



FAIRFAX COUNTY PLANNING COMMISSION

September 16, 2010

PUBLIC HEARING FOR PLANNING DETERMINATION

Pursuant to
Va. Code Sec. 15.2 - 2232

Public Hearing Date: September 30, 2010 at 8:15 p.m.

Application Number: **2232-H10-2**

Applicants: **Clearwire Wireless Broadband and Milestone Communications**

Proposed Use: Telecommunications Facility

Subject Property: Tax Map Id. # 38-3 ((1)) 52

Supervisor District: Hunter Mill

Size of Subject Property: 25.36 acres
Area of Proposed Facility: 2,769 square feet

Application Accepted: June 11, 2010
Application Revised by: September 16, 2010

Recommendation: In accordance with Va. Code Sec. 15.2-2232, as amended, staff recommends that the Planning Commission find the proposal by Clearwire Wireless Broadband and Milestone Communications to develop a telecommunications facility (105-foot replacement light pole monopole and related equipment), located at James Madison High School, 2500 James Madison Drive, Vienna, substantially in accord with provisions of the adopted Comprehensive Plan.



PLANNING DETERMINATION

Section 15.2 -2232 of the Code of Virginia

Number: 2232-H10-2

District: Hunter Mill

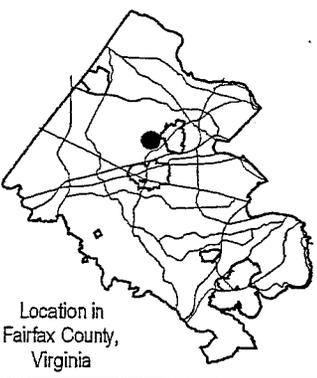
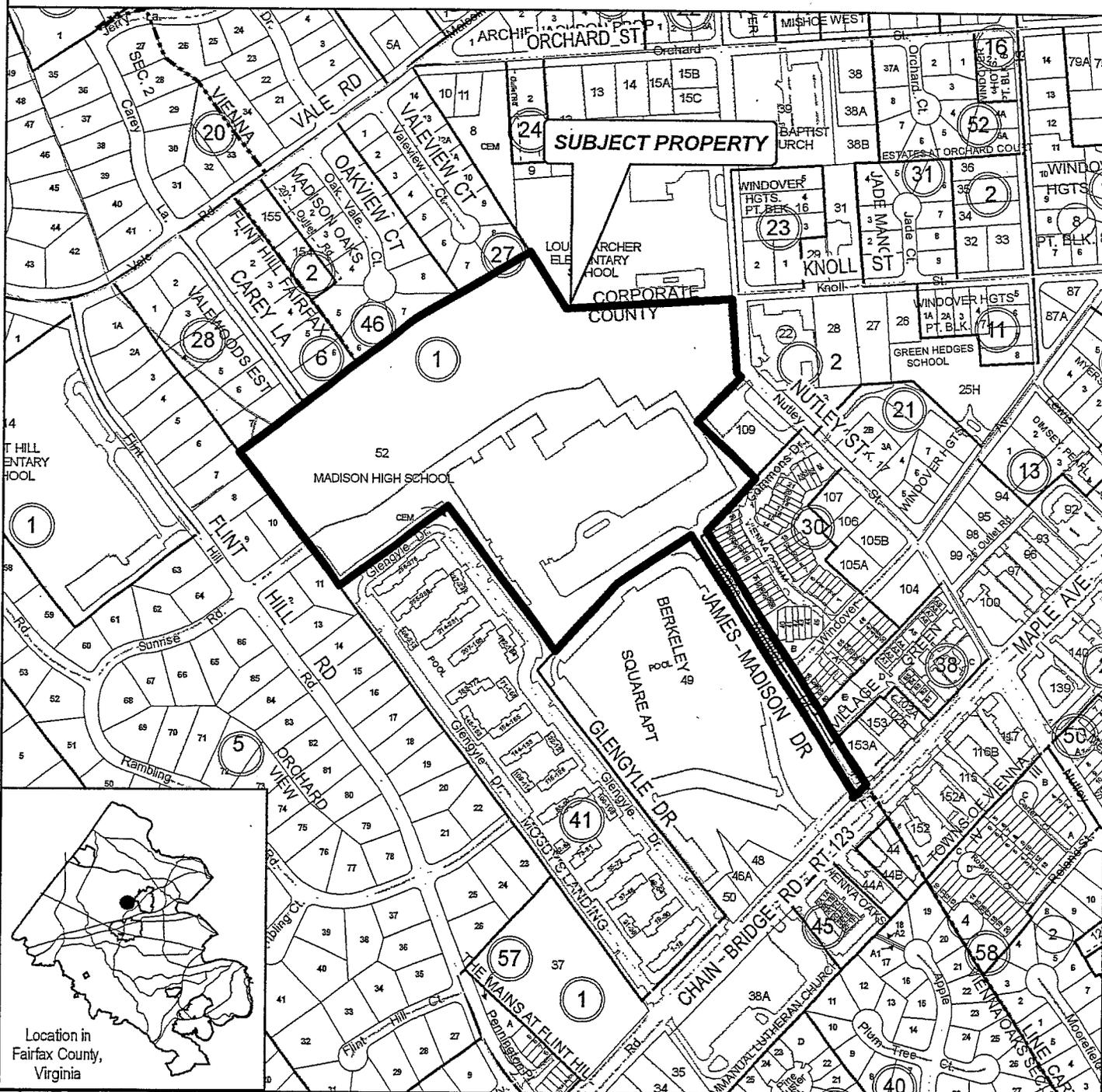
Acreeage: 25.36 Acs.

Subject Property: 38-3 ((1)) 52

Planned Use: Public Facilities, Gov't. & Institutional

Applicant: Clearwire Wireless Broadband and Milestone Communications

Proposed Use: Telecommunications facility



Location in Fairfax County, Virginia

500 FEET

PREPARED BY THE DEPARTMENT OF PLANNING AND ZONING
USING FAIRFAX COUNTY GIS



APPLICATION

Attachment A

PROPOSAL: Construct a telecommunications facility consisting of a 105-foot replacement light pole monopole (“replacement light pole monopole”) and related equipment (“the facility”).

APPLICANT: Clearwire Wireless Broadband (“Clearwire”) in conjunction with Milestone Communications

OWNER: Fairfax County School Board

SUBJECT PROPERTY: Tax Map parcel 38-3 ((1)) 0052 (“the property” or “the site”)

Location and Size: Proposed facility is located at James Madison High School (“Madison High School”), 2500 James Madison Drive in Vienna, north of Chain Bridge Road (Rte. 123) between Nutley Street to the east and Glengyle Dr. to the to the west. Specifically, the proposed facility is located immediately adjacent to the southern bleachers of the James Madison High School football stadium in the southwestern portion of parcel 52. The area of the subject parcel is 25.36 acres and the telecommunications compound has an area of 2,769 square feet.

Site Features: The subject property is a parcel developed with a high school and extensive athletic fields. The property boundaries located to the north, south and west are adjacent to residential development with a tree canopy of deciduous and evergreen trees. The football stadium is located in the northwest quadrant of the parcel with a large parking area on its south side. There are play areas and baseball diamonds located in the northeast quadrant of the parcel with the high school building and parking areas located in the south half of the parcel. Light poles surround the football stadium and are behind the bleachers. Access to the site is from James Madison Drive (to the south) and Sunrise Road (to the west). Travel lanes provide access from these roads to the football stadium area. The terrain is level and grass is planted outside the developed sport field areas.

PROJECT JUSTIFICATION: The applicant’s stated objectives include reducing the number of dropped calls of the neighboring on-air sites and close a gap in coverage on sites northwest of Maple Drive along Glengyle, Cary, Sunrise, Rambling, Roberts and Knoll Roads (see the propagation maps in Attachment A and note the red and yellow areas in the vicinity of these roads.)

PROPOSED USE: Telecommunications facility

Facility: The subject application proposes a 105’ replacement light pole monopole to replace an existing 88.76’ light pole used for athletic field lighting. The proposed facility, as amended, will include the following (all dimensions are approximate):

- **Location** – located in the northwestern portion of the property, behind the middle of the southern bleachers of the football field; 404.9’ east of western property boundary, 783.5’ west of the eastern property boundary, 165’ north of southern property boundary, 419.9’ south of the northern property boundary. The nearest residence is 231 feet away from the proposed replacement light pole monopole.
- **Structure** – 105’ tall gray replacement light pole monopole to replace existing 88.76” tall light pole; existing lights will be mounted on the replacement pole at the same height above ground (AGL) as previously mounted on the light pole (stadium lights at 87’1” and flood lights at 40’6”); the applicants state that the proposed height of 105’ shall be as measured from the

highest projection of the structure (which includes antennas), and is the minimum height required to satisfy coverage objectives.

- Antennas – attached to low-profile platform mounted to replacement light pole monopole; gray color. Clearwire proposes a 26.1”-diameter dish antenna at 103’ 11”feet above ground level and 3 panel antennas (each 4’tall x 6.54” wide x 2.6”depth) at 97 foot above ground level.
- Equipment cabinets – inside compound; gray color. Clearwire will locate 2 equipment cabinets (each 75” tall x 36”wide x 30” depth) in a 7’ l x 7’ w pad site.
- Compounds – 162’ long and 15’ 8” wide (western side) and 19’1” wide (eastern side) equipment compound will be located immediately behind the southern bleachers. It will be enclosed by 8’ tall board-on-board wood fence. A generator compound (18’ long by 10’ wide) enclosed with a wooden fence is located to the west of the bleachers.
- Access – from internal road on the high school property.
- Operations – unmanned; operates 24 hours/day, 365 days/year; routine maintenance visits by service technicians, with standard size vehicle.

Off-Site Impacts: Applicants state that the proposed facility will have no impact on traffic, parking, or environmentally sensitive areas, nor will it generate noise, light, dust, glare, odors, vibrations, or fumes, and will cause no interference to telephones, televisions, radios, or other electronic devices. It will have no impact upon air and water quality nor will it impact any existing environmental features of the subject property.

Alternatives Sites: Applicant considered two other parcels for the location of its communications facility. The following alternative locations were evaluated:

1) VEPCO Utility Pole at 10200 East Hunter Valley Road, Vienna, VA was rejected due to accessibility issues. The only way to access the site would require an easement from the Northern Virginia Regional Park Authority; and

2) Vienna City Water Tank at 247 Nutley Street, Vienna, VA was rejected due to the need for substantial reinforcement of the structure. The only way to access the site would require an easement from the Northern Virginia Regional Park Authority

DESCRIPTION OF SURROUNDING AREA

LOCATION: north of Chain Bridge Road (Rte 123) between Nutley Street (east) and Glengyle Dr. (west).

CHARACTER: public high school.

Adjacent Land Uses:

- North – single family residential
- East - elementary school and community center
- West – single-family residential
- South – condominium residential development

Nearby Land Uses:

- Further North – residential
- Further East – residential; public works facility with water tower
- Further South – residential and retail uses

- Further West – residential

Vegetation: none on the high school site, moderate suburban tree cover in surrounding residential areas

COMPREHENSIVE PLAN PROVISIONS

There is no site specific text which applies to the subject property and the Comprehensive Plan Map show that the site is planned for public facilities, governmental and institutional uses.

