

The information herein is the most common for how to obtain the necessary permits for your project and is not representative of all the conditions you may encounter.

Contact and locate us...

Building Development Agencies

The Herrity Building
12055 Government Center Pkwy
Fairfax, VA 22035

- ▶ Permit Application Center
2nd floor, 703-222-0801
- ▶ Building Plan Review
3rd floor, 703-222-0114
- ▶ Zoning Review
2nd floor, 703-222-1082
- ▶ Commercial Inspections
3rd floor, 703-222-0114

Hours of Operation

Monday–Thursday: 8 a.m.–4 p.m.
Friday: 9:15 a.m.–4 p.m.

Health Department

10777 Main Street
Fairfax, VA 22030
703-246-2201

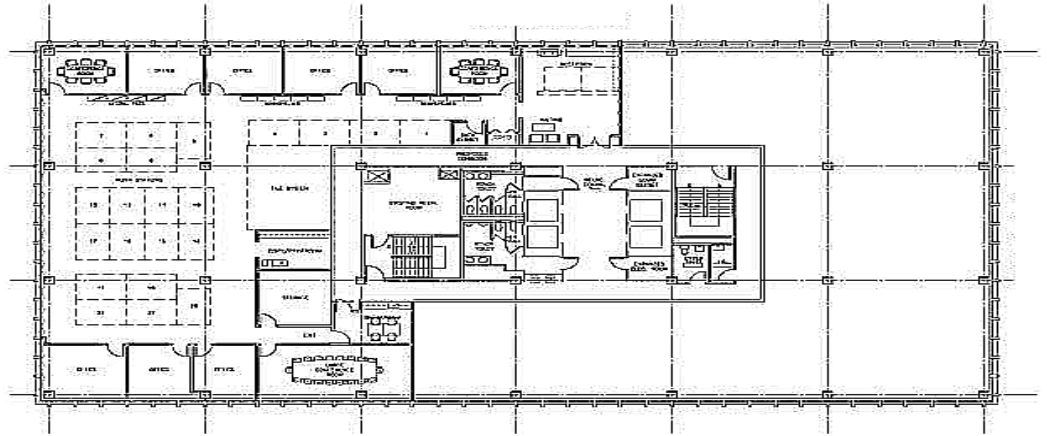
Wastewater

12000 Government Center Pkwy
Suite 358
Fairfax, VA 22035
703-324-5030

All telephone numbers are accessible in TTY by calling 711.

This document is available in alternative formats and languages. Please call 703-324-5033, TTY 711 for more information.

A Fairfax County, Virginia Publication



PERMITS REQUIRED

You must obtain permits for a new tenant layout to an existing commercial building. Listed below are the types of permits required depending on the complexity of your project.

- ▶ Building permit for architectural and structural elements and for a change in occupancy.
- ▶ When dividing an existing space into multiple spaces, a separate building permit is required for each.
- ▶ Electrical permit for all electrical installations and fire alarm systems.
- ▶ Mechanical permit for heating and air conditioning systems (HVAC), chemical exhaust systems, range hoods, etc.
- ▶ Plumbing permit for plumbing, fire sprinkler and gas installations.
- ▶ Health Department permit for food service establishments, private schools and daycare facilities.

Publications, forms and other useful information can be found online at

www.fairfaxcounty.gov/buildingpermits

DOCUMENTS REQUIRED

When applying for permits, you must submit the following documents. To obtain the applicable forms, go to our website.

- ▶ [Permit application form.](#)
- ▶ [Permit Authorization Affidavit](#) (when there is no contractor and the applicant is not the property owner).
- ▶ Construction plans (see Page 2).
- ▶ [Building Information Form.](#)
- ▶ [Asbestos Inspection Certification](#) (for buildings constructed prior to 1985).
- ▶ [Accessibility Compliance Form.](#)
- ▶ [Property Ownership Affidavit](#) (when property ownership must be verified)
- ▶ [Electrical Energy Certification Form.](#)

PLANS CHECKLIST

When applying for a permit, you must submit two copies (three copies if a Health Department permit is required) of plans during the permit process. Plans must clearly illustrate the nature of the work to be performed and must show the information or meet the requirements listed below.

