

This information is the most common for how to obtain the necessary permits for your project and is not representative of all the conditions you may encounter.



## Building Development Agencies

The Herrity Building  
12055 Government Center Pkwy  
Fairfax, VA 22035

- ▶ Permit Application Center  
2nd floor, 703-222-0801
- ▶ Site Application Center  
2nd floor, 703-222-0801
- ▶ Building Division  
3rd floor, 703-631-5101
- ▶ Zoning Review  
2nd floor, 703-222-1082
- ▶ Residential Inspections  
3rd floor, 703-631-5101

### Hours of Operation

Monday–Thursday: 8 a.m.–4 p.m.  
Friday: 9:15 a.m.–4 p.m.

### Health Department

10777 Main Street  
Fairfax, VA 22030  
703-246-2201

### Website

*Publications, forms and other useful information can be found at [fairfaxcounty.gov/buildingpermits](http://fairfaxcounty.gov/buildingpermits)*

All telephone numbers are accessible in TTY by calling 711.

This document is available in alternative formats and languages. Please call 703-222-0801 for more information.



A Fairfax County, Virginia Publication

**What is a sunroom?** A heated or air conditioned, one-story, livable space with windows and skylights making up more than 40 percent of the walls and roof area.

**What is a patio cover?** An unconditioned, one-story space separated from the existing house with a door and intended for outdoor living only.

## **PERMITS & FEES**

You must obtain permits for the construction of a sunroom or patio cover. Listed below are the types of permits required depending on the complexity of your project. Apply at the Permit Application Center or [online](#) (see below).

- ▶ Building permit.
- ▶ Electrical permit (for new electrical installations).
- ▶ Mechanical permit (for new heating and air conditioning systems HVAC).

Permit fees vary depending on the scope of your project; use the online fee estimator to help determine your costs. Access the estimator on our [website](#) by clicking “permit fee estimate.”

### **Apply Online**



Fairfax County’s FIDO system allows you to apply and, in some cases, obtain your permit online. This could save you time and even a trip to county offices. Go to [fairfaxcounty.gov/fido](http://fairfaxcounty.gov/fido) to apply.

Contractors must have a FIDO-issued identification number in order to apply. Contact the Permit Application Center to obtain yours.

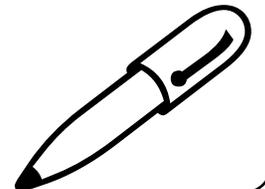
## **DOCUMENTS REQUIRED**

When applying for a permit, you must submit the following documents:

- ▶ [Permit Application Form](#) and equipment worksheet.
- ▶ [Property Ownership Affidavit](#) (when property ownership must be verified).
- ▶ Building plans (see Page 2).
- ▶ [Permit Authorization Affidavit](#) (when there is no contractor and the applicant is not the property owner).
- ▶ Site-related plan (see Page 3).

### **Who should apply for the permit?**

Homeowners may obtain permits in their own name. However, it is strongly recommended a properly licensed contractor pull the permits as the responsible party so the county can better assist in gaining compliance for defective work.



## BUILDING PLANS CHECKLIST

When applying for a permit, you must submit two copies of your building plans (three copies if you are on well or septic). The plans must meet or include the following, if applicable:

- Minimum scale of ¼ inch = 1 foot; fully dimensioned.
- Minimum sheet size: 11 x 17 inches; no pencil.
- Code year used for the design.
- Name, address and occupation of the designer.
- If prepared by a Virginia registered architect or professional engineer, the plans must bear the original signature, seal and date.
- List of materials used, including strength, wood species and/or grade.
- Live load and dead load.
- Floor plans of all levels with each room function labeled.
- Structural framing plans identifying all members' sizes, span lengths and spacing.
- Manufacturer's name, series number, depth and spacing of all manufactured wood products.
- Structural details of connections.
- Typical wall section with sheathing thickness and type.
- Wind resistance or wall bracing. For more information, see our [wall bracing](#) publications.
- For sunrooms, insulation R-values and fenestration U-factors. See our [Energy Compliance](#) publication.

