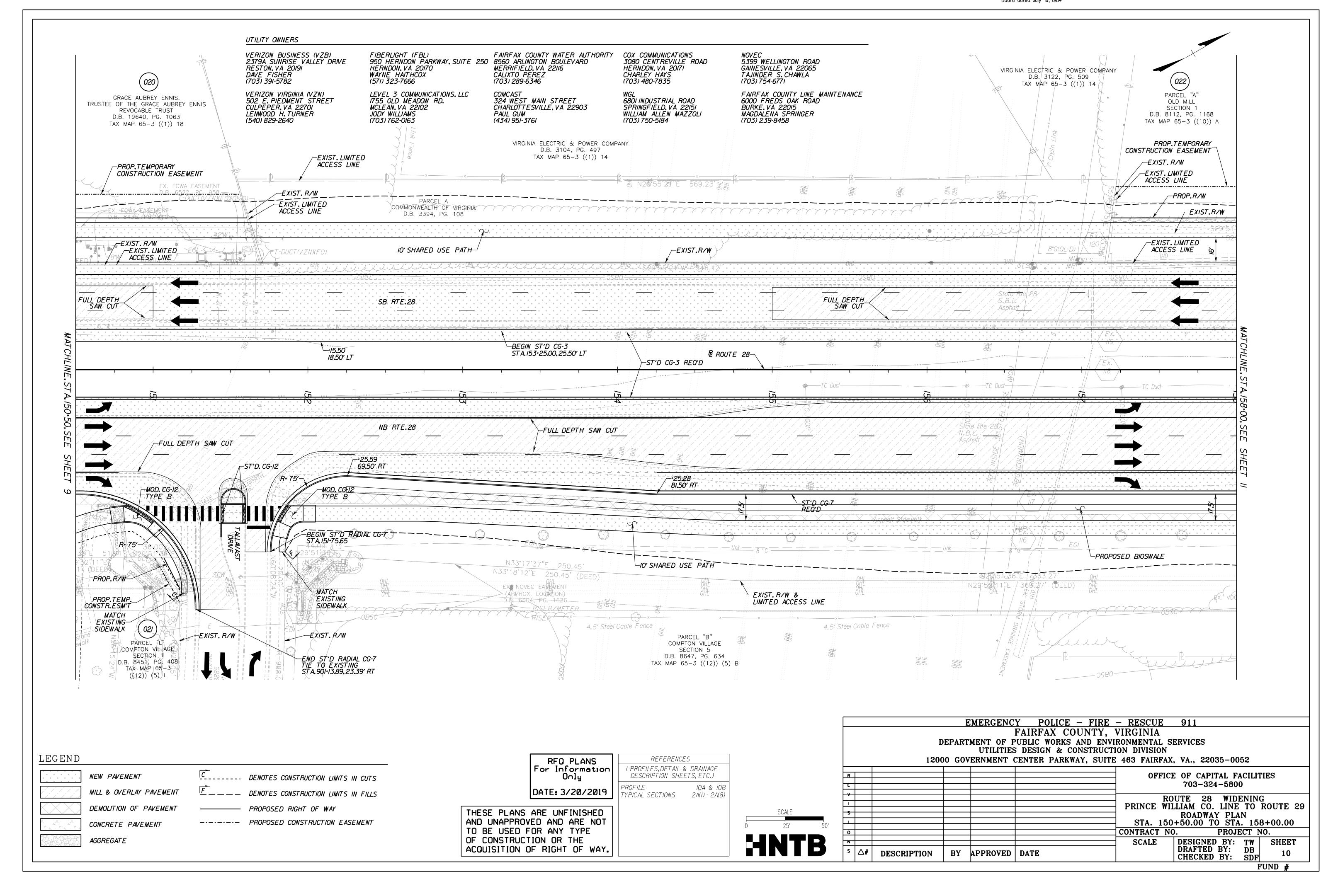
SCALE
HORIZ 1"=25' DESIGNED BY: TW
DRAFTED BY: DB
VERT 1"=5' CHECKED BY: SDF

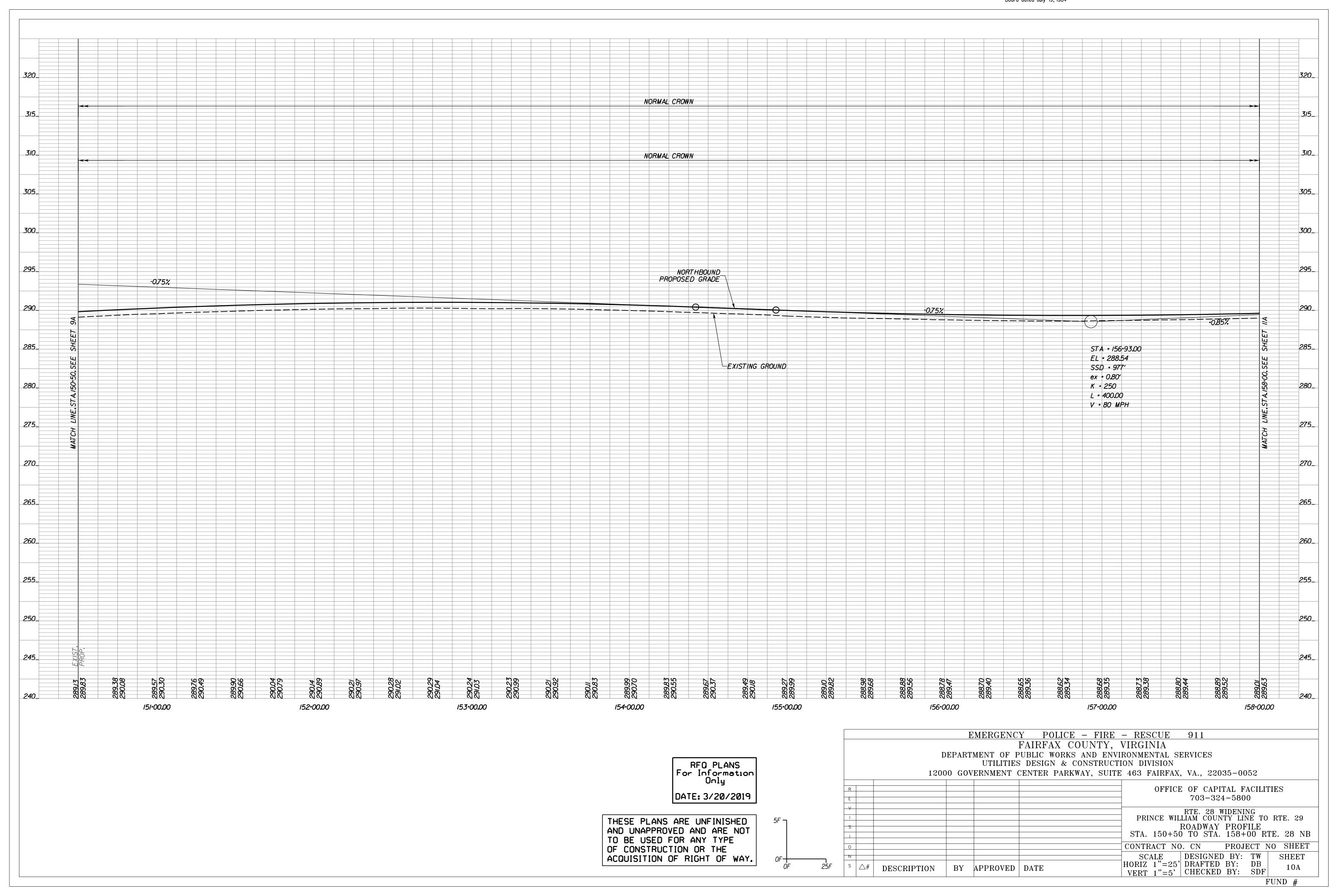
SHEET
9C

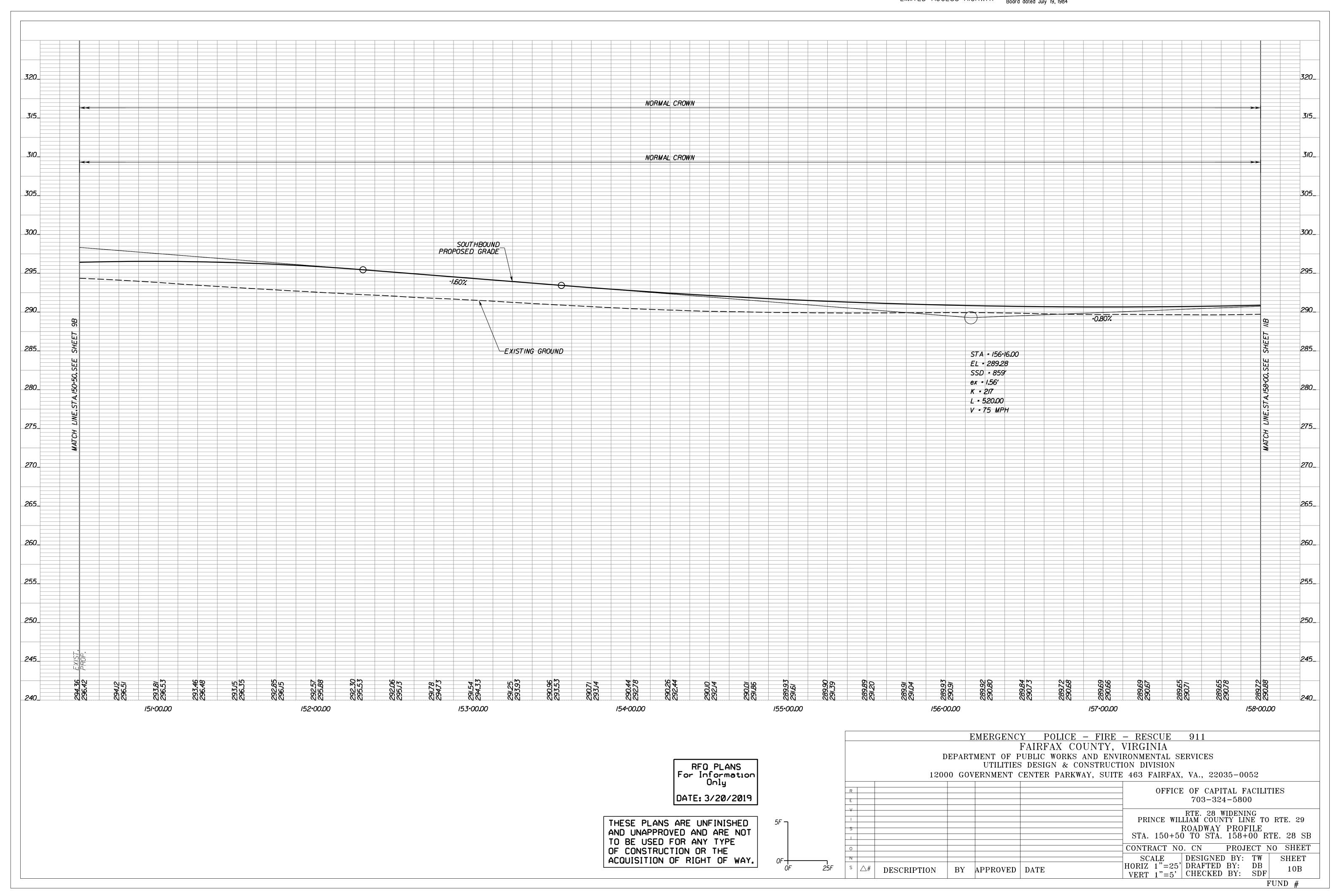
FUND #