COMPREHENSIVE PLAN MAP:

Planning Area and District: Area II, Vienna Planning District

Planning Sector: V-4 Piney Branch Community Planning Sector

Land Use Recommendations:

- Subject property – public facilities; zoned R-3
- North – residential use at 1-2 and 2-3 dwelling units per acre (“du/ac”)
- East – public facilities use and residential use at 2-3
- South – residential use at 8-12 and 16-20 du/ac
- West – residential at 1-2 du/ac

COMPREHENSIVE PLAN CITATIONS: An assessment of this proposal for substantial conformance with land use and design recommendations of the Comprehensive Plan (“the Plan”) is guided by the following citations from the Plan:

Area Plan:

There is no site specific plan text which applies to the subject property. The Fairfax County Comprehensive Plan map shows that the subject property is planned for public facilities, governmental and institutional uses.

Policy Plan:

Fairfax County Comprehensive Plan, Policy Plan, 2007 Edition; Public Facilities, as amended through January 10, 2005; **MOBILE AND LAND-BASED TELECOMMUNICATION SERVICES, GENERAL GUIDELINES**, pages 37 – 39:

“Objective 42: In order to provide for the mobile and land based telecommunication network for wireless telecommunication systems licensed by the Federal Communications Commission, and in order to achieve opportunities for the collocation of related facilities and the reduction of their visual impact, locate the network’s necessary support facilities which include antennas, monopoles, lattice towers and equipment buildings in accordance with the following policies. ...

Policy a. Avoid the construction of new structures by locating mobile and land-based telecommunication facilities on available existing structures . . . when the telecommunication facilities can be placed inconspicuously to blend with such existing structures.

Policy b. Locate new structures that are required to support telecommunication

antennas on properties that provide the greatest opportunity to conceal the telecommunication facilities and minimize their visual impact on surrounding areas.

- Policy c. Subject to the availability and feasibility of a public site, when multiple sites have equal opportunity to minimize impacts, consider public lands as the preferred location for new structures. . . .
- Policy e. Locate mobile and land-based telecommunication facilities operated by different service providers on single sites and/or structures whenever appropriate. . . .
- Policy f. Ensure that the height of towers and monopoles has the least visual impact and is no greater than required to achieve service area requirements and potential collocation, when visually appropriate.
- Policy g. Ensure that the use of public property by mobile and land based telecommunication facilities does not interfere with the existing or planned operational requirements of the public use.
- Policy h. Design, site and/or landscape mobile and land-based telecommunication facilities to minimize impacts on the character of the property and surrounding areas. Demonstrate the appropriateness of the design through facility schematics and plans which detail the type, location, height, and material of the proposed structures and their relationship to other structures on the property and surrounding areas.
- Policy i. Demonstrate that the selected site for a new monopole and tower provides the least visual impact on residential areas and the public way. Analyze the potential impacts from other vantage points in the area to illustrate that the selected site provides the best opportunity to minimize the visual impact of the proposed facility.
- Policy j. Mitigate the visual impact of proposed telecommunication structures, and their antennas and ancillary equipment, using effective design options appropriate to the site such as:
- blending facilities with an existing pattern of tall structures;
 - obscuring or blocking the views of facilities with other existing structures, vegetation, treecover, . . . to the maximum extent feasible;
 - increasing the height of or replacing existing structures to reduce the need for another structure when such height increases or structure replacements are appropriate to the site and the surrounding area.

Objective 43: Design telecommunication facilities to mitigate their visual presence and prominence, particularly when located in residential areas, by concealing their intended purpose in a way that is consistent with the character of the surrounding area. . . .

- Policy a. Disguise and camouflage the appearance of telecommunication facilities so as to resemble other man-made structures and natural features (such as flagpoles, bell towers, and trees) that are typically found in a similar context and belong to the setting where placed;
- Policy b. Design telecommunications facilities that are disguised and camouflaged to be of a bulk, mass and height typical of and similar to the feature selected;
- Policy c. Use appropriately other new and existing structures and vegetation of comparable form and style to establish a grouping that complements a camouflaged telecommunication facility and supports its design, location and appearance.”

STAFF ANALYSIS:

Department of Planning and Zoning

Visual impact assessment

On July 24, 2010, the applicant conducted a balloon test to evaluate the visual impact of the proposed 125-foot high replacement light pole monopole upon the surrounding residential area. Observations at the test revealed that the proposed replacement light pole monopole would visually impact residences to the north, west and south. While there is a tree canopy over the surrounding residential structures along the northern, western and southern boundaries of James Madison High School, the 125-foot height exceeds the surrounding 88.76'-foot light poles surrounding the football field by 36' 3" feet and did not blend in with the other light poles due to its height. In particular, residences located along Carey Lane in Flint Hill subdivision (north), Sunrise Road in the Orchard View subdivision (west) and Glengyle Drive in Mosby's Landing condominiums (to the south) would see the upper quarter of the replacement light pole monopole. Subsequently, the applicant agreed to reduce the height to 105 feet. This reduction in height results in the replacement light pole monopole exceeding the height of the other light poles by only 16 feet and reduces the visual impact to the surrounding residences. The 105-foot replacement light pole monopole will blend in with the character of the view of the school athletic fields that are surrounded by 88.76'-foot light poles.

Zoning Administration Division – Ordinance Administration Branch

Attachment B

Findings: The property is zoned R-3 District. The proposed type of installation should be clarified and be consistent throughout all application materials. It would appear that the proposal is a utility pole replacement and subject to Par. 2 of Sect. 2-514. The proposal meets Par. 2. This proposal is also subject to the outdoor lighting standards contained in the Zoning Ordinance. Replacement lights for football field lighting require the submission of a sports illumination plan (SIP) to DPWES. If the existing lights are placed on a new pole that is at the

same location on the ground and at the same height as the previous pole and lighting, this would not be deemed to be replacement lighting. If any of those conditions do not exist, the lighting is deemed to be replacement lighting and a SIP would be required.

Planning Division - Environment and Development Review

Findings: The application does not raise any significant environmental concerns.

Planning Division – Historic Preservation:

Attachment C

Background: This subject parcel is not included within the boundaries of a Fairfax County Historic Overlay District, is not listed on the Fairfax County Inventory of Historic Sites or the National Register of Historic Places or documented in the historic structures survey file. In the near vicinity are two listed county inventory sites and a third property identified in the Virginia Department of Historic Resources (VDHR) site files. The listed properties are Contemplation, tax map 038-3 ((41)) located at 2584 Chain Bridge Road and Merry-Go-Round, tax map 038-3 ((1)) 37 located at 2594 Chain Bridge Road. The surveyed property is the Washington, Arlington, and Falls Church Electric Railway located along the path of Chain Bridge Road.

The applicant initiated Section 106 of the National Historic Preservation Act of 1966. As a local government, Fairfax County was afforded an opportunity to provide comment as required under Section 106. The following comment was provided on May 24, 2010.

Thank you for the information and for the opportunity to provide comment on this application. I concur with your finding regarding Contemplation 029-0097 and Wash, Arl & Falls Church Elec. RR 029-5470 of no effect. There is however, another property that is within the APE: Merry-Go-Round, 2594 Chain Bridge Road, 038-3 ((1)) 37, I do not believe the property has been assessed for NR eligibility listing.

As you may know, Fairfax County has a local register, The Fairfax County Inventory of Historic Sites. Merry-Go-Round is listed on the inventory. The Inventory listing can be accessed at <http://www.fairfaxcounty.gov/dpz/historic/ih/>

In 2008, Fairfax County sent VDHR electronic version of the site forms for the inventory properties. Unfortunately, neither VDHR nor Fairfax County has the resources to enter all the 350 sites into DSS. Clearly, all sites listed on the county inventory are not NR eligible, however, some are and need to be taken into account.

Thank you for assessing the potential impact of the proposed monopole on the property at 2594 Chain Bridge Road Vienna. Please copy me on your findings.

Findings: It does not appear that the information has been provided as requested. Documentation is needed to determine if the proposal is in-keeping with the Policy Plan text cited with regard to the one listed inventory site.

Recommendation:

1. The applicant provide to the Department of Planning and Zoning, Planning Division documentation for determination that the proposal is in-keeping with Policy Plan text cited above.

2. The applicant provide to the Department of Planning and Zoning, Planning Division documentation as requested in the Section 106 comment in order to be reviewed and included in the staff report for the 2232 application.

Note: The applicant provided a copy of the State Historic Preservation Office (SHPO) letter indicating no impact.

Department of Public Works and Environmental Services

Urban Forestry

Findings: No issues.

Fairfax Water

Findings: No issues.

Fairfax County Public Schools ("FCPS")

Findings: No comments with respect to school site development.

CONFORMANCE WITH THE COMPREHENSIVE PLAN

Va. Code Sec. 15.2-2232, as amended, requires the Planning Commission to determine whether the general location or approximate location, character, and extent of the proposed facility, as amended, are substantially in accord with the adopted Comprehensive Plan.

LOCATION: The proposed facility will be located on a large public property owned by the Fairfax County School Board, planned for public facility use, and developed as a public high school. The subject site is available for Clearwire's proposed use. In staff's opinion, the proposal conforms with Plan guidelines that, subject to the availability and feasibility of a public site, public lands should be considered as the preferred location for new telecommunications structures.

The subject proposed 105' replacement light pole monopole will replace another existing light pole behind the southern bleachers which is near other 88.76'-foot light poles. Thus, the proposed replacement light pole monopole will be located on a site where there are existing pole structures of comparable form, in support of Plan recommendations. In addition, the height of the proposed replacement light pole monopole was reduced to better blend with existing light poles and benefit from the buffer of the tree canopy in the surrounding residential development, consistent with Plan guidelines to minimize the proposed facility's visual impact. Staff believes that the proposal conforms with Plan guidelines to locate facilities on properties that provide the greatest opportunity to conceal the telecommunications facility and minimize its visual impact on surrounding areas, and therefore supports Plan objectives for the location of telecommunications facilities.

CHARACTER: The proposed replacement pole should not be visually prominent due to the reduced height of 105 feet, surrounding residential tree canopy and because of its setting among numerous other poles of similar size and appearance. The proposed replacement light pole monopole (along with the existing lights that will be mounted to it) will appear similar to the existing light poles on the property, in conformance with Plan recommendations. Where visible from surrounding properties, the proposed replacement light pole monopole should be compatible with the existing character of the school site and its numerous light poles. Therefore,

the proposed replacement pole will be a feature that could reasonably be expected to be found on the subject high school property in this setting of light poles. The proposed facility's location on a site with multiple light poles conforms with Plan guidelines to use appropriately other existing structures of comparable form and style that complement and support the design and appearance of the replacement pole. In addition, all related equipment cabinets will be located behind the existing bleacher structure and screened by wood fencing obscuring their view from the public.

The applicant's original proposal was for a 125-foot tall replacement light pole monopole. However, based on observations during the on-site height test and an evaluation of the applicant's photographic simulations, the proposed facility was determined to have some potential adverse visual impact on residential properties surrounding the facility. Upon request the applicant reduced the height of the replacement light pole monopole to 105-feet which mitigated the visual impact of the upper portion of the replacement light pole monopole upon surrounding residential properties as it will be screened by the surrounding the residential tree canopy and blend with the other light poles which is the character of the existing athletic fields. Therefore, the proposed facility should not have a significant adverse visual impact on the character of the school or surrounding area, and meets Plan guidelines to design telecommunications facilities to mitigate their visual presence and prominence in residential areas by concealing their intended purpose in a way that is consistent with the character of the surrounding area.

As previously noted, there are other athletic field light poles on the school campus. Replacing an existing light pole with the proposed replacement light pole monopole is an effective design option appropriate to this site because the new replacement light pole monopole will blend visually with the existing pattern of tall pole structures on the property, as recommended by the Plan. From locations where the proposed facility may be visible, the structure's actual purpose will be obscured or disguised by the fact that it also will serve as a light pole, in accordance with Plan guidelines. Given the number of existing light poles on the school grounds, the proposed replacement pole is consistent with Plan guidelines to disguise and camouflage the appearance of telecommunications facilities to resemble other man-made structures—such as tall light poles—typically on a public high school site.