General

- Minimum scale of 1/8 inch = 1 foot.
 - Minimum sheet size: 21 x 30 inches; no pencil.
 - Code year used for the design (see Regulations).
 - Name, address and occupation of the building designer.
 - If prepared by a Virginia registered architect or professional engineer, the plans must bear the **original** signature, seal and date.
 - Tenant name, address of the building, floor, suite number and tax-map reference number.
 - Key plans indicating location of work when multiple spaces are involved (e.g., malls, office buildings, etc.).
- All fire resistance design numbers when fire-rated assemblies are required.
 - Dimensions of all corridors and aisles.
 - All exits.
 - Door and hardware schedule, including special locking devices.
 - Partition schedule.
 - Floor to ceiling height and height from floor to underside of lowest structural member.
 - Fire sprinkler and system monitoring information.
 - Any additional details or sections necessary to accurately depict intended construction.

? Need Assistance ?

You can schedule a pre-submission conferences with building plan review staff to discuss code related compliance issues, special design considerations or code interpretations. Contact Building Plan Review to set up an appointment.

Architectural

- Completed Building Information Form; attach one copy to each set of drawings.
 - Completed Accessibility Compliance Form; attach one copy to each set of drawings. See the companion guide [Accessibility Fundamentals](#) on our website for more information.
 - Group(s) and type of construction.
 - Architectural plan(s) showing the dimensions and use of all rooms, including design occupant loads.
- Fire Protection
 - Fire sprinkler information.
 - Standpipes, fire hose valve location.
 - Fire alarm locations and candela ratings.
 - Card reader for card reader doors.
 - Push button and control sensor for access control doors.
 - Emergency generator information, to include:
 - ✓ Tank capacity.
 - ✓ Type of fuel.
 - ✓ Associated Underwriters Laboratory design number.
 - Range hood fire protection information to include location of manual pull (10 to 20 feet from hood along path of egress).
 - Other specialized detection and suppression system(s).
 - Medical gas.

Shop Drawings

Shop drawings and manufacturer's data for fire alarm systems, flammable/combustible liquid tanks, sprinkler systems, range hoods or other fire protection systems require a review from the Fire Department after permit issuance. Submit your drawings at the Burkholder Building, 10700 Page Avenue in Fairfax. Call 703-246-4800, TTY 711 for more information.

- Petroleum and liquefied petroleum gas storage tank and distribution systems.

Regulations...

Virginia Construction Code

- ▶ 2009 International Building Code
- ▶ 2009 International Energy Conservation Code
- ▶ 2009 International Plumbing Code
- ▶ 2009 International Mechanical Code
- ▶ 2009 International Fuel Gas Code
- ▶ 2008 National Electrical Code

Virginia Rehabilitation Code

- ▶ 2009 International Existing Building Code

International codes are available for view (NEC excluded) [online](#) purchase at iccsafe.org. The electrical code is available for purchase at nfpa.org.

- Schedule of hazardous chemicals used or handled in the space to include:
 - ✓ Quantity.
 - ✓ Storage method.
- Fixture details, e.g., shelving, racks, stock/storage.

Electrical

- Floor plan showing luminaires, receptacles, branch circuits (and home-runs), panels, equipment and battery packs.
- Symbol legend.
- Panel and equipment schedules.
- Riser diagrams when new panels are installed or existing panels are upgraded. Ensure size of feeder conductors, insulation types, conduit sizes and main over-current protection are indicated.
- Load calculation if load is being added to panels.
- If a new sub-panel receives added power from an existing panel, provide:
 - ✓ Panel rating indicating if panel is MCB (main circuit breaker) or MLO (main lug only).
 - ✓ If MLO, indicate the size of the overcurrent protection.
 - ✓ If MCB, indicate sizes. Feeder conductor sizes and insulation types.
 - ✓ Clear, evident and specific circuit identification directory.

⚡ Electrical Tip ⚡

If the existing load is unavailable and cannot be calculated, use the exact connected load of the existing panel from the utility company. You may also use the actual amperes connected to the highest loaded phase of the feeder or service over a minimum 30-day period.

- ✓ Load calculations of the existing panel.
- ✓ Fuse or circuit breaker sizes.
- ✓ Indicate if there are taps. If achieved by drilling or altering the lugs, note field testing is required.
- ✓ Provide the transformers ratings, corresponding feeder

conductor sizes, voltage levels, overcurrent protection ratings and grounding conductor sizes.