### Local Design Criteria

- ▶ Snow load: 25 psf
- ▶ Wind speed: 90 mph
- ▶ Soil bearing capacity: 1,500 psf (maximum assumable)
- ▶ Lateral earth pressure: 60 pcf (minimum assumable)
- ▶ Frost depth: 24 inches

- Foundation plan, footing details and basement wall design.
- Crawl space vent and access locations.

### STRUCTURAL ANALYSIS

A structural analysis specific to your project may be required as a condition of your evaluation or as requested by the county. The calculations must meet the following requirements:

- Design wind load shall be computed per ASCE 7. to resist lateral load, provide an analysis of the lateral force resisting system of the house.
- Wood shear walls and diaphragms shall be designed per AWC SDPWS.
- Calculations must address the main lateral force resisting system, components and cladding, and all connections.
- If the existing house is being used
- If software is used as part of the analysis, provide input parameters.
- The original signature, date and seal of the registered design professional responsible for the calculations must be affixed.

### Regulations...

#### Building Code & Ordinances

- ▶ Virginia Residential Code (see our [website](#) for the current edition)
- ▶ Fairfax County Zoning Ordinance (for setbacks, height and size limitations)

#### Covenants

Contact your homeowners association for building requirements and restrictions specific to your subdivision.

### Using a Pre-made Sunroom?



If you are installing a pre-manufactured sunroom, you will need to provide its evaluation report (see below) by an accredited testing agency. You may also be required to submit a structural analysis (see below, left) as required by the listing.

### What is an evaluation report?



A set of guidelines issued by a listing agency, such as International Code Council-Evaluation Service, to assist the designer, county and builder with manufactured products. Whether issued as a unit or by individual components, the design, permitting and installation conditions in the report must be followed. You can find evaluation reports from ICC-ES on their website at [icc-es.org](http://icc-es.org).

## SITE-RELATED PLANS

To determine your project's impact on your property, one of the site-related plans listed below must be submitted. For more information, see our [Site-Related Plans](#) publication or contact the Site Application Center.

**1** A **House Location Plat**, is drawn from survey data of your property. You may use an existing plat if your project disturbs 2,500 square feet or less. Draw your new construction in ink on a clean, unfaxed version in its original scale.

Look in your closing documents for your plat. You may need to hire a surveyor or civil engineer to prepare a new one. Plats used with previous projects are prohibited.

**2** A **Conservation Plan** is much like a house location plat, but also shows erosion and sediment controls. You can use one when...

- ✓ new construction disturbs 5,000 square feet or less and
- ✓ drainage improvements and water quality controls are not required.

If you do not meet the above conditions, you must submit a grading plan.

**3** A **Grading Plan** is a drawing of your site which shows topography, new construction and improvements and is required when...

- ✓ construction disturbs more than 2,500 square feet,
- ✓ construction blocks existing drainage patterns or
- ✓ soil is to be cut or filled more than 18 inches.

Additional submissions, fees and deposits may apply.

### Problem Soils

Soil types with high water table, expansive clays or other behavioral issues are considered problem soils. If your project is to be constructed on a problem soil, you may need to have your foundation designed by an engineer and inspected by a county-approved licensed professional. To learn more, go to our [website](#) and search on "soils." To determine if you have problem soils on your property, contact the Site Application Center.



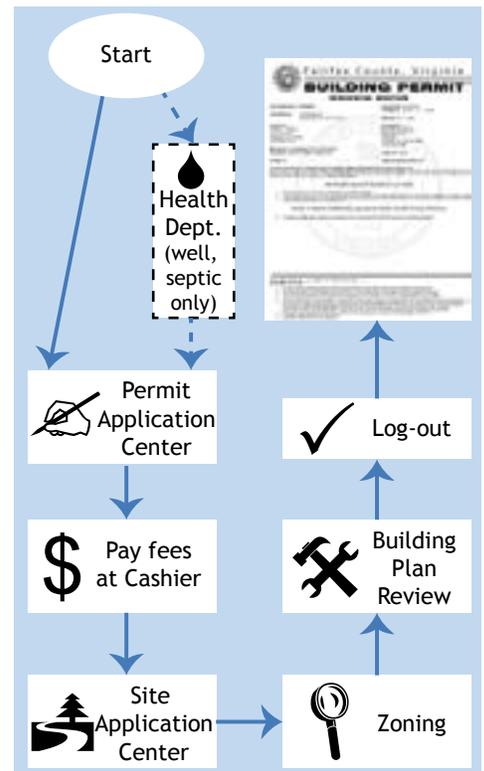
## PERMIT PROCESS

When applying for your permits, bring the required documentation listed on Page 1 to the Permit Application Center or you may bring your process online at [fairfaxcounty.gov/fido](http://fairfaxcounty.gov/fido). See below for more information.