EXTENT: In accordance with Plan recommendations, Clearwire and Milestone Communications propose to replace one existing light pole at the football field with a replacement light pole monopole, thus avoiding the construction of a new structure elsewhere in the surrounding area. This is consistent with Plan guidelines to replace an existing structure with a new structure of greater height to reduce the need for another structure, when such height increases are appropriate to the site and surrounding areas. In addition, the proposed facility will not add to the total number of light poles already located on the school property. FCPS staff reviewed the application, with no comments. The proposed facility will be adjacent to the existing athletic fields and removed from other school uses which conforms with Plan recommendations that the proposed use should not interfere with the existing or planned operational requirements of the public school use. The applicants note that the proposed facility will accommodate collocation by other future service providers (subject to future 2232 Review and approval), in accordance with Plan guidelines to locate multiple service providers on single structures. Thus, in staff's opinion, the proposal meets Plan guidelines pertaining to the extent of proposed telecommunications facilities.

CONCLUSIONS AND RECOMMENDATIONS

Staff concludes that the subject proposal by Clearwire Wireless Broadband and Milestone Communications, as amended, to construct a 105-foot replacement light pole monopole in place of an existing light pole at James Madison High School, 2500 James Madison Drive, Vienna satisfies the criteria of location, character, and extent as specified in Va. Code Sec. 15.2-2232, as amended. Staff therefore recommends that the Planning Commission find the subject Application 2232-H10-2, as amended, substantially in accord with provisions of the adopted Comprehensive Plan.

COUNTY OF FAIRFAX, VIRGINIA
APPLICATION FOR DETERMINATION
PURSUANT TO
SECTION 15.2-2232 OF THE CODE OF VIRGINIA

Application Number: 2232-H10-2
(assigned by staff)

The application contains three parts: I. Application Summary; II. Statement of Justification; and I Telecommunication Proposal Details. Please do not staple, bind or hole-punch this application. Please provide at least one copy of all pages, including maps and drawings, on 8.5 x 11 inch paper.

(Please Type or Print All Requested Information)

PART I: APPLICATION SUMMARY

ADDRESS OF PROPOSED USE

Street Address 2500 James Madison Drive (James Madison High School)
City/Town Vienna Zip Code 22181

APPLICANT(S)

Name of Applicant Clearwire Wireless Broadband; Milestone Communications
Street Address 5220 Industrial Boulevard
City/Town Milton State Florida Zip Code 32583
Telephone Number: Work (888) 253-2794 Fax ()
E-mail Address edonohue@donohuestearns.com

Name of Applicant's Agent/Contact (if applicable) Edward L. Donohue
Agent's Street Address 801 North Fairfax Street, Suite 209
City/Town Alexandria State VA Zip Code 22314
Telephone: Work (703) 549-1123 Fax () (703) 549-5385

PROPOSED USE

Street Address 2500 James Madison Drive (James Madison High School)

Fairfax Co. Tax Map and Parcel Number(s) 0383 01 0052

Brief Description of Proposed Use _____

Construction of a new 105' high monopole telecommunications facility with a microwave dish at 105' and 2,589 square foot equipment compound. Monopole will replace existing light pole and will house 4 (3 panel; 1 microwave) antennas (48"H x 6.54"W x 2.6"D)/(26.1" in diameter), a set of stadium lights on a mounting frame at 87'-1", and a set of flood lights at 40'-6". The equipment compound on raised concrete platform will house Clearwire equipment cabinets (75"H x 36"W x 30"D) and will be surrounded by an 8' tall wood fence. An additional lease area (10' x 18') for the future placement of a generator is also included in the site plans (it is noted on the site plans that these pads will not be constructed until the future carriers are determined).

Total Area of Subject Parcel(s) 25.3664 acres (acres or square feet)

Portion of Site Occupied by Proposed Use 2, 769 square feet (acres or square feet)

Fairfax County Supervisor District Hunter Mill

Planned Use of Subject Property (according to Fairfax County Comprehensive Plan)
Public Schools.

Zoning of Subject Property R-3

List all applicable Proffer Conditions, Development Plans, Special Exceptions, Special Permits or Variances previously approved and related to this site
n/a

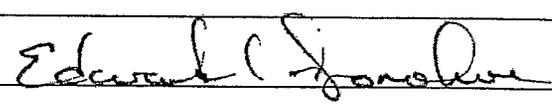
PROPERTY OWNER(S) OF RECORD

Owner School Board of Fairfax County

Street Address 8115 Gatehouse Road

City/Town Falls Church State Virginia Zip Code 22042

PART II, entitled "Statement of Justification," pages 4 through 6, shall be completed by all applicants and included as part of the application. **PART III**, entitled "Telecommunication Proposal Details," pages 7 through 9, also shall be completed and included for all proposed telecommunication uses.

Name of Applicant or Agent Edward L. Donohue
Signature of Applicant or Agent 
Date September 16, 2010

Please do not staple, bind or hole-punch this application. Please provide at least one copy of all pages, including maps and drawings, on 8.5 x 11 inch paper.

Submit completed application to:

**Fairfax County
Department of Planning and Zoning, Planning Division
Herrity Building
12055 Government Center Parkway, Suite 730
Fairfax, Virginia 22035**

<p>FOR STAFF USE ONLY</p> <p>Date application received: <u>9/16/10</u></p> <p>By: <u></u></p> <p>Additional information requested to complete application:</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Date application accepted: <u>9/16/10</u></p> <p>By: <u></u></p>
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PART II: STATEMENT OF JUSTIFICATION

Please provide a separate written statement of justification describing the proposed use, its requirements and any potential impacts as set forth in items 1 through 8 of this section. For telecommunication uses, please also complete Application PART III, "Telecommunication Proposal Details," pages 7 through 9. Information in the Statement of Justification shall include, but need not be limited to, the following listed items:

1. DESCRIPTION OF PROPOSED USE

Describe the nature of the proposed facility and provide information related to the character and extent of the use such as:

- Type of operation or facility
- Dimensions of all buildings and structures including maximum building and structure heights
- Materials, color, or finish of buildings or structures
- Hours and days of operation
- Estimated number of employees and facility users (patrons, visitors, students etc.) expected daily
- Service area of the proposed use
- Maintenance requirements and frequency

2. REQUIREMENT FOR PROPOSED USE

Describe the requirements for the use at the location selected:

- Why the new or expanded facility is needed
- Why the proposed location is the best location for the proposed use
 - Why the proposed location and type of facility is the least disruptive alternative
- Relevant standards/criteria supporting the facility and location
- Vicinity or general area to be served by proposed use

3. ANTICIPATED IMPACTS ON ADJOINING PROPERTIES AND ON- AND OFF-SITE ENVIRONMENTAL FEATURES

Describe any anticipated impacts the proposed use will have on adjoining properties and environmental and transportation features as may relate to the following:

PART III: TELECOMMUNICATION PROPOSAL DETAILS

Please complete and provide all requested information. If question is not applicable to the proposed use, please indicate with N/A.

PROPOSED TELECOMMUNICATION USE

Use is (check one):

- New structure (monopole, tower or camouflaged facility)
- Replacement of existing pole or tower at same location with another pole or tower
- Antenna placement on building or penthouse facade
- Antenna placement on building or penthouse rooftop
- Collocation on other existing telecommunications structure (monopole or tower)
- Collocation on other non-telecommunications structure (such as an electric transmission tower/pole, utility pole, water tower, etc.)
- Modification to telecommunications facility previously approved for same applicant:
Prior 2232 Review application number: _____
Date of Planning Commission approval: _____

PROJECT DETAILS

1. ANTENNA

Number and Type: 4 (3 panel; 1 microwave dish)
Dimensions: height 4' _____ width 6.54" _____ depth 2.6" _____ diameter 26.1" _____
Location / Placement: Side of monopole attached with low profile platform
Wattage: _____
Material and Color: Metal/Gray
Material and Color of the Antenna Mounting: Metal/Gray
Height Above Ground: Clearwire at 97'; microwave at 103'11"

2. EQUIPMENT

Number and Type of Cabinets or Structures: Up to 2 cabinets
Cabinet / Structure Dimensions: height 75" width 36" depth 30"
Height of equipment platforms, if any: n/a - To be placed on concrete slab
Material and Color: Steel/Gray
Location: Base of monopole in a new fenced equipment compound
Method of Screening: 8' high wood fence

3. STRUCTURE ON WHICH ANTENNAS WILL BE MOUNTED

Maximum Height: 105'
Material: Steel
Color: Gray
If structure is within a utility right-of-way, state right-of-way width:

If the proposed structure will replace an existing pole or tower, provide dimensions of the existing structure:

Height of Structure to be Replaced: 88.76 feet

Diameter or Overall Footprint of Structure to be Replaced: 26 inches

4. ADDITIONAL INFORMATION

The following information, as relevant to the proposal, shall be included:

- A. ELEVATIONS: Structural elevation drawings showing the placement of the antenna and the related equipment on the existing or proposed structure;
- B. ANTENNA: Details showing the antenna and antenna mountings and the location of the antenna on the building or structure;
- C. BUILDING ROOF PLAN AND CALCULATION: If located on a building rooftop, provide a roof plan at a scale of 1"= not more than 20' showing all existing penthouses, structures and mechanical equipment on the roof and the location of the proposed antenna and related telecommunications equipment. Include a calculation stating 1) the percentage of the roof which is covered by all existing structures, and 2) the percentage that will be covered by all existing structures plus the proposed antennas, equipment cabinets and shelters;
- D. SCREENING: Details of screening for the equipment structure and/or antenna structure showing type of screening material, dimensions and placement; if landscaping is provided, list the height of the landscaping at time of planting and the ultimate height;
- E. PROPERTY PLAT: A plat of the property prepared by a certified engineer showing the location of the proposed ground equipment structure and antenna, the relationship to other structures on site, with measured distances from all property boundaries or easement lines if the structure or antenna is placed in an easement;
- F. PHOTOGRAPHS: For collocations on existing buildings or other structures such as power poles or towers, provide photographs of the building or structure showing the proposed placement of the antenna and related equipment;
- G. PHOTOGRAPHIC SURVEY: For proposed structures, provide a photographic survey of the project site. Photographs should be taken from the subject property boundaries at four or more locations to show on- and off-site views of the subject property and to identify the proposed location of the facility on the site. The number of photos submitted will vary according to site size but should be adequate to view the entire site;

H. PHOTO SIMULATIONS: Provide photo simulations illustrating the proposed facility, antennas and equipment. Include enough photo simulations to accurately depict the proposed facility. For new structures, the photo simulations should depict the appearance of all proposed structures and equipment as viewed from the subject site and adjoining properties and show the relationship to existing site features such as building, trees and other physical features. For rooftop or structure installations, the photo simulations should depict the appearance of the antennas and equipment when installed. Photo simulations may be submitted to Fairfax County as part of the application. For new structures the simulations may be submitted following completion of an on-site height test.

I. On-site Height Test: For proposed poles or towers, the applicant should conduct an on-site height demonstration, such as a balloon or crane test, to simulate the extent of the proposed structure's visibility from surrounding properties. Such test should be coordinated with the staff coordinator.