- Provide the following when adding loads to existing panels:
 - ✓ Panel schedule.
 - ✓ Size of feeder conductor, MCB.
 - ✓ Size of the feeders MLO overcurrent protection.
 - ✓ Load calculations
- Attached a completed Electrical Energy Certification Form

Mechanical

- Location of new and existing equipment.
- Equipment data for the HVAC system to include:
 - ✓ Make, model number, BTU rating for heating and cooling.
 - ✓ Total supply and outdoor air capacities of each air handling unit.
- Duct, piping layout for the HVAC system to include:
 - ✓ Main trunk and branch sizes.
 - ✓ Size and CFM of all registers.
 - ✓ Location of all equipment and outside air intake and exhaust air opening locations.
- Boiler details and all safety devices.
- Detailed shop drawings for commercial hoods which to include:
 - ✓ Hood dimensions.
 - ✓ Construction material.
 - ✓ Size, number and type of filters.
 - ✓ Output of exhaust.
 - ✓ Size and number of ducts.
 - ✓ Method of providing make-up air and amount.
 - ✓ Evidence of compliance with Chapter 5 of the International Mechanical Code or a report by

an approved testing agency indicating compliance with UL 710 for factory-built hoods.

- Location of fire and smoke dampers and smoke detection devices.
- Mechanical smoke control system details.

Is a seal required?



Some drawings, based on specific thresholds are required to be signed and sealed by a registered design professional in the commonwealth of Virginia. To learn more, go to county's [Sealed Drawings](#) publications.

Plumbing

- Demolition plan indicating fixtures to be relocated or removed and location of the capped piping.
- Number of plumbing facilities.
- Floor plans indicating new and existing plumbing fixtures and connections between new and existing piping.
- Complete riser diagrams.
- Fixture schedule to include fixture information, waste, vent, gas, water connection sizes, backflow preventers, other water control equipment.
- Gas piping riser diagram to include new and existing equipment and pipe sizes.
- Gas piping size information to include:
 - ✓ Inlet pressure.
 - ✓ Pressure drop.
 - ✓ Specific gravity.

- ✓ Fully developed length.
- ✓ BTU rating for all equipment.

Get it right the first time!

Avoid the mistakes made by others. Check out common designer errors online; go to our website and search on “common rejection reasons.”

Health

Food Service

- Food service menu.
- Details of equipment, i.e., water heater, to include:
 - ✓ Manufacturer and the model number.
 - ✓ Output and recovery rate for producing 140 degrees F water.

Note: all equipment must be commercial standard and NSF or Underwriters Laboratory listed.

- Layout of all food service equipment and plumbing fixtures for dishwashing, food preparation, food storage, service and bar areas.
- Plumbing riser(s) and waste water diagrams.
- Seating capacity and type of food service, i.e., carry-out, delivery or sit down.
- Finish schedule of floors, walls and ceilings, including type of material and color. In some cases, a sample finish may be required.

Private School and Daycare Facility
(excluding religious facilities)

- Child-size toilets.
- Area of playground.
- Water supply system.
- Sewage disposal system.

- Staff restroom.

What are Fixture Units?



A drainage fixture unit or DFU is a value assigned to a plumbing fixture that measures its probable discharge into the county sanitary sewer. For instance, a lavatory is 1 DFU and a water closet is 4 DFUs.

Fairfax County’s Wastewater Management Program charges \$401 for each new DFU to help maintain and expand the county’s treatment facilities.

To learn more, contact Wastewater or go to our website and search on “drainage fixture units.”

PERMIT PROCESS

When applying for the building permit, bring the required documentation listed on Page 1 to the Permit Application Center. County staff will direct you through the multiple-agency review process. Use the chart to the right to help guide you.