- ▶ When you arrive at the county, staff will direct you through the multiple-agency review process. Use the chart to the right to help guide you.
- ▶ Permits for sunrooms and patio covers can usually be obtained in one day.
- ▶ If your property contains a well or septic system, you must begin your process at the Health Department.
- ▶ Vienna and Clifton residents require additional approval from their respective towns.
- ▶ **Trade permits:** Permits for mechanical and electrical can be pulled only after the building

permit has been issued. No plans are required as code compliance is verified during inspections. You may apply in-person or online at [fairfaxcounty.gov/fido](http://fairfaxcounty.gov/fido).

- ▶ **Are you using your existing HVAC system?** If so, your project may overload your existing equipment; ask your HVAC contractor to perform a load calculation to verify its capacity.
- ▶ **Are you installing a new HVAC system?** If so, you must submit a [Residential HVAC Certification](#) during the mechanical permit application process.



## INSPECTIONS

You are required to obtain inspections from the county for your new sunroom or patio cover. Please review the following when requesting an inspection.

- ▶ The county approved site-related plan, building plans and HVAC certification (if applicable) must be available on the jobsite.
- ▶ Combined inspections for building and trade permits are required as shown in the table below.
- ▶ The county must be notified when the stages of construction are reached that require an inspection.
- ▶ Ladders, scaffolds and other equipment necessary to access construction must be provided to the inspector.
- ▶ If your sunroom or patio cover is constructed in a problem soil, you may need to hire a county-approved licensed professional to perform the foundation inspections. Contact Residential Inspections for more information.
- ▶ Use the table below to help determine work that must be completed for each inspection type.
- ▶ The rows of the table below list the required sequence of inspections. Approval for an inspection must be attained prior to proceeding with the next inspection.



### Inspection Timing Checklist

Inspection	Permit Type	Requirements
Footing	Building	✓ Footing trench/formwork ready for concrete; bottom of trench on solid soil.
Slab	Building	✓ Slab area prepared for concrete with gravel, vapor barrier and reinforcing steel in place.
Combined inspection: ▶ Building framing ▶ Mechanical concealment ▶ Electrical concealment	All	<ul style="list-style-type: none"> <li>✓ Electrical wiring and boxes installed.</li> <li>✓ Ductwork installed.</li> <li>✓ Sill plates secured to the foundation.</li> <li>✓ Sub-flooring installed.</li> <li>✓ Structure weather tight.</li> <li>✓ Wall and roof sheathing installed.</li> <li>✓ Windows and doors installed.</li> </ul>
Insulation	Building	✓ Wall, ceiling and crawl space insulation in place.
Combined inspection: ▶ Building final ▶ Mechanical final ▶ Electrical final	All	<ul style="list-style-type: none"> <li>✓ Appliances, fixtures, outlets, panels, switches, etc. installed.</li> <li>✓ HVAC equipment operating properly.</li> <li>✓ Crawl space insulation installed.</li> </ul>

### Miss Utility

Before you begin excavating for your project, you must first call Miss Utility at 811, TTY 711. Miss Utility is a free service that marks underground utilities.



### Inspection Scheduling

Listed below are your options to schedule an inspection.

- ▶ In-person during hours of operation, Herrity Building, 3rd Floor.
- ▶ Live, via telephone during hours of operation at 703-631-5101, TTY 711.
- ▶ Online at [fairfaxcounty.gov/fido](http://fairfaxcounty.gov/fido).
- ▶ On the Fairfax County smart-phone app. Go to your app store to download.