END OF APPLICATION

**Application for Determination
Pursuant to
Section 15.2-2232, Code of Virginia**

Part II: Statement of Justification

Applicant

Clearwire Wireless Broadband
5220 Industrial Boulevard
Milton, FL 32583

Co-Applicant

Milestone Communications
1890 Preston White Drive, Suite 103
Reston, VA 20191

Site location

Address: 2500 James Madison Drive Vienna, VA 22181
Parcel: 0383 01 0052
Zoning District: R-3
Use: Public School
Supervisor District: Hunter Mill

Description of Proposed Use

Pursuant to Section 15.2-2232 of the Code of Virginia, Clearwire and Milestone Communications request that the proposed 105' high monopole located at the James Madison High School, 2500 James Madison Drive, Vienna be approved.

Milestone Communications is negotiating a lease agreement with James Madison High School and will lease space at the proposed site to Clearwire. The proposed 105' monopole will accommodate two (2) additional wireless providers. The description of the telecommunications facility is described on the Partial Site Plan drawing entitled "James Madison High School" and prepared by Entrex Communications Services, Inc. dated August 12, 2010. As this monopole will replace the existing light pole and will be located at the same spot, it will also house a set of stadium lights on a mounting frame as well as a set of flood lights both at the same location as the current light pole.

The proposed 105' monopole will accommodate Clearwire at a Rad Center of 97' with three (3) panel antennas and one (1) microwave dish antenna at 103'11". Each panel antenna will be 4' high, 6.54" wide and 2.6" deep. The microwave dish will be 26.1" in diameter. A proposed 162' long and 15'8" wide (western side) and 19'1" wide (eastern side) compound will be provided at the base of the monopole and surrounded by an 8' tall wood fence. Up to two (2) equipment cabinets would be installed inside of the proposed compound. Each equipment cabinet will measure no more than 75" high by 36" wide by 30".

The proposed facility will be designed to provide for two (2) additional carriers. Four (4) equipment pads are provided. The proposed facility will be unmanned and will operate around the clock, 365 days per year. Routine maintenance will occur once or twice per month and be performed by a service technician driving a standard sized vehicle.

The proposed facility will operate as a base station for Clearwire wireless telecommunications networks.

The proposed use is passive and will not generate any noise, lights, dust, glare, vibrations, fumes or odors. The only traffic generated will be the once-a-month routine maintenance visits. The proposed use poses no threat to the public health safety or welfare and will not impact radio, television or telephone reception. It will have no impact upon the air and water quality, nor will it impact any existing environmental features of the subject property.

Requirement of Proposed Use

The proposed facility is a vital component of Clearwire's area-wide wireless telecommunications networks. Because wireless telecommunications facilities operate at low power levels, wireless service providers such as Clearwire must locate antenna sites according to a network design based on interconnecting cells (coverage areas) so that a wireless call can be seamlessly handed off from one facility to the next as a user travels throughout the area. Without a sufficient number of facilities, calls will drop and disconnect as the user approaches the outer limits of a cell. In order to achieve maximum efficiency from each wireless telecommunications facility in the network, the carrier attempts to locate the facilities at optimum locations within each cell so that it can attain the broadest pattern of signal distribution and the widest possible spacing between them.

Dropped calls are more than an inconvenience and an annoyance for mobile phone users. A network with significant gaps in coverage cannot support the important emergency services component of wireless telephone service. Wireless subscribers depend on strong signal strength and broad network access. Clearwire has limited coverage in the area surrounding the proposed wireless telecommunications facility, especially to the west of West Maple Avenue along Glengyle, Carey, Sunrise, Rambling, Roberts and Knoll Roads (See propagation maps and the extended red and yellow areas near these roadways.)By collocating on the proposed communications facility would be able to begin providing better coverage.

Anticipated Impacts on Adjoining Properties

The proposed facility would have no impact on traffic or parking as the facility would be unmanned and would not generate traffic. Because the monopole would be located on a large parcel where it would replace an existing light pole, the visual impact would be minimal. There would be no perceptible noise generated by the facility. There will be no interference with electronic equipment for telephone, television, radio or other electronic uses.

Relationship of the Proposed Facility to the Comprehensive Plan

The proposed facility is consistent with and furthers the goals the Fairfax County Comprehensive Plan. The proposed monopole would be located on publicly-owned property, designed for multiple carriers and be situated to minimize visual impact. The proposed site should be found to be in substantial accord with the Comprehensive Plan. The proposed facility is also consistent with the objectives of the Policy Plan of the Comprehensive Plan concerning mobile and land-based telecommunication services as described below.

Mobile and land-based telecommunication services provide for the wireless transmission of voice and data and include cellular and personal communications services (PCS), paging and wireless internet services and mobile radio. These services operate from wireless networks that are dependent on antenna devices and related equipment to transmit from a sender to one or more receivers. Such services are viewed as public utility service providers that benefit the community and its economic growth and vitality. The objectives and policies set forth in this section provide guidance on siting and design issues and are used in evaluating land use applications. They should not be interpreted as superseding or

amending any requirements of the Zoning Ordinance or other local, state and Federal laws pertaining to these issues.

General Guidelines

Objective 42: In order to provide for the mobile and land-based telecommunication network for wireless telecommunication systems licensed by the Federal Communications Commission, and in order to achieve opportunities for the collocation of related facilities and the reduction of their visual impact, locate the network's necessary support facilities which include antennas, monopoles, lattice towers and equipment buildings in accordance with the following policies.

Policy B: Locate new structures that are required to support telecommunication antennas on properties that provide the greatest opportunity to conceal the telecommunication facilities and minimize their visual impact on surrounding areas.

Clearwire has located the proposed facility on one of the largest parcels in the vicinity so as to maximize the distance from residential properties. The bleachers will help to screen the view of proposed pole. Stadium lights will be mounted at 87'1" and the flood lights at 40'6".

Policy C: Subject to the availability and feasibility of a public site, when multiple sites have equal opportunity to minimize impacts, consider public lands as the preferred location for new structures.

The subject property is a public property owned and operated by the Fairfax County Public School Board. Furthermore, the proposed facility will be placed the bleachers on the football field and will house the stadium and flood lights.

Policy D: Locate mobile and land-based telecommunication facilities on public property only after a lease agreement between the County, or related board or authority, and service provider has been established.

Clearwire has entered into a lease agreement with Milestone Communications, on behalf of the Fairfax County School Board.

Policy F: Ensure that the height of towers and monopoles has the least visual impact and is no greater than required to achieve service area requirements and potential collocation, when visually appropriate.

The height of the proposed monopole is the minimum required to satisfy Clearwire's coverage objectives.

Policy G: Ensure that the use of public property by mobile and land based telecommunication facilities does not interfere with the existing or planned operational requirements of the public use.

Applicants are working closely with the James Madison High School and the Fairfax County Board of Education to locate the proposed monopole to ensure that there will be no impact on the existing and future public use of the subject property. James Madison High School has approved the location of the proposed monopole.

Policy H: Design, site and/or landscape mobile and land-based telecommunication facilities to minimize impacts on the character of the property and surrounding areas. Demonstrate the appropriateness of the

design through facility schematics and plans which detail the type, location, height, and material of the proposed structures and their relationship to other structures on the property and surrounding areas.

The attached Plat shows the design of the monopole telecommunications facility and its relation to the existing structures on the Property. The proposed facility will not impact the character of the High School or the surrounding residential properties. The monopole will be 105' in height and located behind the bleachers on the football field. Applicant proposes a 162' by 15'8" equipment compound which will surround the monopole and ancillary equipment. The equipment compound will be surrounded by an 8' high wooden fence. Clearwire will house up to two (2) cabinets within the compound.

Policy I: Demonstrate that the selected site for a new monopole and tower provides the least visual impact on residential areas and the public way. Analyze the potential impacts from other vantage points in the area to illustrate that the selected site provides the best opportunity to minimize the visual impact of the proposed facility.

The photo simulations enclosed with this application demonstrate the appropriateness of utilizing this site, by showing the visual impact from various locations around the subject property.

Policy J: Mitigate the visual impact of proposed telecommunication structures, and their antennas and ancillary equipment, using effective design options appropriate to the site such as:

- Locating facilities near to or within areas of mature vegetation and trees which effectively screen or provide an appropriate setting for the proposed structure or which, when viewed in context, considering perspective views, relative topography and other factors, mitigate their visual presence and prominence;
- Blending facilities with an existing pattern of tall structures;
- Obscuring or blocking the views of facilities with other existing structures, vegetation, tree cover, or topographic features to the maximum extent feasible
- Increasing the height of or replacing existing structures to reduce the need for another structure when such height increases or structure replacements are appropriate to the site and the surrounding area.

The existing bleachers will help to screen the base of the proposed monopole and related equipment. The 8' high wood fence will help screen the equipment compound from view.

Policy K: Locate telecommunication facilities to ensure the protection of historically significant landscapes. The views of and vistas from architecturally and/or historically significant structures should not be impaired or diminished by the placement of telecommunication facilities.

The proposed use would not alter historically significant landscapes or views from the architecturally or historically significant structures.

Policy L: Site proposed facilities to avoid areas of environmental sensitivity.

The proposed use would not impact any environmentally sensitive areas.

Policy M: Site proposed facilities to allow for future expansion and maintain levels of screening to accommodate expansion.

As noted previously, the proposal will allow for future expansion of two (2) additional carriers and all equipment will be situated within the 162' by 15'8" by 162' by 19'1" compound and screened behind the 8' high wood board fencing. The fence will be further screened by the bleachers.

Policy N: Design and site proposed facilities to preserve areas necessary for future right-of-way dedication and ancillary easements for construction of road improvements.

The proposed location is 165' from the nearest public road right-of-way (Glengyle Drive – see Sheet Z-1), thereby allowing sufficient room for future right-of-way expansion and easements for road improvements.

Objective 43: Design telecommunication facilities to mitigate their visual presence and prominence, particularly when located in residential areas, by concealing their intended purpose in a way that is consistent with the character of the surrounding area.

Policy A: Disguise and camouflage the appearance of telecommunication facilities so as to resemble other man-made structures and natural features (such as flagpoles, bell towers, and trees) that are typically found in a similar context and belong to the setting where placed;

The proposed monopole resembles other lighting fixtures on the property.

Policy B: Design telecommunications facilities that are disguised and camouflaged to be of a bulk, mass and height typical of and similar to the feature selected;

The bulk and mass of the structure are similar in appearance to the other lighting structures on the subject property. The proposed facility makes appropriate use of the existing features of the subject property. It balances the use of the subject property and the use and enjoyment of the nearby residences with the objectives of the Fairfax County Comprehensive Plan. It accomplishes this by providing both adequate wireless telecommunication services, and eliminating the need for future telecommunication structures in the immediate area.

Policy C: Use appropriately other new and existing structures and vegetation of comparable form and style to establish a grouping that complements a camouflaged telecommunication facility and supports its design, location and appearance.

The proposed monopole and compound location would be located behind the existing bleachers on the football field. This fact coupled with the 8' tall wood fence that will surround the compound will minimize visibility.

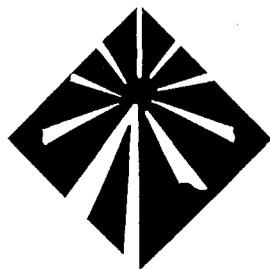
Alternatives Sites:

Applicant considered two other parcels for the location of its communications facility. The following alternative locations were evaluated:

1) VEPCO Utility Pole at 10200 East Hunter Valley Road, Vienna, VA was rejected due to accessibility issues; and

2) Vienna City Water Tank at 247 Nutley Street, Vienna, VA was rejected due to the need for substantial reinforcement of the structure. The only way to access the site would require an easement among the Northern Virginia Regional Park Authority and they were not willing to move forward because it crossed a view shed and there were safety issues.