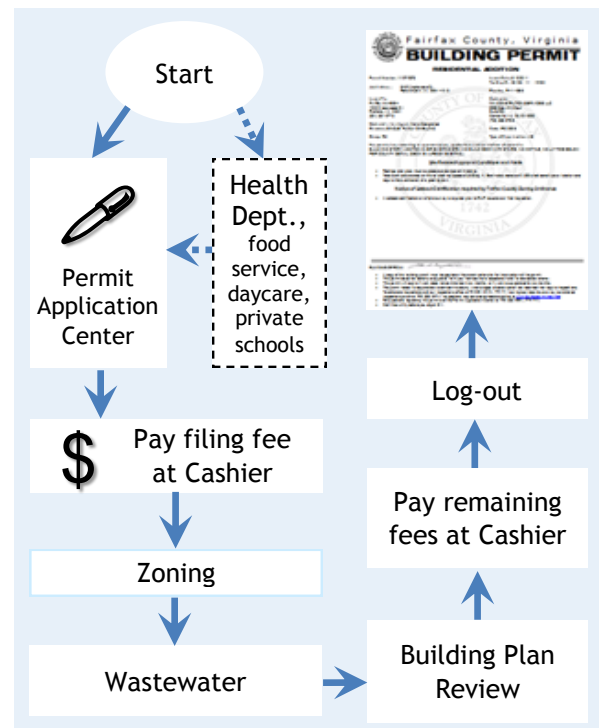
If your space contains a food service establishment, private school or daycare facility, you must begin your process at the Health Department.

BUILDING PLAN REVIEW

Code compliance of the plans is verified by Building Plan Review staff. The status of your reviews and review comments can be found online at fairfaxcounty.gov/fido. You may pick up your drawings or consult with staff at Building Plan Review.

TRADE PERMITS

Mechanical, electrical and plumbing permits can be issued only after the building permit has been issued. You may apply in-person or online at fairfaxcounty.gov/fido.



SPECIAL PROGRAMS

The special programs below can help expedite the review process for applicable projects.

Fast Track Plan Review

- ▶ Priority first-come, first-serve building plan reviews.
- ▶ Simple, non-complicated spaces, non-complex trades.
- ▶ Maximum 4,500 square feet.
- ▶ Food service and assembly occupancies are prohibited.
- ▶ Available Tuesday through Thursdays only.
- ▶ Contact Building Plan Review for more information.

Expedited Plan Review Program

- ▶ Priority processing for any building type, size or occupancy.
- ▶ Prior to submission, reviews are

conducted by certified private peer reviewers.

- ▶ Independent peer reviewer fees apply.
- ▶ Contact Building Plan Review for more information or go to fairfaxcounty.gov/dpwes/epr.

Revitalization Districts

- ▶ All projects in designated revitalization districts are eligible.
- ▶ Expedited zoning reviews.
- ▶ Facilitated building plan reviews.
- ▶ Go to fcrevit.org for more information.

INSPECTIONS

You are required to obtain inspections from the county for your tenant layout. Please review the following when requesting an inspection.

- ▶ The county must be notified when the stages of construction are reached that require an inspection.
- ▶ Ladders, scaffolds and other equipment necessary to access construction must be provided to the inspector.
- ▶ Listed below are your options to schedule an inspection for the building and trade permits.
 - ✓ In-person during hours of operation, Herrity Building, Suite 634.

- ✓ Live, via telephone during hours of operation at **703-631-5101, TTY 711**.
- ✓ Via automated telephone system anytime at **703-222-2474** using the codes to the right.
- ✓ Anytime on FIDO at fairfaxcounty.gov/fido or on the Fairfax County iPhone app.
- ✓ Call **703-246-4821, TTY 711** To schedule a Fire Marshal inspection and **703-246-2510, TTY 711** to schedule a Health Department inspection.

\$ Fees \$

The building permit fee for a tenant layout is based on the estimated cost of construction. Go to our website to learn more and to compute your building permit fee. Additional fees apply:

- ✓ Filing fee is 35 percent of your permit fee and must be paid up front.
- ✓ Building Plan Review provides free initial reviews; however, subsequent reviews for plan corrections or revisions carry additional fees.
- ✓ DFU fee for Wastewater must be paid prior to permit issuance (see Page 4).
- ✓ Fire Marshal reviews, trade permits and Health Department permits carry separate fees.

Inspection Codes

Listed below the inspection codes for the automated telephone system.

Code	Inspection Description
05	Electrical concealment
08	Final
14	Framing
16	Plumbing groundwork
21	Mechanical concealment
23	Plumbing concealment
33	Slab