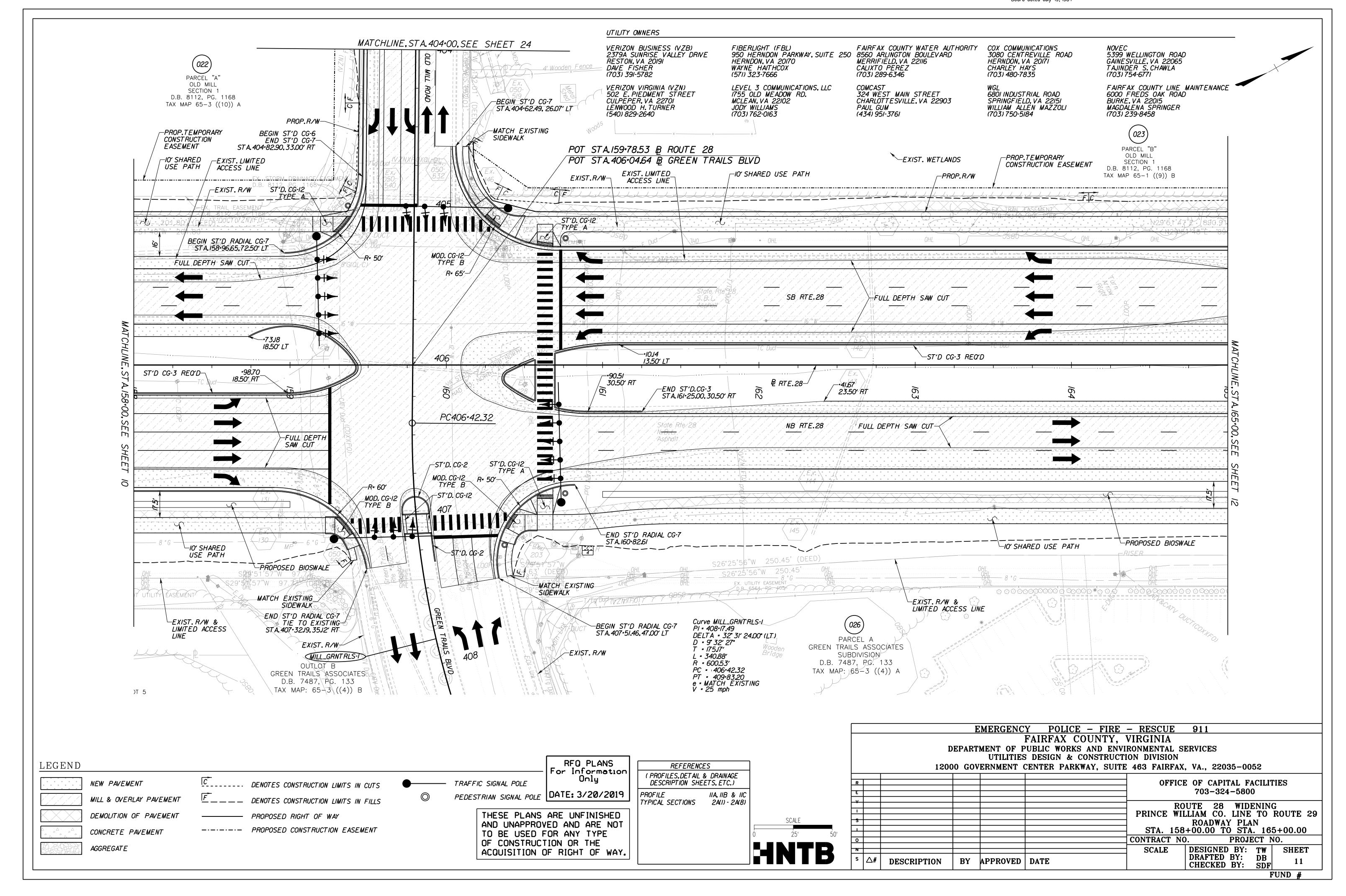
BY APPROVED DATE

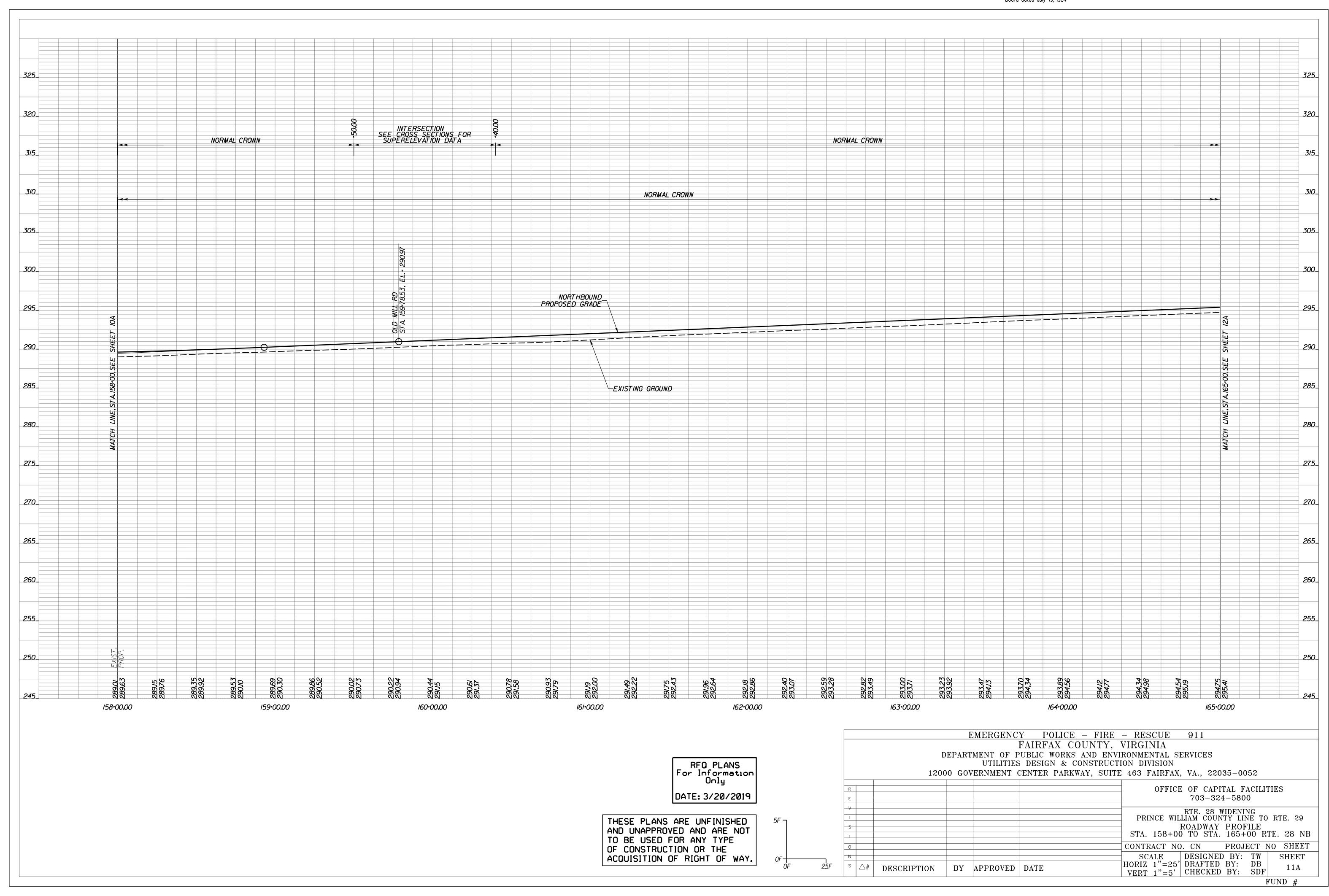
DESCRIPTION

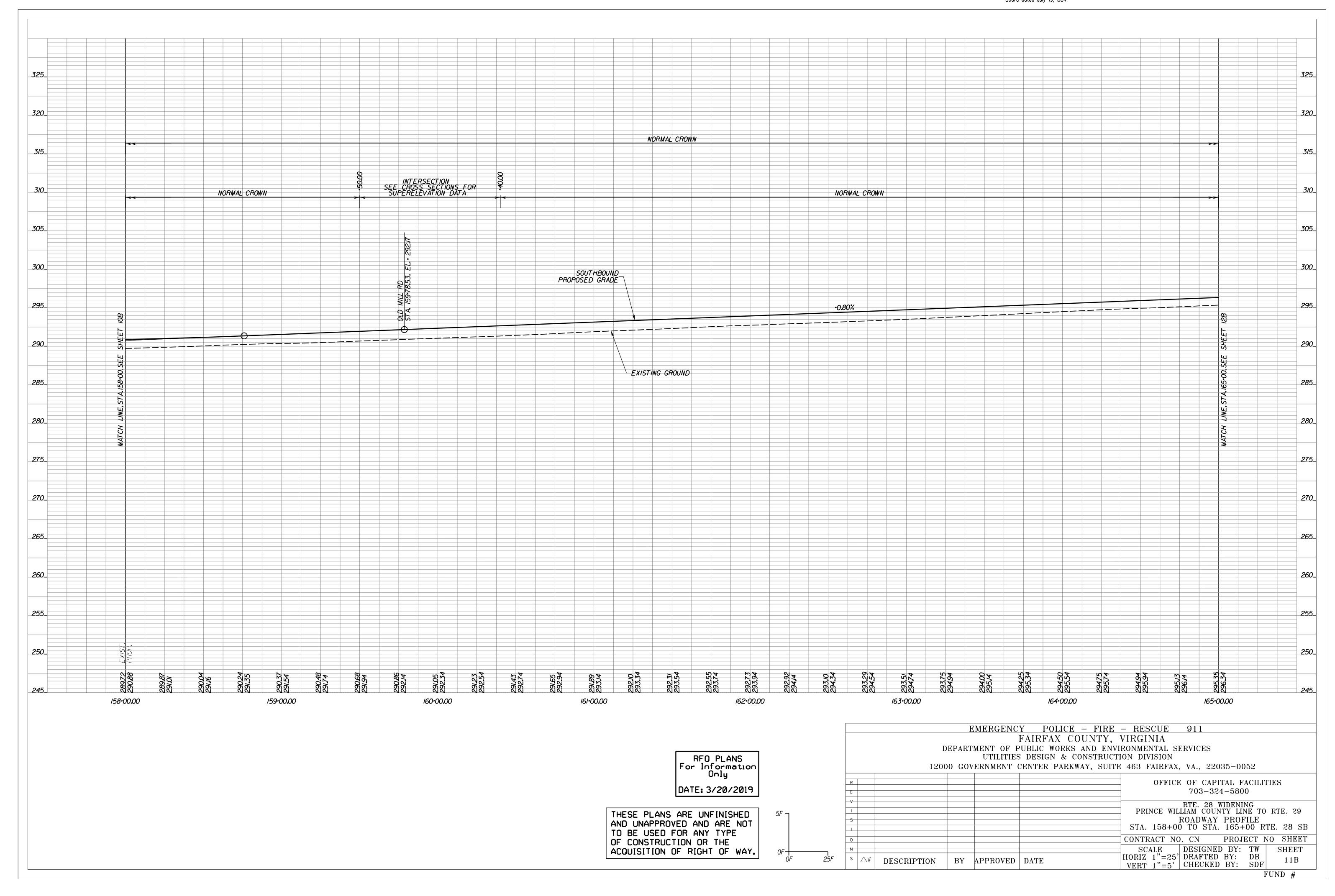


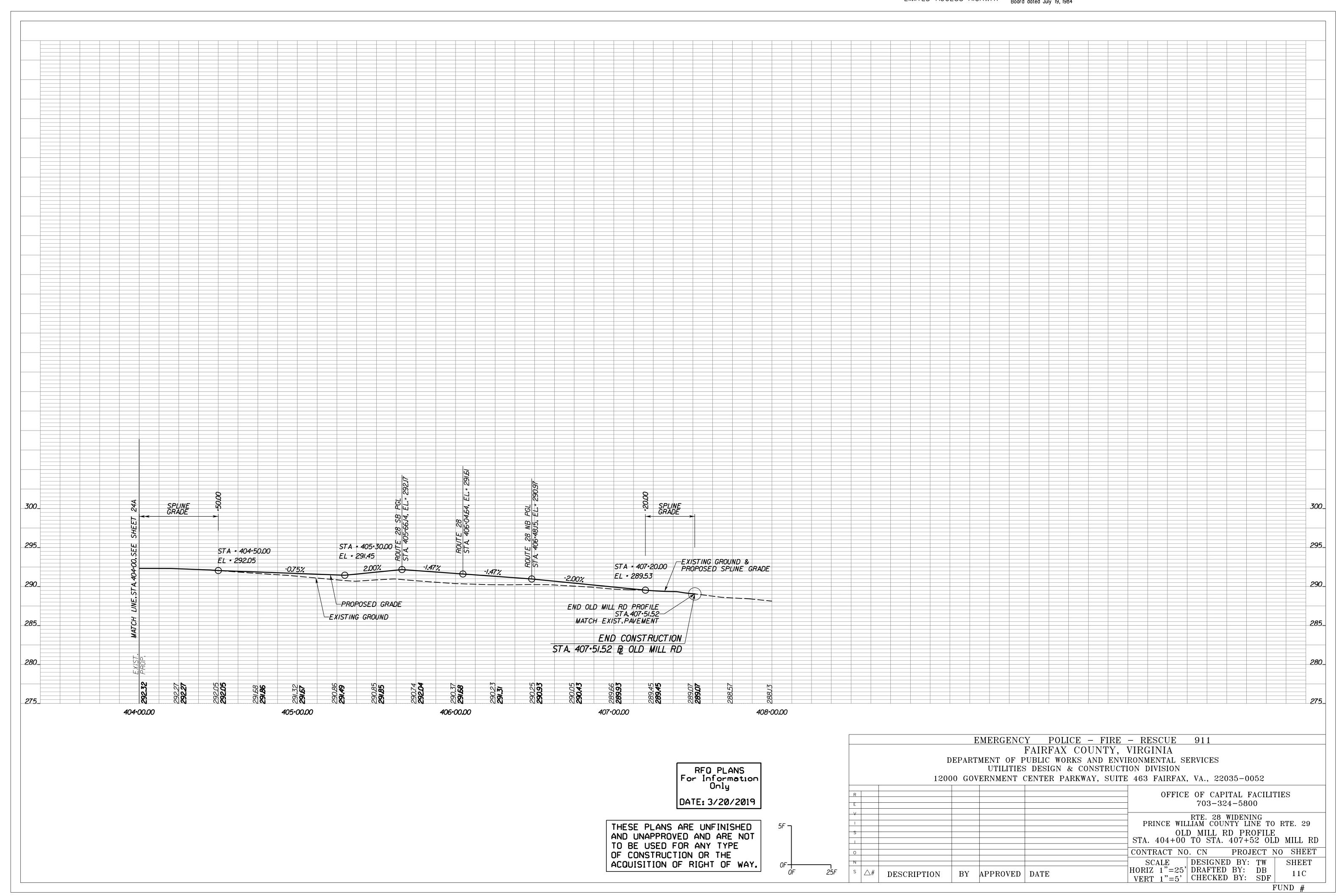


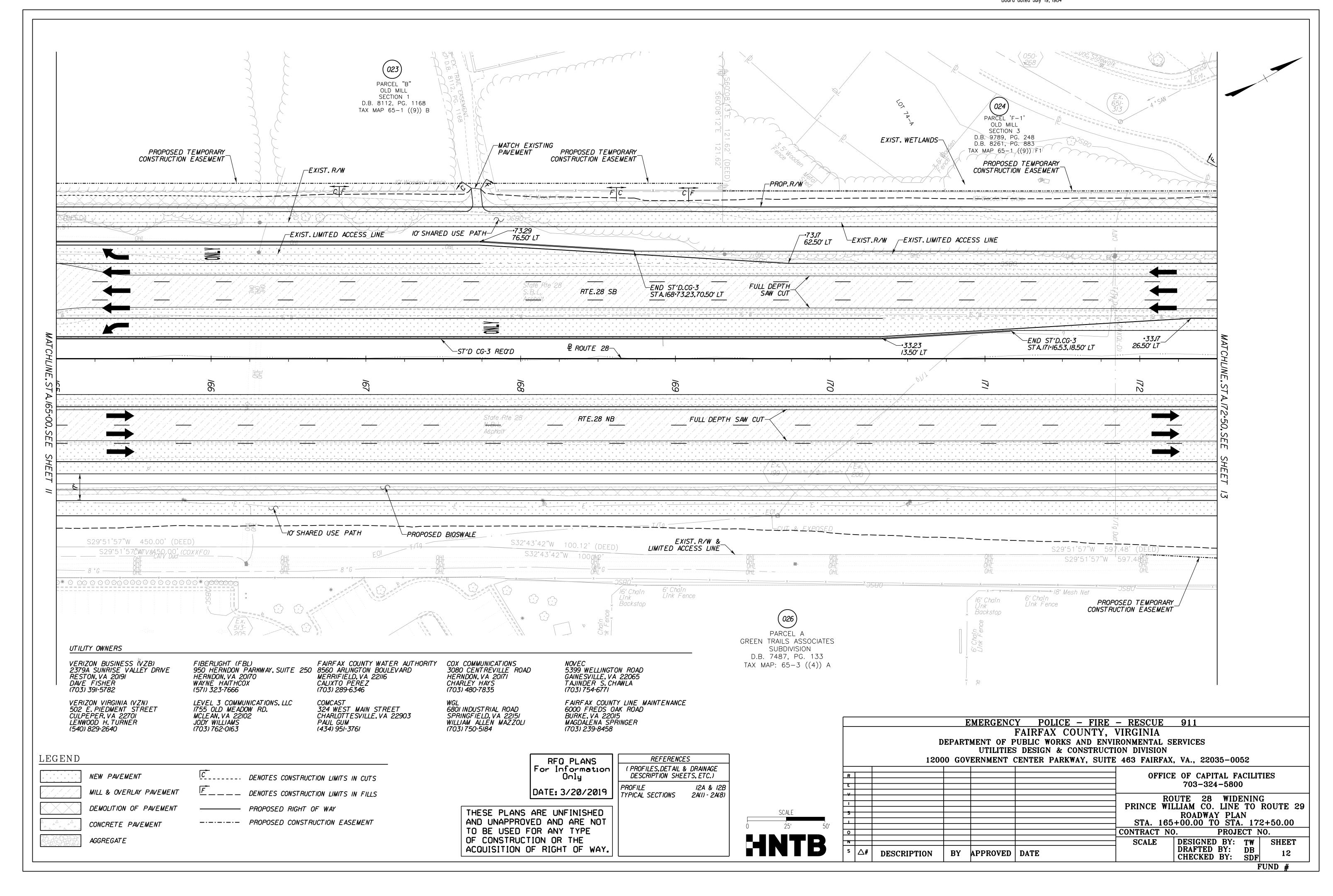