For the reasons stated above, Clearwire and Milestone Communications respectfully request that this 2232 Application be granted.



Milestone
COMMUNICATIONS

clearw're

wireless broadband

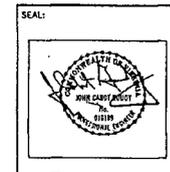
JAMES MADISON HIGH SCHOOL
2500 JAMES MADISON DRIVE
VIENNA, VA 22181

2232-H10-2



1875 Eye Street, N.W., Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0160
FAX: (202)408-0161

SUBMITTALS		
DATE	DESCRIPTION	REV.
01-06-10	ZONING REVIEW	
03-18-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-16-10	PALE MODIFICATION	
08-12-10	PALE HEIGHT MODIFICATION	
09-15-10	COUNTY COMMENTS	



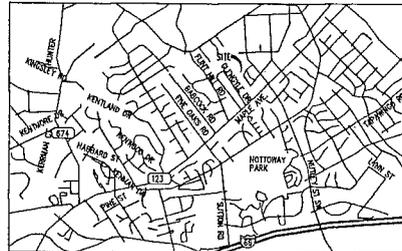
GENERAL NOTES

- THE CONTRACTOR SHALL OBEY ALL NOTICES AND COURT ORDERS WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND COUNTY SPECIFICATIONS, AND LOCAL AND STATE APPLICABLE CODES RELATIVE TO THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES.
- THE ARCHITECT/OWNER HAS MADE EVERY EFFORT TO SET FORTH IN THE CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BEING THE JOB IS HEREBY CONFIRMED THAT ANY OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE CONSTRUCTION MANAGER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY COVERED BY THE CONSTRUCTION DRAWING/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/MODEL'S SPECIFICATION UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL PROVIDE A FINAL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDITION ON CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WORK MAY BE REQUIRED FOR THE PROJECT BY THE ARCHITECT/OWNER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DEBRIS, RUBBISH AND EXCESS EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPILLS, OILS, OR SURFACES OF ANY NATURE.
- THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONDUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL THE CONFLICT IS RESOLVED BY THE CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SUBMIT TO THIRD PARTY INSPECTION SERVICES TO SHEET TEST TRANSMISSION LINES, INSPECT CONSTRUCTION WORK ON TOWERS/MONOPILES, CERTIFY ANTENNA ADJUSTERS, ANTENNA HEIGHT (AOL), TEST GROUNDING, VERIFY AIRBORNE CAPACITY, CONCRETE STRENGTH (TOWER FOUNDATIONS ONLY) AND REBAR/CONCRETE PLACEMENT. THIRD PARTY INSPECTION SERVICE CONTRACTORS SHALL BE APPROVED BY CONTRACTOR.
- THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF COMMUNITY COMMUNICATIONS CAP OPERATIONS, LLC. ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED.

DIRECTIONS:

FROM I-465 (CAPITAL BELTWAY), I-270 SPUR 4 BECOMES I-455 (CAPITAL BELTWAY (CROSSING INTO VIRGINIA), MERGE ONTO I-66 W VIA EXIT 40 TOWARD MANASSAS/PRESTON ROYAL, MERGE VIA EXIT 81 TOWARD VERNAL, TURN LEFT ONTO MAPLE AVE W/VA-123 S, TURN RIGHT ONTO JAMES MADISON DR. PROCEED 0.1 MILE TO 2500 JAMES MADISON DR. THE SITE IS ON THE LEFT.

VICINITY MAP



SCALE: 1" = 2000'



SYMBOLS AND ABBREVIATIONS

ADJ	ADJUSTABLE	MECH	MISCELLANEOUS	+	SPOT ELEVATION
APPROX	APPROXIMATE	MFR	MANUFACTURER	—	CENTERLINE
CAB	CABINET	MGR	MAIN GROUND BAR	—	PLATE
CEG	CEILING	MN	MURRAY	⊙	DETAIL NUMBER
CMC	CONCRETE	MZ	METAL	⊙	SHEET NUMBER
CONT	CONTINUOUS	NIC	NOT IN CONTRACT	—	GROUND WIRE
CJ	CONSTRUCTION JOINT	NTS	NOT TO SCALE	⊙	PDS ANTENNA
DA	DRAWING	OC	ON CENTER	⊙	UTILITIES NOTIFICATION MISS UTILITY
EOP	EQUIPMENT GROUND BAR	OPP	OPPOSITE	⊙	CALL 1-800-552-7001
EA	EAVE	SF	SQUARE FOOT	⊙	3 WORKING DAYS PRIOR TO DIGGING
ELEC	ELECTRICAL	SH	SHIELD	⊙	SAFETY PRECAUTIONS SHALL BE IMPLEMENTED BY CONTRACTOR AT ALL TIMES IN ACCORDANCE WITH CURRENT OSHA STANDARDS
EL	ELEVATION	SM	SMALL	⊙	
EQ	EQUIPMENT	SS	STAINLESS STEEL		
EXT	EXTERIOR	STL	STEEL		
FF	FINISHED FLOOR	TOC	TOP OF CONCRETE		
EQIP	EQUIPMENT	TOP	TOP OF MASONRY		
GAZ	GAZE	TOP	TOP OF STEEL		
GRD	GROUND BAR	TYP	TYPICAL		
OC	ON CENTER	VF	VERIFY IN FIELD		
ON	ONLINE	W/	UNLESS OTHERWISE NOTED		
OVLY	OVERLAP	WV	WELDED WIRE FABRIC		
PRG	PROGRAM	W/	W/ WITH		
LO	LONG	AND	AND		
LLH	LONG LEG HORIZONTAL	0	0		
MAX	MAXIMUM	AT	AT		

SHEET INDEX

- T-1 TITLE SHEET
- Z-1 SITE PLAN
- Z-1A BUILDING DATA
- Z-2 PROPERTY INFORMATION
- Z-3 PARTIAL SITE PLAN
- Z-4 COMPOUND PLAN
- Z-5 MONOPOLE ELEVATION
- Z-6 SITE DETAILS
- Z-7 CLEARWIRE ANTENNAS AND MOUNTING DETAILS
- Z-8 CLEARWIRE EQUIPMENT CABINET DETAILS
- Z-9 CIVIL MAPS
- Z-10 SITE PROFILES

PROJECT DESCRIPTION

SCOPE OF WORK: 1. INSTALL A NEW 100'-0" HIGH MONOPOLE & FOUNDATION INSIDE A NEW FENCED EQUIPMENT COMPOUND.
2. INSTALL (3) PANEL ANTENNAS AND (1) MICROWAVE ANTENNA MOUNTED ON THE MONOPOLE.
3. INSTALL CLEARWIRE COMMUNICATION EQUIPMENT CABINETS ON NEW CONCRETE PAD.
4. INSTALL COAXIAL AND GROUNDING CABLES.
5. INSTALL CONFOUNDED SITE IMPROVEMENTS.
6. INSTALL TELEPHONE AND ELECTRIC SERVICE FROM EXISTING DEMARCATION POINTS.

PROPERTY OWNER: SCHOOL BOARD OF FAIRFAX COUNTY
3115 SATE HOUSE RD
FALLS CHURCH, VA 22042

APPLICANT: CLEARWIRE US, LLC
583 HENRISON PARKWAY
HENRISON, VA 20170

CONTACT: ENTREX COMMUNICATION SERVICES, INC.
MARC A. MARZELLO, P.E.
(703) 408-0960

LATITUDE: N 38° 52' 48.77"
LONGITUDE: W 77° 18' 51.844"

GROUND ELEVATION: 418.27' AULS

JURISDICTION: FAIRFAX COUNTY

DISTRICT: HUNTER HILL

PROPERTY INFO: PARCEL ID: 0335-01-0052

CURRENT ZONING: R-3 (RESIDENTIAL 3 DU/AC)

USE: SCHOOL / TELECOMMUNICATIONS SITE

APPROVALS

MILESTONE COMMUNICATIONS:

NAME _____ DATE _____

FAIRFAX COUNTY SCHOOL BOARD:

NAME _____ DATE _____

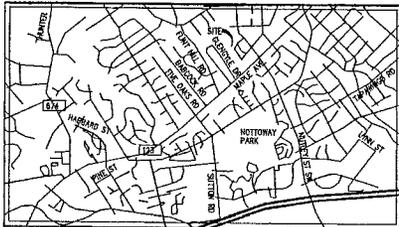
PROJECT NO: 1050.076
DESIGNER: M.A.
ENGINEER: M.M.

SCALE:
0 1/2 1
GRAPHIC SCALE IN INCHES

JAMES MADISON
HIGH SCHOOL
2500 JAMES MADISON DRIVE
VIENNA, VA 22181

TITLE:
TITLE SHEET

2232-H10-2
SHEET NUMBER:
T-1



VICINITY MAP
SCALE: 1" = 200'

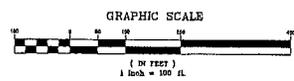
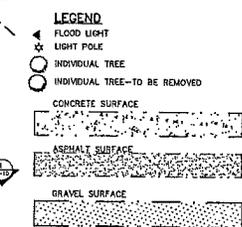
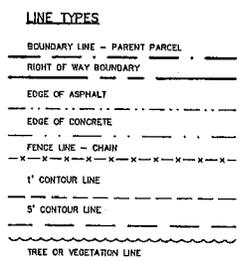
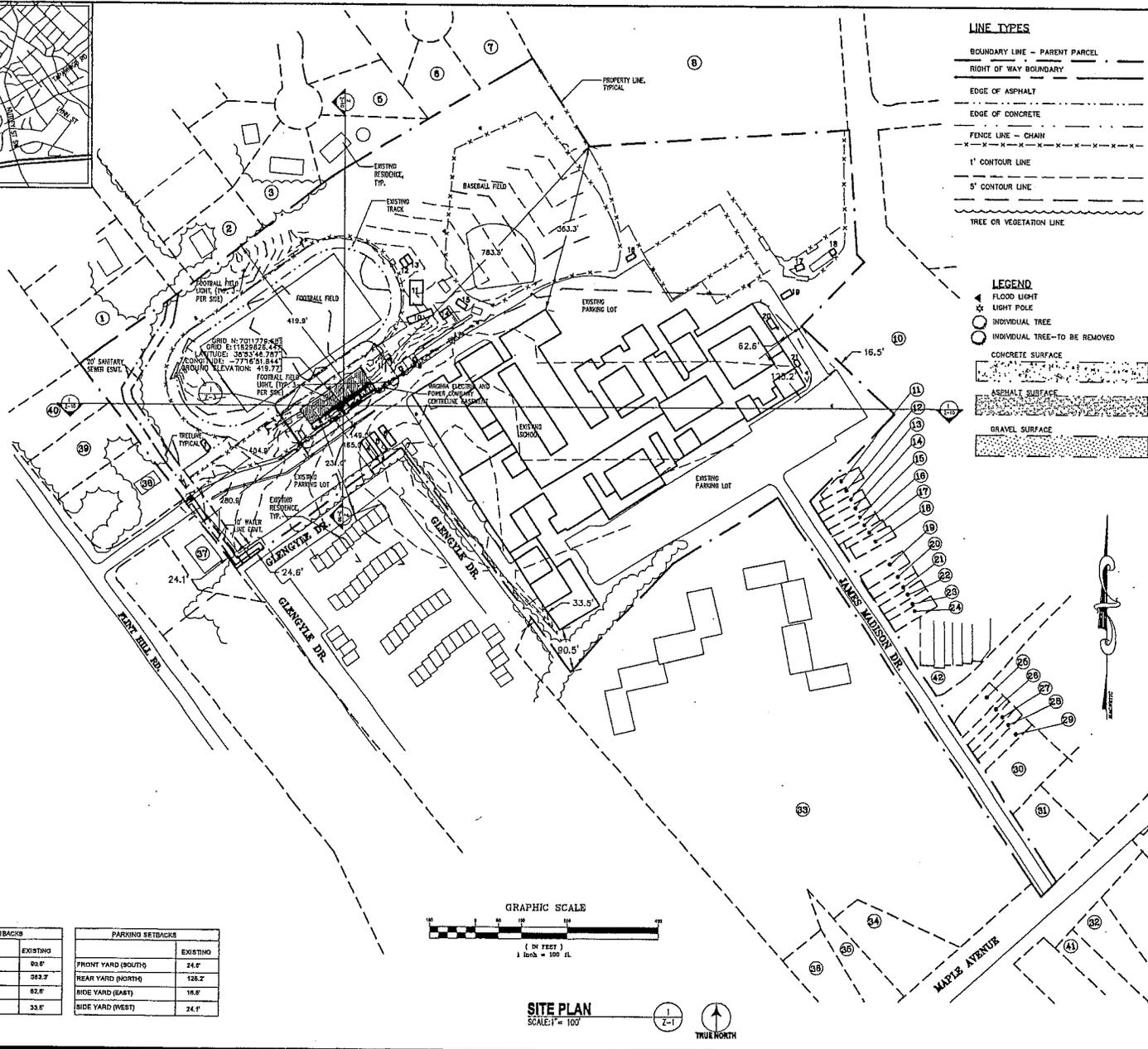
RITE PLAN NOTES:

- 1.) SITE NAME: MILESTONE-MADISON HIGH SCHOOL
- 2.) THIS IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR THE TRANSFER OF PROPERTY.
- 3.) THE PARENT PARCEL INFORMATION:
OWNER: SCHOOL BOARD OF FAIRFAX COUNTY
PREMISES ADDRESS: 2500 JAMES MADISON HIGHWAY
VIENNA, VA 22181
MAILING ADDRESS: 8115 GATE HOUSE ROAD
FALLS CHURCH, VA 2042
COUNTY: FAIRFAX COUNTY
PARCEL ID: 0381-01-0052
DISTRICT: HUNTER HILL
LAND AREA: 25,368.4 AC
LAND USE: EDUCATION
- 4.) THE DATUMS ARE NAD 83 AND NAD 83 AND THE BEARING BASE IS STATE GRID.
- 5.) NO UNDERGROUND UTILITIES HAVE BEEN LOCATED. THE PRESENCE OF ANY SUCH UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR BEFORE CONSTRUCTION.
- 6.) NO WETLANDS HAVE BEEN DEFINED AND ANY AREAS SHOWN AS MARSH PONDS OR DITCHES ARE DONE SO FROM VISIBLE SURFACE FEATURES AND IN NO WAY CONSTITUTE A DEFINED WETLAND.
- 7.) THE FLOOD ZONE OF THE PROPOSED MONOPOLE IS AS FOLLOWS: FLOOD ZONE C, AREA OF MINIMAL FLOODING (NO STANDING). FEMA FLOOD MAP FOR FAIRFAX COUNTY, VA, COMMUNITY PANEL NUMBER 31153 0002B, REVISED, FEBRUARY 3, 1982.
- 8.) NO TITLE REPORT WAS FURNISHED FOR THIS SURVEY.
- 9.) THE DATA COLLECTED AND SHOWN ON THIS DRAWING ARE FOR THE PURPOSES OF CONSTRUCTION OF A CELLULAR MONOPOLE. ANY NECESSARY ANCILLARY EQUIPMENT AND ALL APPROPRIATE EASEMENTS.
- 10.) NO UNRECORDED EASEMENTS ARE SHOWN ON THIS SURVEY AND IT IS POSSIBLE THAT SUCH EASEMENTS IMPACT THE SITE.
- 11.) THIS PROPERTY IS SUBJECT TO ALL MATTERS OF PUBLIC RECORD.
- 12.) THE LOCATION OF THE PROPOSED MONOPOLE IS AS FOLLOWS: THE VALUES LISTED BELOW ARE WITHIN ±50' HORIZONTAL AND ±20' VERTICAL.
LATITUDE: N 36° 53' 48.78"
LONGITUDE: W 77° 16' 51.84"
ELEVATION: 419.77' AMSL AT BASE

PROPOSED MONOPOLE SETBACKS	
PROPOSED	
FRONT YARD (SOUTH)	149.3'
REAR YARD (NORTH)	419.0'
SIDE YARD (EAST)	783.3'
SIDE YARD (WEST)	404.0'
CLOSEST OFF RITE BUILDING	231.0'
CLOSEST ROAD	185.0'

BUILDING SETBACKS	
	EXISTING
FRONT YARD (SOUTH)	92.0'
REAR YARD (NORTH)	363.3'
SIDE YARD (EAST)	62.6'
SIDE YARD (WEST)	33.6'

PARKING SETBACKS	
	EXISTING
FRONT YARD (SOUTH)	24.6'
REAR YARD (NORTH)	128.2'
SIDE YARD (EAST)	16.0'
SIDE YARD (WEST)	24.6'



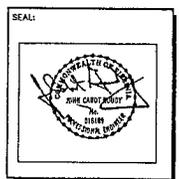
SITE PLAN
SCALE: 1" = 100'

entrex
communications services, inc.

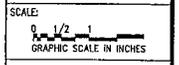
1875 Eye Street, N.W. Suite 390
WASHINGTON, D.C. 20008
PHONE: (202) 408-0888
FAX: (202) 408-0861

SUBMITTALS

DATE	DESCRIPTION	REV.
01-05-10	ZONING REVIEW	
03-16-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-15-10	POLE MODIFICATION	
08-12-10	POLE HEIGHT MODIFICATION	
09-15-10	COUNTY COMMENTS	



PROJECT NO: 1050.076
DESIGNER: M.A.
ENGINEER: M.M.



**JAMES MADISON
HIGH SCHOOL**
2500 JAMES MADISON DRIVE
VIENNA, VA 22181

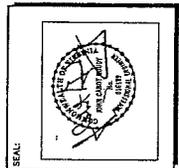
TITLE:
SITE PLAN

2232-H10-2
SHEET NUMBER:
Z-1

entrex
communication services, inc.

1875 Eye Street, N.W., Suite 310
Washington, D.C. 20008
Phone: (202) 462-4888
Fax: (202) 462-4885

DATE	DESCRIPTION	REV.
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PROJECT NO.: 1056.076
DESIGNER: N.A.
ENGINEER: N.A.
SCALE: 1/8" = 1'-0"
GRAPHIC SCALE IN INCHES

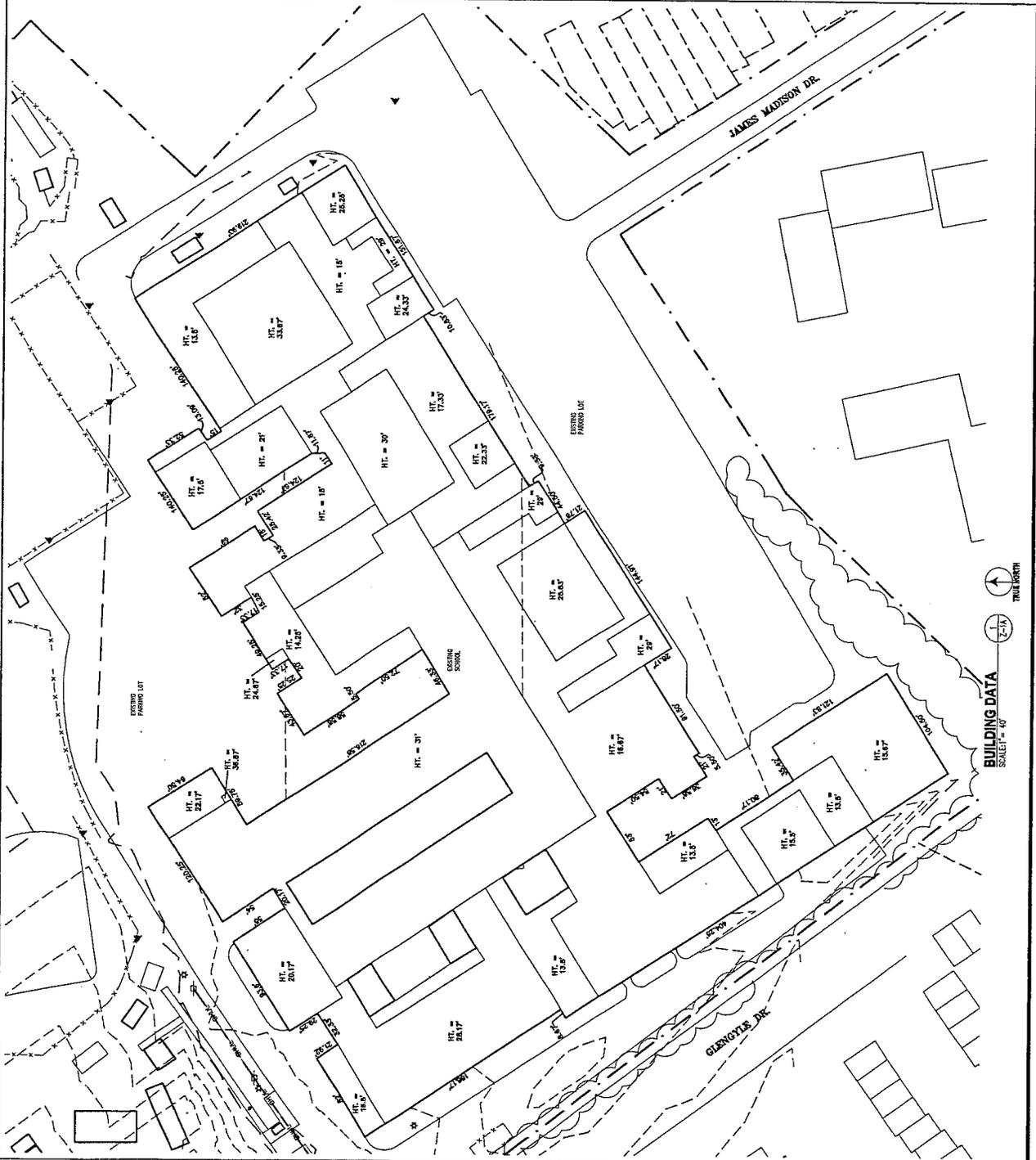
JAMES MADISON HIGH SCHOOL
2500 JAMES MADISON DRIVE
VIENNA, VA 22181

TITLE: BUILDING DATA

SHEET NUMBER: 222-110-2
Z-1A

BUILDING DATA

1. 11/27/02 J.MADISON
2. 12/17/02 J.MADISON
3. 1/15/03 J.MADISON
4. 1/15/03 J.MADISON
5. 1/15/03 J.MADISON
6. 1/15/03 J.MADISON
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19. 1/15/03 J.MADISON
20. 1/15/03 J.MADISON



BUILDING DATA
SHEET = 07

2-1A
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ADJOINER LIST

PARENT:
OWNERS: JAMES SCHOLG, BOARD OF FAIRFAX COUNTY,
MAILING ADDRESS: 8116 GATEHOUSE RD
FALLS CHURCH VA 22042
PROPERTY LOCATION: 2200 JAMES MADISON DR.
MAP #0383 01 0052
TAX DISTRICT: 0000
LAND USE: CODE: PUBLIC SCHOOLS
LAND AREA (ACREAGE): 25.3664
ZONING DESCRIPTION: R-3 (RESIDENTIAL 3 DU/AC)