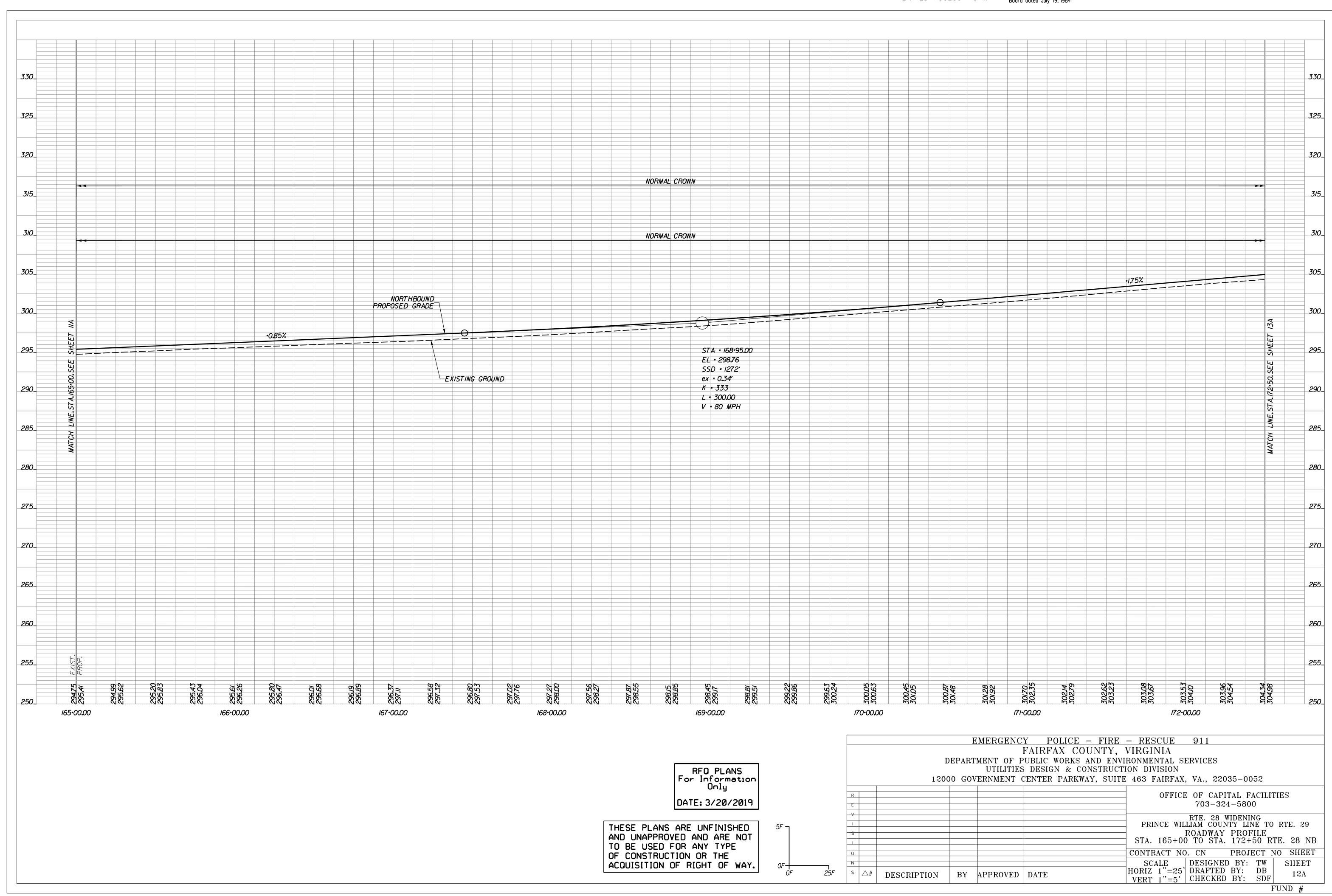


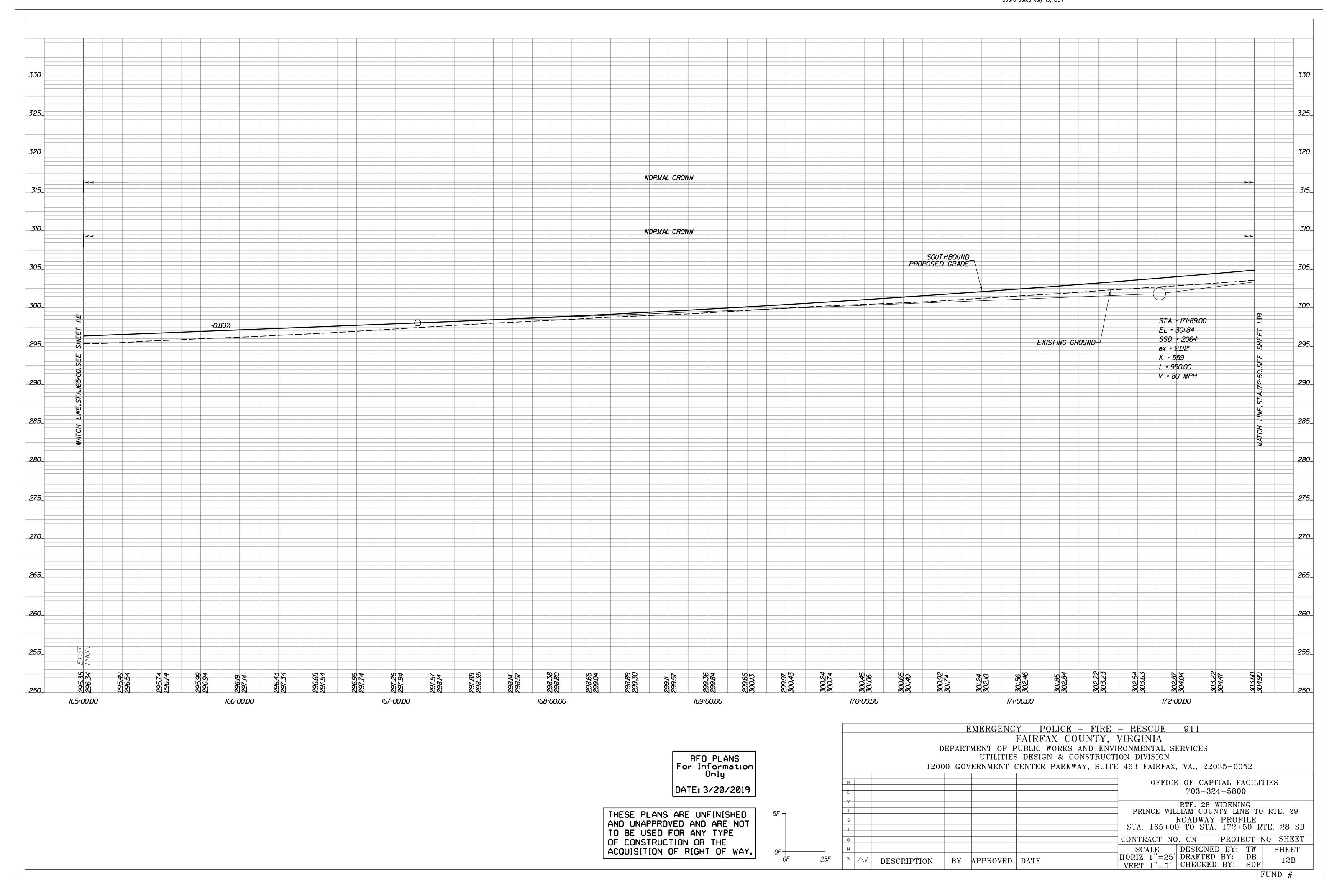


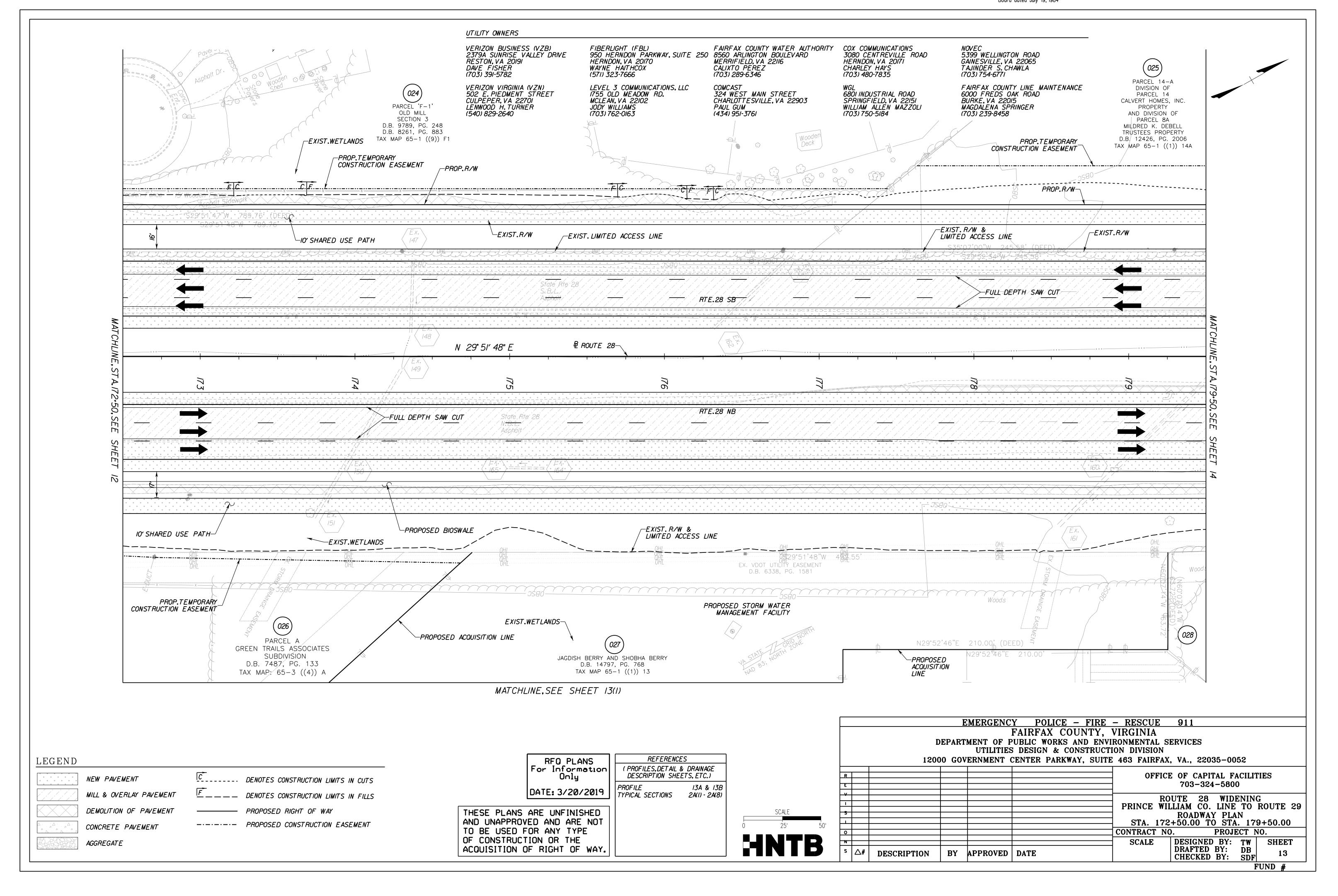


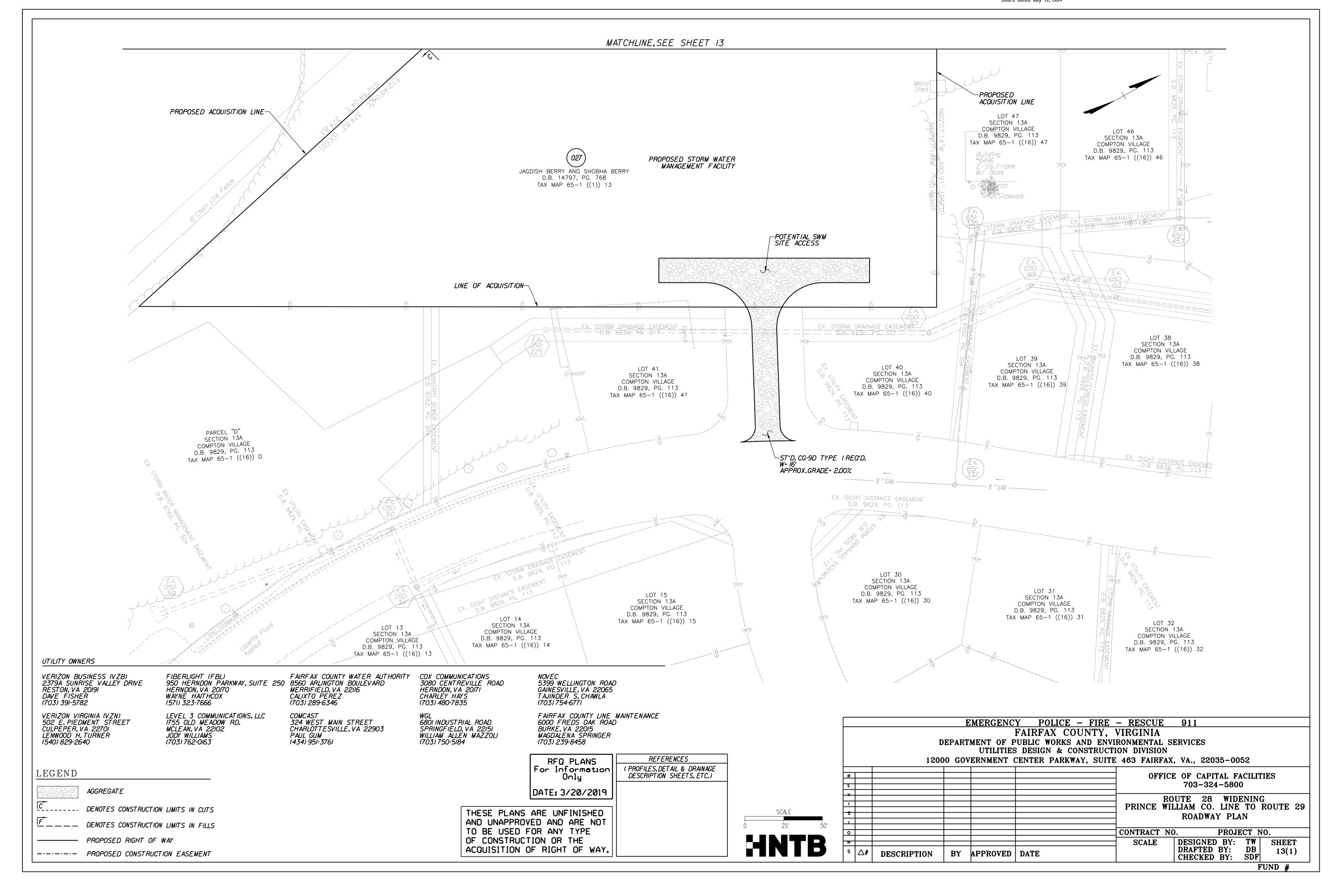


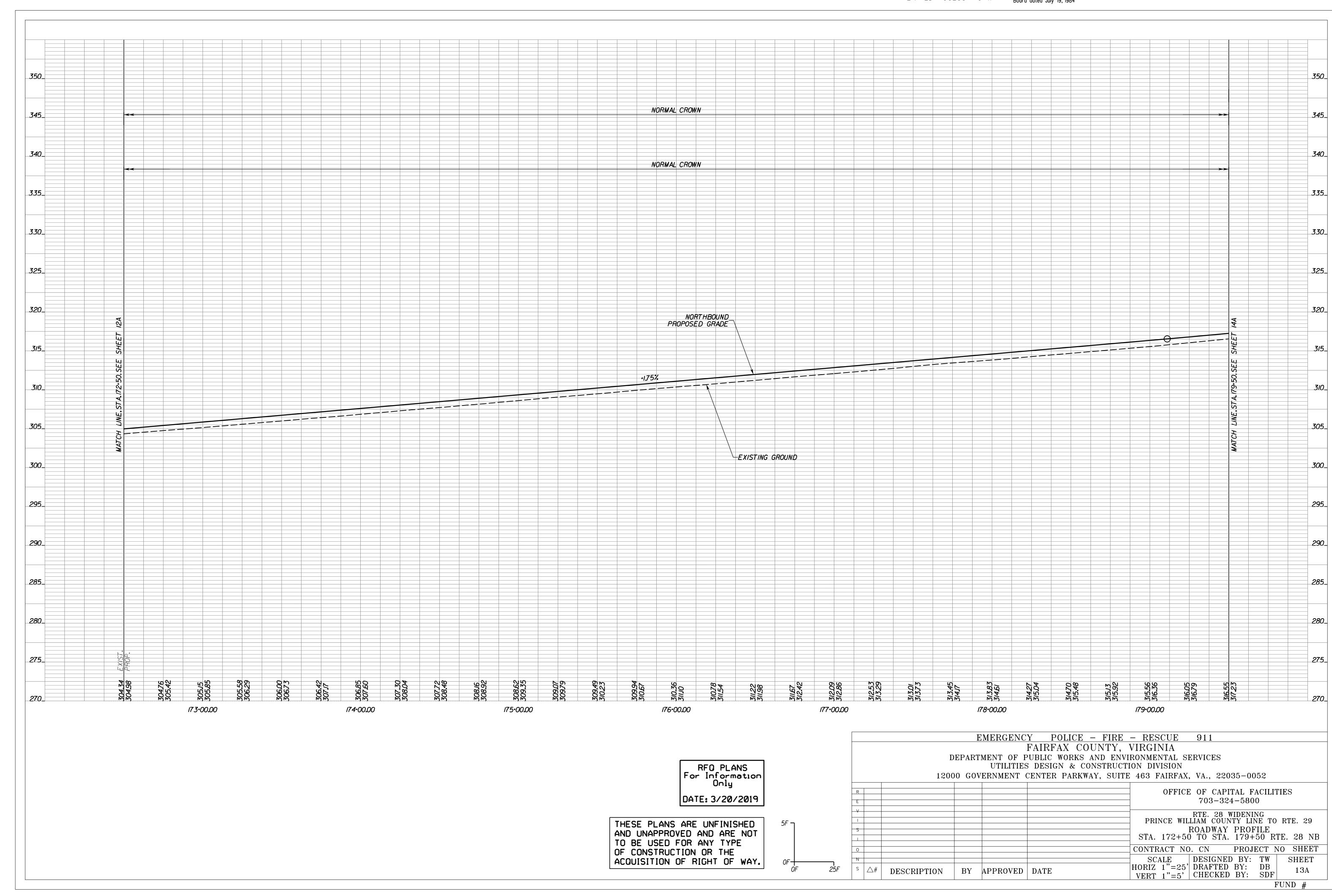