1. OWNER: LARSON EMMONS O JR, AND MICHELLE L
MAILING ADDRESS: 2440 DAREY LA VIENNA VA 22181
BOOK: 02341 PAGE: 02346
PROPERTY LOCATION: 2400 CAREY LA
MAP #0383 28 0007
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 25,275
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

2. OWNER: SHOSTAK JAMES P, SHOSTAK SUSAN H
MAILING ADDRESS: 2441 CAREY LA VIENNA VA 22181
BOOK: 11852 PAGE: 11731
PROPERTY LOCATION: 2441 CAREY LA
MAP #0383 28 0008
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 17,183
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

3. OWNER: BUTCHER ORAL F
MAILING ADDRESS: 2400 OAK VALE CT NW
VIENNA VA 22181
BOOK: 00018 PAGE: 0017
ADDITIONAL OWNERS: NITA A
PROPERTY LOCATION: 2400 OAK VALE CT
MAP #0383 48 0008
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 20,677
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

4. OWNER: BRIEN ROBERT A JR,
MAILING ADDRESS: 2441 DAK VALE CT NW
VIENNA VA 22181
BOOK: 0000 PAGE: 0052
ADDITIONAL OWNERS: MARY M
PROPERTY LOCATION: 2441 DAK VALE CT
MAP #0383 48 0007
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 17,393
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

5. OWNER: HENRY NICHOLAS JR TR,
MAILING ADDRESS: 2409 OAK VALE CT NW VIENNA VA 22181
BOOK: 19800 PAGE: 1843
ADDITIONAL OWNERS: JULETA VALLS TR
PROPERTY LOCATION: 2409 OAK VALE CT
MAP # 0383 48 0008
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 21,800
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

6. OWNER: HANCOCK GEORGE F, HANCOCK WICKHO
MAILING ADDRESS: 22810 OAKVALE PT, DUKLES VA 20181
BOOK: 13230 PAGE: 0700
PROPERTY LOCATION: 212 VALEVIEW CT
MAP #0383 27 0007
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 17,531
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

7. OWNER: SCOTT FRANCIS C,
MAILING ADDRESS: 13 VAREMEW CT NW VIENNA VA 22180
BOOK: 17048 PAGE: 0900
ADDITIONAL OWNERS: JULIEN SCOTT JANICE K
PROPERTY LOCATION: 13 VAREMEW CT
MAP #0383 27 0008
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: PUBLIC SCHOOLS
LAND AREA (SQFT): 18,889
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

8. OWNER: SCHOOL BOARD OF FAIRFAX COUNTY,
MAILING ADDRESS: 8116 GATEHOUSE RD FALLS CHURCH VA 22042
PROPERTY LOCATION: 2200 NUTLEY ST NW
MAP #0383 01 0071
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: PUBLIC SCHOOLS
LAND AREA (SQFT): 155,720
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

9. OWNER: TOWN OF VIENNA THE
MAILING ADDRESS: 127 CENTER ST S VIENNA VA 22180
PROPERTY LOCATION: 247 NUTLEY ST NW
MAP #0383 01 0027
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: WATER PIPELINE ROW/PLANTS, STORAGE/ELECT.
LAND AREA (ACREAGE): 1.0702 AND AREA (SQFT)
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

10. OWNER: LOOSE ELKS OF THE WORLD, NO 529 JAMES H HAYES
MAILING ADDRESS: 2228 SAYRE RD FAIRFAX VA 22031
BOOK: 11859 PAGE: 1215
PROPERTY LOCATION: 2228 COMMONS DR NW
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

11. OWNER: COTLOW DANIEL S, COTLOW MARIA C S
MAILING ADDRESS: 2230 COMMONS DR NW VIENNA VA 22180
BOOK: 00043 PAGE: 0018
PROPERTY LOCATION: 2230 COMMONS DR
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,853
ZONING DESCRIPTION: R-3 (RESIDENTIAL 2 DU/AC)

12. OWNER: RENDROP EVELYN A,
MAILING ADDRESS: 2234 COMMONS DR NW VIENNA VA 22180
BOOK: 2408 PAGE: 0581
PROPERTY LOCATION: 2234 COMMONS DR MAP #0383 30 0037
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

13. OWNER: PELASARA JANET LYNN,
MAILING ADDRESS: 2234 COMMONS DR NW VIENNA VA 22180
BOOK: 2242 PAGE: 0189
PROPERTY LOCATION: 2234 COMMONS DR
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

14. OWNER: TRINTAFOSTIS NICHOLAS P, TRINTAFOSTIS DIANE F
MAILING ADDRESS: 1128 RIDERS LA RESTON VA 20191
BOOK: 0000 PAGE: 0004
PROPERTY LOCATION: 1214 COMMONS DR NW
MAP #0383 30 0039
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

15. OWNER: ROBLES CARLOS,
MAILING ADDRESS: 2232 COMMONS DR NW VIENNA VA 22180
BOOK: 00284 PAGE: 0127
PROPERTY LOCATION: 242 COMMONS DR
MAP #0383 30 0039
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,100
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

16. OWNER: GRAY DONNA H TR,
MAILING ADDRESS: 2240 COMMONS DR NW VIENNA VA 22180
BOOK: 1784 PAGE: 0257
ADDITIONAL OWNERS
GRAY SHANNON L TRUSAY DONNA H TRUST
PROPERTY LOCATION: 2240 COMMONS DR
MAP #0383 30 0037
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

17. OWNER: GUPTA ASHWINI,
MAILING ADDRESS: 2248 WINDOVER AVE VIENNA VA 22180
BOOK: 0248 PAGE: 0442
PROPERTY LOCATION: 2238 COMMONS DR
MAP #0383 30 0032
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (ACREAGE): LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

18. OWNER: LAYEZZO RUS C HENRY OF,
MAILING ADDRESS: 2228 SAYRE RD FAIRFAX VA 22031
BOOK: 11859 PAGE: 1215
PROPERTY LOCATION: 2238 COMMONS DR NW
MAP #0383 30 0033
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,033
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

19. OWNER: STEEL ALBERT M,
MAILING ADDRESS: 2230 COMMONS DR NW VIENNA VA 22180
BOOK: 00772 PAGE: 0215
PROPERTY LOCATION: 2230 COMMONS DR
MAP #0383 30 0034
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,145
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

20. OWNER: LAYEZZO RUS C HENRY OF,
MAILING ADDRESS: 2228 SAYRE RD FAIRFAX VA 22031
BOOK: 11859 PAGE: 1215
PROPERTY LOCATION: 2238 COMMONS DR NW
MAP #0383 30 0033
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,033
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

21. OWNER: KETTER CHARLENE C,
MAILING ADDRESS: 2228 COMMONS DR NW VIENNA VA 22180
BOOK: 00043 PAGE: 0018
PROPERTY LOCATION: 2228 COMMONS DR
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

22. OWNER: LEE YU HANG M,
MAILING ADDRESS: 2234 COMMONS DR NW VIENNA VA 22180
BOOK: 1180 PAGE: 1183
PROPERTY LOCATION: 2234 COMMONS DR MAP #0383 30 0037
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (ACREAGE): LAND AREA (SQFT): 12,000
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

23. OWNER: PALLADINO WILLIAM J,
MAILING ADDRESS: 2232 COMMONS DR NW VIENNA VA 22180
BOOK: 00058 PAGE: 0121
PROPERTY LOCATION: 2232 COMMONS DR
MAP #0383 30 0032
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,100
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

24. OWNER: BANDO JORDAN MARILYN,
MAILING ADDRESS: 2230 COMMONS DR NW VIENNA VA 22180
BOOK: 10578 PAGE: 0208
PROPERTY LOCATION: 2230 COMMONS DR
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,193
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

25. OWNER: STANISZEWSKI STEVEN C,
MAILING ADDRESS: 2230 WINDOVER AV NW VIENNA VA 22180
BOOK: 11533 PAGE: 1172
PROPERTY LOCATION: 2230 WINDOVER AV NW
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,954
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

26. OWNER: WENGER DEAN T AND,
MAILING ADDRESS: 2248 WINDOVER AV NW VIENNA VA 22180
BOOK: 00017 PAGE: 0118
ADDITIONAL OWNERS: CAROL A HORLES
PROPERTY LOCATION: 2248 WINDOVER AV
MAP #0383 30 0057
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,640
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

27. OWNER: CARESTER GLENN D,
MAILING ADDRESS: 2234 WINDOVER AV NW VIENNA VA 22180
BOOK: 00217 PAGE: 02813
PROPERTY LOCATION: 2234 WINDOVER AV
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,725
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

28. OWNER: WALLEN LINDA J,
MAILING ADDRESS: 2248 WINDOVER AV NW VIENNA VA 22180
BOOK: 00017 PAGE: 0118
PROPERTY LOCATION: 2234 WINDOVER AV
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,650
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

29. OWNER: GUPTA VIENNA,
MAILING ADDRESS: 2248 WINDOVER AV VIENNA VA 22180
BOOK: 00017 PAGE: 0118
PROPERTY LOCATION: 2234 WINDOVER AV NW
MAP #0383 30 0038
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA
LAND USE: CODE: TOWNHOUSE IN OWNERSHIP DEVELOPMENT
LAND AREA (SQFT): 12,740
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

30. OWNER: VILLAGE GREEN OWNERS, ASSN INC,
MAILING ADDRESS: ARAMTORG ASSOCIATES 2567 CHAN BRIDGE RD
VIENNA VA 22180
BOOK: 00016 PAGE: 0032
PROPERTY LOCATION
MAP #0383 38 E
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA TRANSPORT
LAND USE: CODE: PRIVATE OPEN SPACE (PLANNED DEVELOPMENT)
LAND AREA (ACREAGE): LAND AREA (SQFT): 279
ZONING DESCRIPTION: R-3 (LOCAL COMMERCIAL)

31. OWNER: BAKER NANCY NEVESAER TR,
MAILING ADDRESS: 2000 BOX 4289
PROPERTY LOCATION: 13946 HOUSTON TX 77210 4568
BOOK: 00019 PAGE: 0020
ADDITIONAL OWNERS: NEVESAER MICHAEL CHARLES TR
PROPERTY LOCATION: 345 MAPLE AVE
MAP #0383 02 0138
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TOWN OF VIENNA TRANSPORT
LAND USE: CODE: GASOLINE AND SERVICE STATION
LAND AREA (ACREAGE): LAND AREA (SQFT): 508
ZONING DESCRIPTION: R-3 (LOCAL COMMERCIAL)

32. OWNER: BERRY JOSEPH C JR AND, DALLAS O BERRY TR
MAILING ADDRESS: 2531 CHAN BRIDGE RD VIENNA VA 22181
BOOK: 00051 PAGE: 0149
PROPERTY LOCATION: 2531 CHAN BRIDGE RD
MAP #0383 01 0044
TAX DISTRICT: 0000
DISTRICT NAME: IMPROVEMENT TRANSPORTATION
LAND USE: CODE: LOW RISE OFFICE - 4 STORES
LAND AREA (ACREAGE): LAND AREA (SQFT): 7,715
ZONING DESCRIPTION: R-3 (INDUSTRIAL RETAIL)