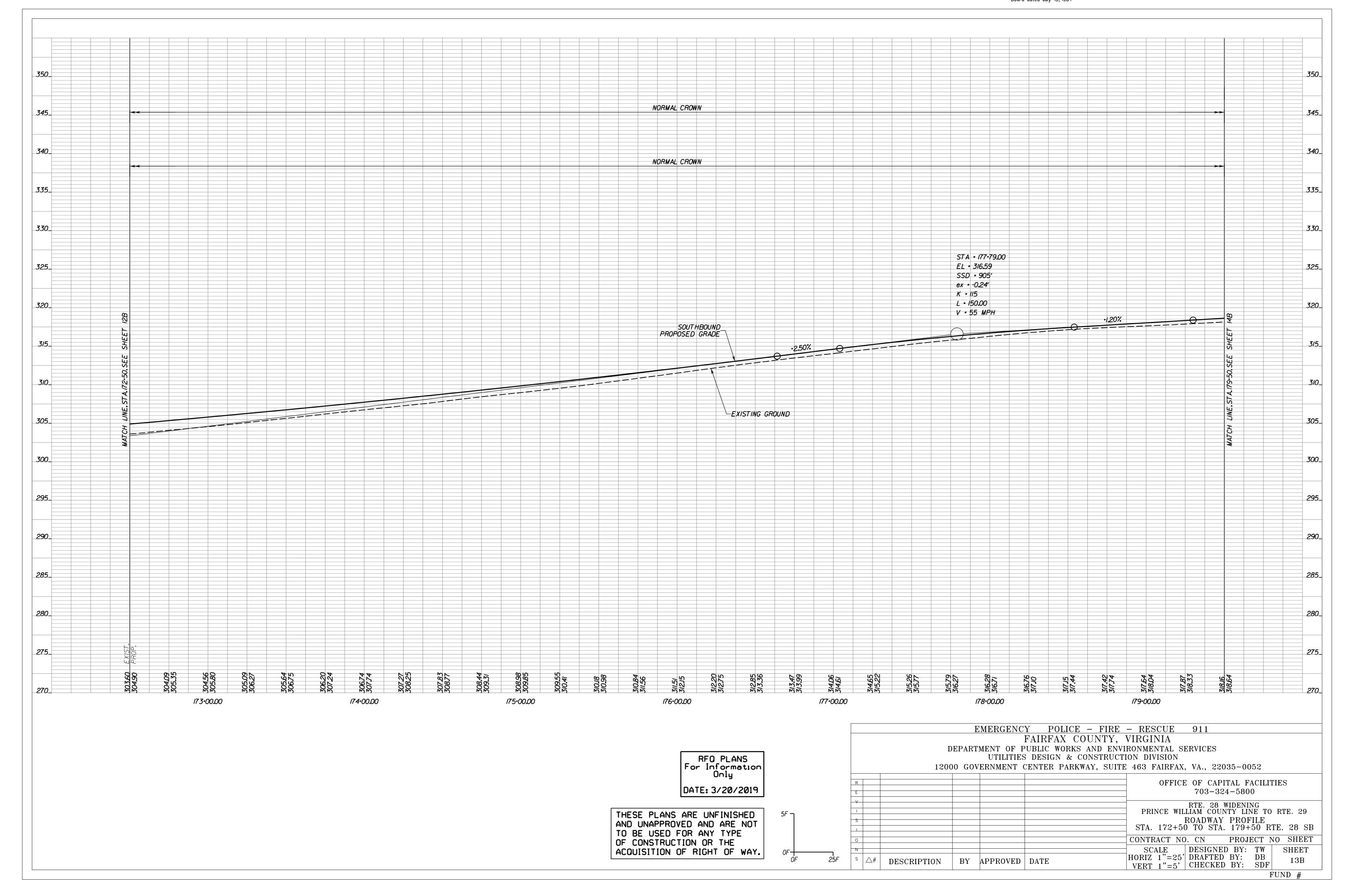


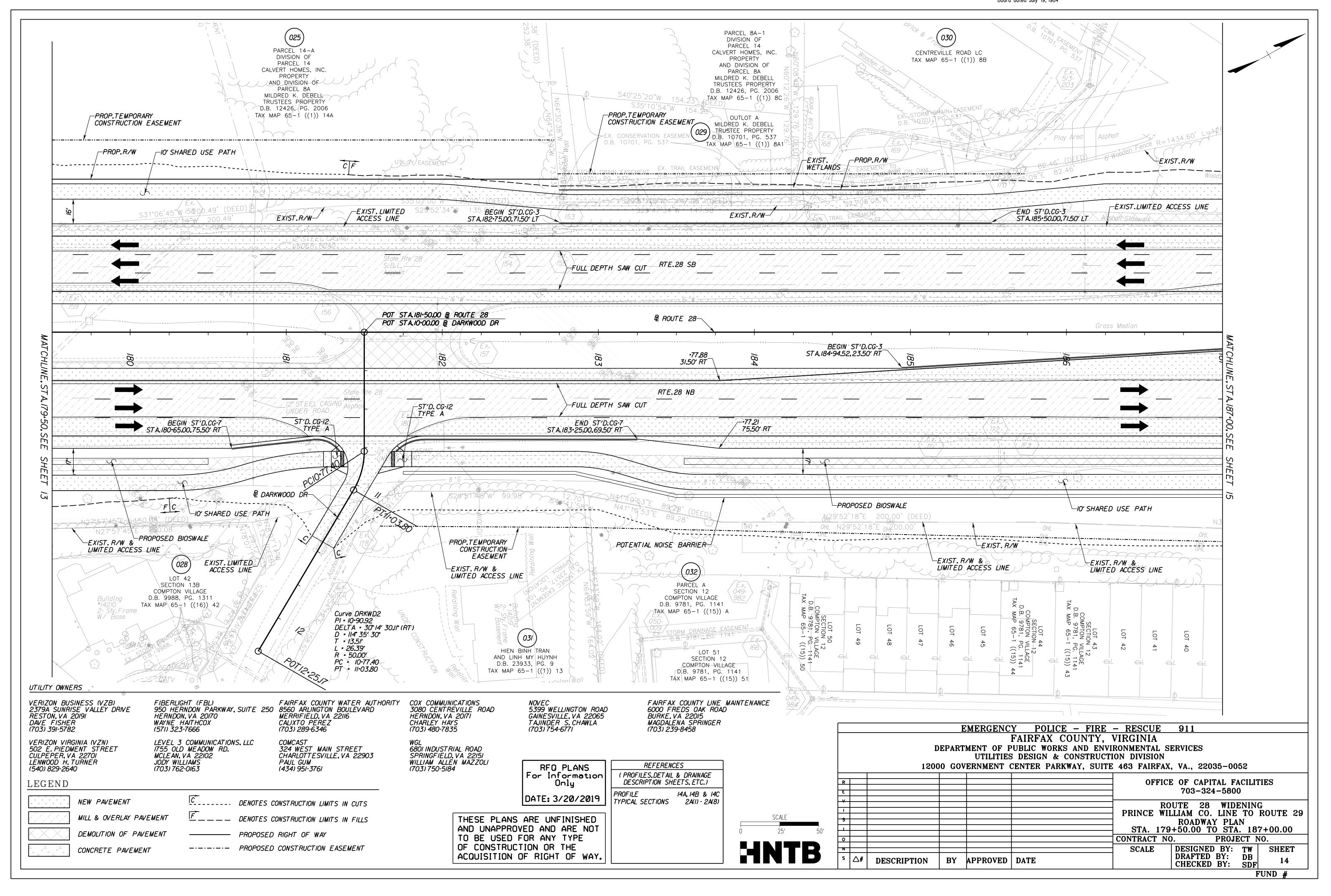


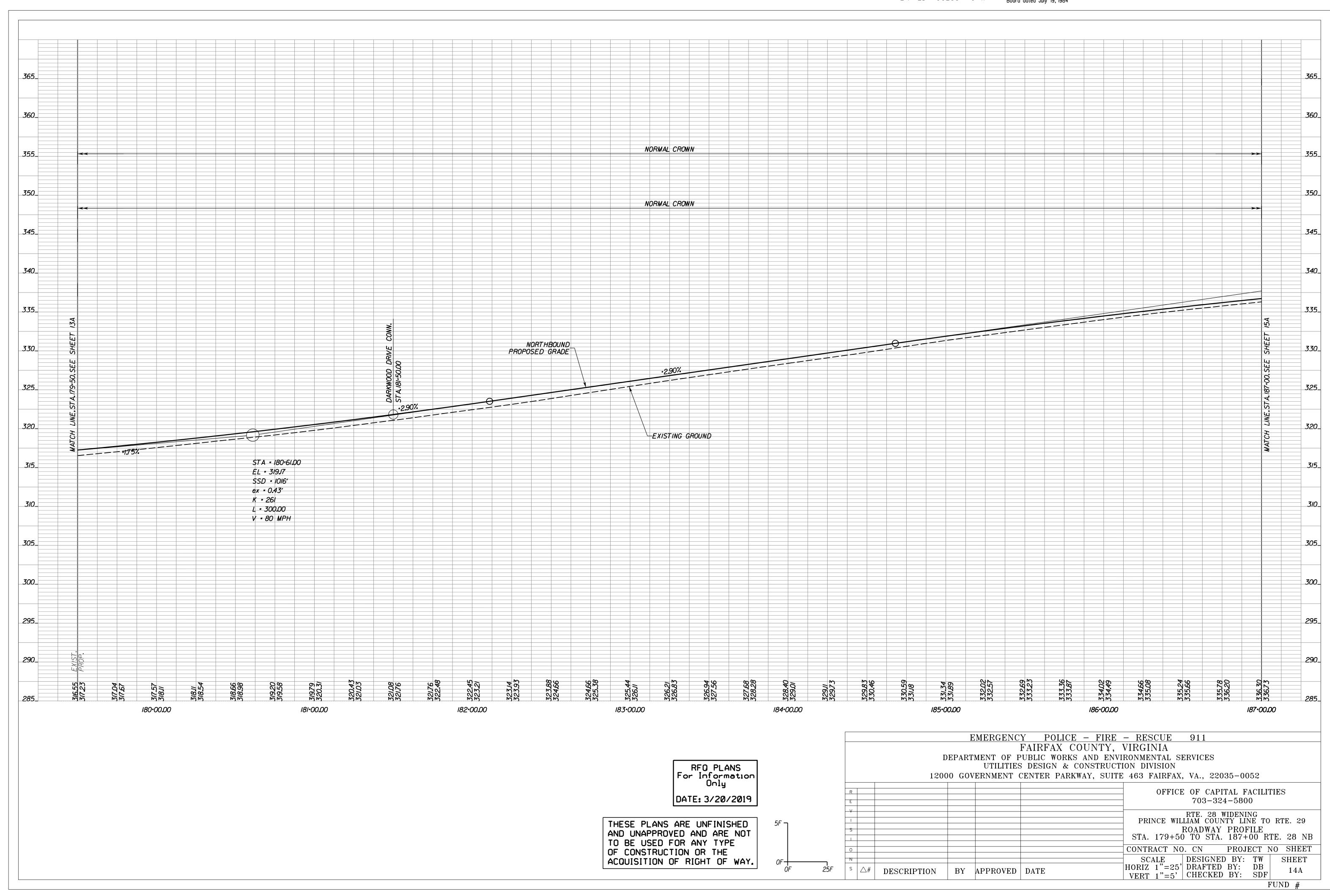


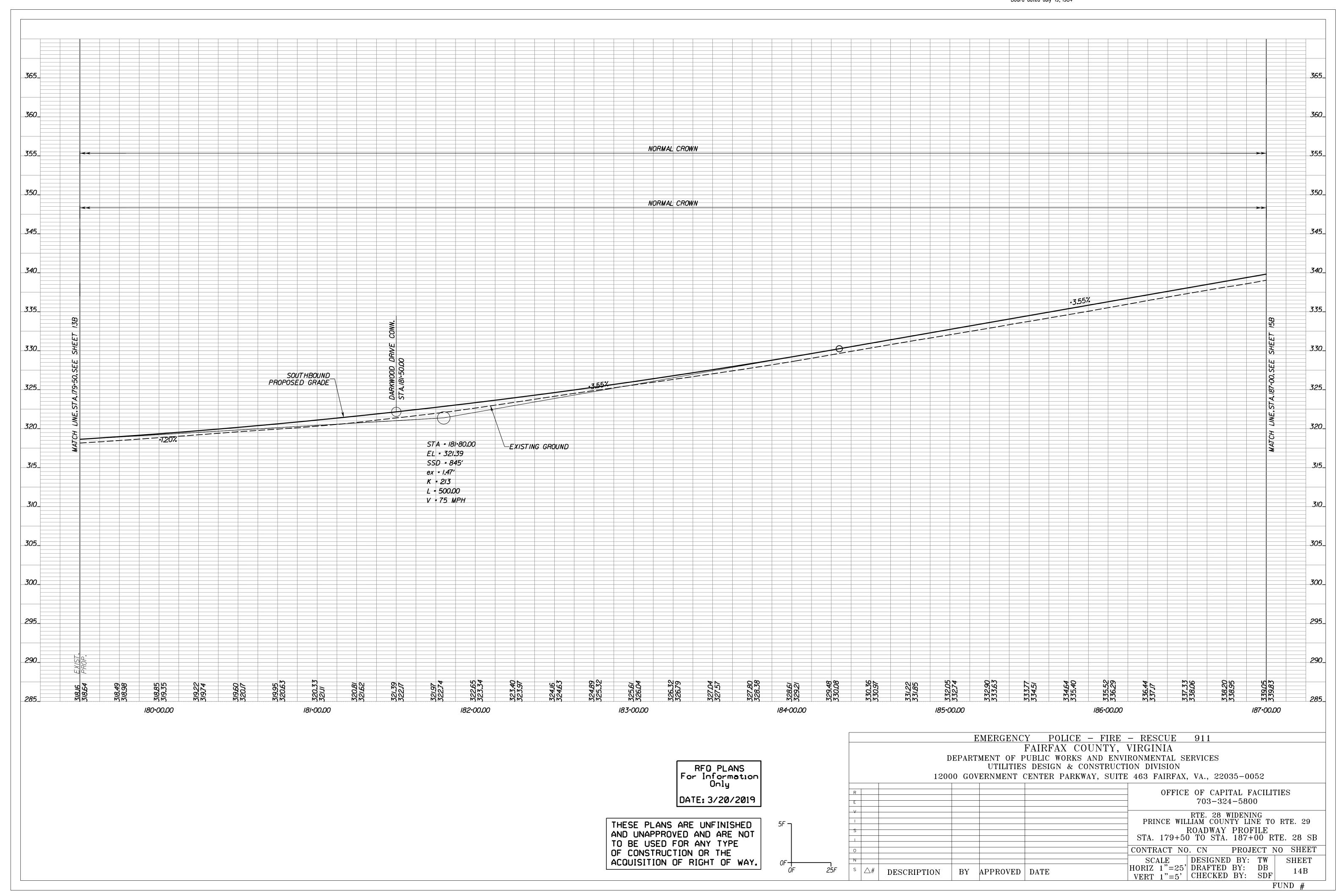












DARKWOOD DR STA = 11-30.00 EL = 321.63 SSD = 364' PROPOSED_ GRADE ex = -0.08' L - 20.00 /-EXISTING GROUND -2.00% E ROUTE 28 STA • 10.95.00 PROPOSED SURFACE EL • 320.72 STA = 10.95.00 ex = OJI' K = 4 L = 20.00 10.00.00 //**·**00**.**00 12.00.00 EMERGENCY POLICE - FIRE - RESCUE 911 FAIRFAX COUNTY, VIRGINIA DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL SERVICES RFO PLANS For Information Only UTILITIES DESIGN & CONSTRUCTION DIVISION 12000 GOVERNMENT CENTER PARKWAY, SUITE 463 FAIRFAX, VA., 22035-0052 OFFICE OF CAPITAL FACILITIES DATE: 3/20/2019 703-324-5800 RTE. 28 WIDENING PRINCE WILLIAM COUNTY LINE TO RTE. 29 THESE PLANS ARE UNFINISHED
AND UNAPPROVED AND ARE NOT
TO BE USED FOR ANY TYPE
OF CONSTRUCTION OR THE ROADWAY PROFILE DARKWOOD DR CONTRACT NO. CN PROJECT NO SHEET SCALE
HORIZ 1"=25' DESIGNED BY: TW
DRAFTED BY: DB
VERT 1"=5' CHECKED BY: SDF ACQUISITION OF RIGHT OF WAY. BY APPROVED DATE DESCRIPTION FUND #