33. OWNER: GRIFF ASSOCIATES LLC,
MAILING ADDRESS: 2000 TOWER DKS BY BTH FLOOR C/O LERNER
PROPERTY LOCATION: 1100 WOODS RD 2085
MAP #0383 10 0058
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: GARDEN APARTMENTS RENTAL (4-4 STORY)
LAND AREA (ACREAGE): LAND AREA (SQFT)
ZONING DESCRIPTION: R-3 (RESIDENTIAL 30 DU/AC)

34. OWNER: FANNIN ROBERT A TR,
MAILING ADDRESS: 10 BOX 101 GREAT FALLS VA 22068
BOOK: 00018 PAGE: 0024
PROPERTY LOCATION: 2576 CHAN BRIDGE RD
MAP #0383 01 0048
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND AREA (ACREAGE): LAND AREA (SQFT): 1,107
ZONING DESCRIPTION: R-3 (RESIDENTIAL 30 DU/AC)

35. OWNER: SAMHRI KULHRODER S, AND KALDIP K,
MAILING ADDRESS: 2312 CROWAY ST NW WASHINGTON DC 20016
BOOK: 00010 PAGE: 0082
PROPERTY LOCATION: 2578 CHAN BRIDGE RD
MAP #0383 01 0048
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TRANSPORTATION
LAND USE: CODE: PRIVATE SCHOOLS LAND AREA (ACREAGE)
LAND AREA (SQFT): 1,054
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

36. OWNER: SANDHU KULHRODER S, AND KALDIP K,
MAILING ADDRESS: 2312 CROWAY ST NW WASHINGTON DC 20016
BOOK: 00010 PAGE: 0082
PROPERTY LOCATION: 2580 CHAN BRIDGE RD
MAP #0383 01 0050
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL TRANSPORTATION
LAND USE: CODE: PRIVATE SCHOOLS HP COM/IND
LAND AREA (ACREAGE): LAND AREA (SQFT): 1,083
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

37. OWNER: ORELLANA VICTOR H, AND LINDA A
MAILING ADDRESS: 2373 SUNRISE RD VIENNA VA 22181
BOOK: 00018 PAGE: 0158
PROPERTY LOCATION: 2374 SUNRISE RD
MAP #0383 01 0011
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 1,908
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

38. OWNER: FAIRE ROBERT J, FAIRE REGINA M
MAILING ADDRESS: 20734 SUNRISE RD VIENNA VA 22181
BOOK: 11169 PAGE: 1158
PROPERTY LOCATION: 20734 SUNRISE RD
MAP #0383 01 0010
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (SQFT): 2,014
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

39. OWNER: JEFFRES ANN,
MAILING ADDRESS: 2459 FLINT HILL RD VIENNA VA 22181
BOOK: 00000 PAGE: 0000
PROPERTY LOCATION: 2459 FLINT HILL RD
MAP #0383 05 0208
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (ACREAGE): LAND AREA (SQFT): 25,279
ZONING DESCRIPTION: R-3 (LOCAL COMMERCIAL)

40. OWNER: BILLYCK WILLIAM T,
MAILING ADDRESS: 2459 FLINT HILL RD VIENNA VA 22181
BOOK: 00000 PAGE: 0000
PROPERTY LOCATION: 2459 FLINT HILL RD
MAP #0383 05 0208
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: SINGLE-FAMILY, DETACHED
LAND AREA (ACREAGE): LAND AREA (SQFT): 25,287
ZONING DESCRIPTION: R-3 (RESIDENTIAL 1 DU/AC)

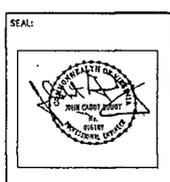
41. OWNER: VIENNA PROFESSIONAL BUILDING LLC,
MAILING ADDRESS: 2535 CHAN BRIDGE RD VIENNA VA 22181
BOOK: 1352 PAGE: 1184
PROPERTY LOCATION: 2535 CHAN BRIDGE RD
MAP #0383 01 0048
TAX DISTRICT: 0000
DISTRICT NAME: IMPROVEMENT TRANSPORTATION
LAND USE: CODE: COMMERCIAL/DENTAL LOW RISE (<= 4 STORES)
LAND AREA (ACREAGE): LAND AREA (SQFT): 4,553
ZONING DESCRIPTION: R-3 (INDUSTRIAL RETAIL)

42. OWNER: SCHOOL BOARD OF FAIRFAX COUNTY,
MAILING ADDRESS: 8116 GATEHOUSE RD FALLS CHURCH VA 22042
PROPERTY LOCATION: 2200 JAMES MADISON DR
MAP #0383 01 0052
TAX DISTRICT: 0000
DISTRICT NAME: HUNTER HILL
LAND USE: CODE: PUBLIC SCHOOLS
LAND AREA (ACREAGE): 25.3664
LAND AREA (SQFT)
ZONING DESCRIPTION: R-3 (RESIDENTIAL 3 DU/AC)



1876 Eye Street, N.W. Gdtn 380
WASHINGTON, D.C. 20008
PHONE: (202) 408-0360
FAX: (202) 408-0361

SUBMITTALS		
DATE	DESCRIPTION	REV.
01-05-10	ZONING REVIEW	
03-18-10	COUNTY COMMENTS	
04-29-10	COUNTY COMMENTS	
07-16-10	FILE MODIFICATION	
08-10-10	FILE MODIFICATION	
08-15-10	COUNTY COMMENTS	



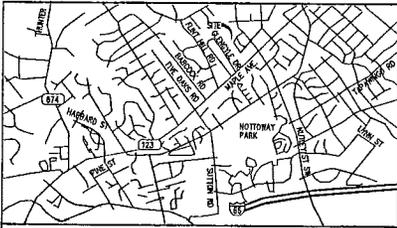
PROJECT NO: 1050.076
DESIGNER: M.A.
ENGINEER: M.M.

SCALE:
0 1/2 1
GRAPHIC SCALE IN INCHES

JAMES MADISON
HIGH SCHOOL
2500 JAMES MADISON DRIVE
VIENNA, VA 22181

TITLE:
PROPERTY INFORMATION

2232-410-2
SHEET NUMBER:
Z-2



VICINITY MAP
SCALE: 1" = 2000'



AREA TABULATION

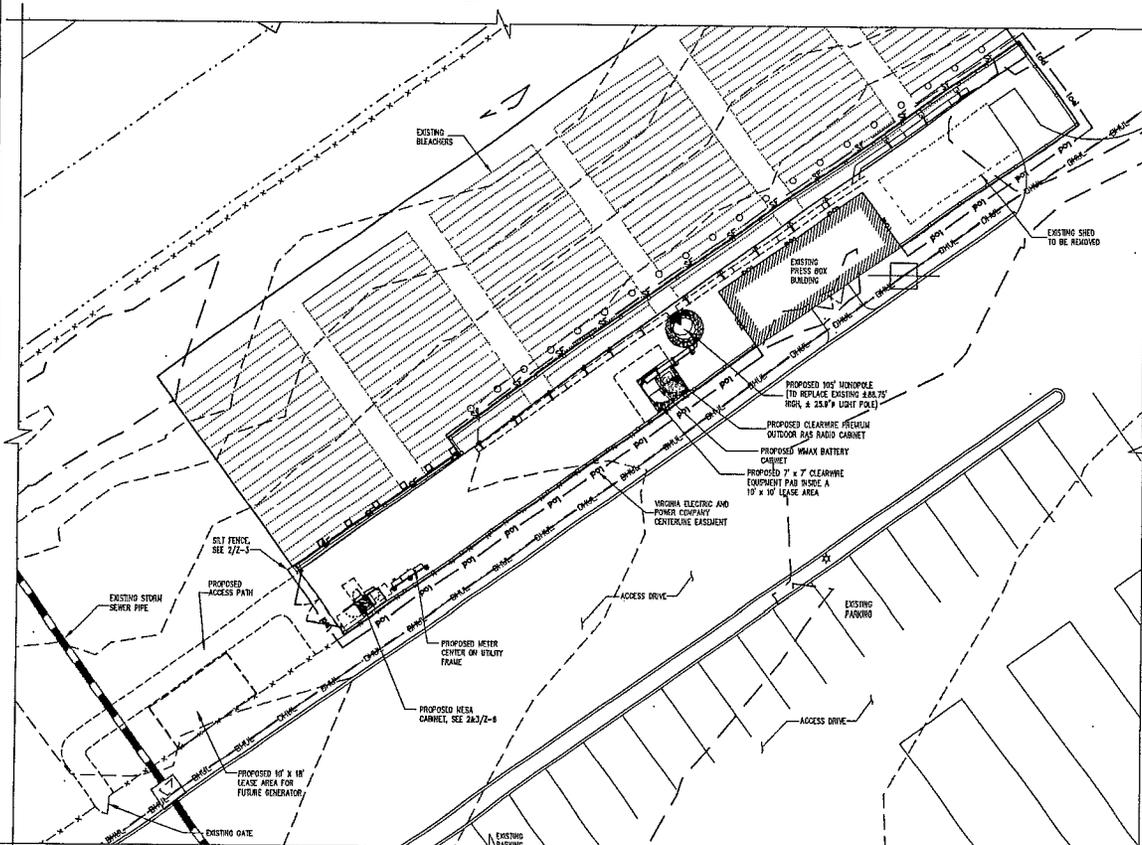
SITE AREA:	25.3864 AC
LEASE AREA:	2,789 SF (0.06 AC)
DISTURBED AREA:	3,171 SF (0.07 AC)

LEGEND

- ◀ FLOOD LIGHT
- ✱ LIGHT POLE
- INDIVIDUAL TREE
- CONCRETE SURFACE
- ASPHALT SURFACE
- GRAVEL SURFACE
- SCE STABILIZED CONSTRUCTION ENTRANCE

LINE TYPES

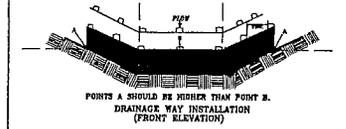
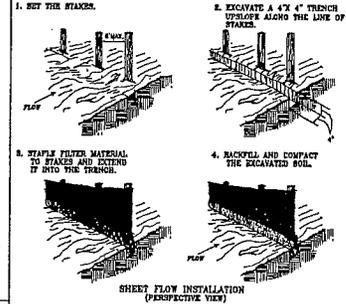
- BOUNDARY LINE - PARENT PARCEL
- RIGHT OF WAY BOUNDARY
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE LINE - CHAIN
- 1' CONTOUR LINE
- 5' CONTOUR LINE
- LIMITS OF DISTURBANCE
- SILT FENCE
- TREE OR VEGETATION LINE



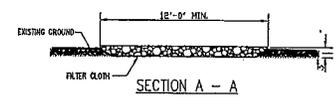
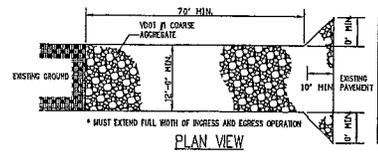
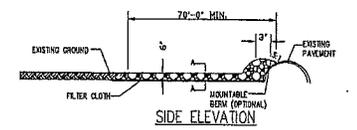
PARTIAL SITE PLAN
SCALE: 1" = 10'



CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SILT FENCE
SCALE: N.T.S.



STONE CONSTRUCTION ENTRANCE
SCALE: N.T.S.



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communication services, inc.
1675 Eye Street, N.W., Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0999
FAX: (202)408-0981

SUBMITTALS

DATE	DESCRIPTION	REV.
01-05-10	ZONING REVIEW	
03-16-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-16-10	POLE MODIFICATION	
08-12-10	POLE HEIGHT MODIFICATION	
08-15-10	COUNTY COMMENTS	

SEAL:

Milestone
COMMUNICATIONS

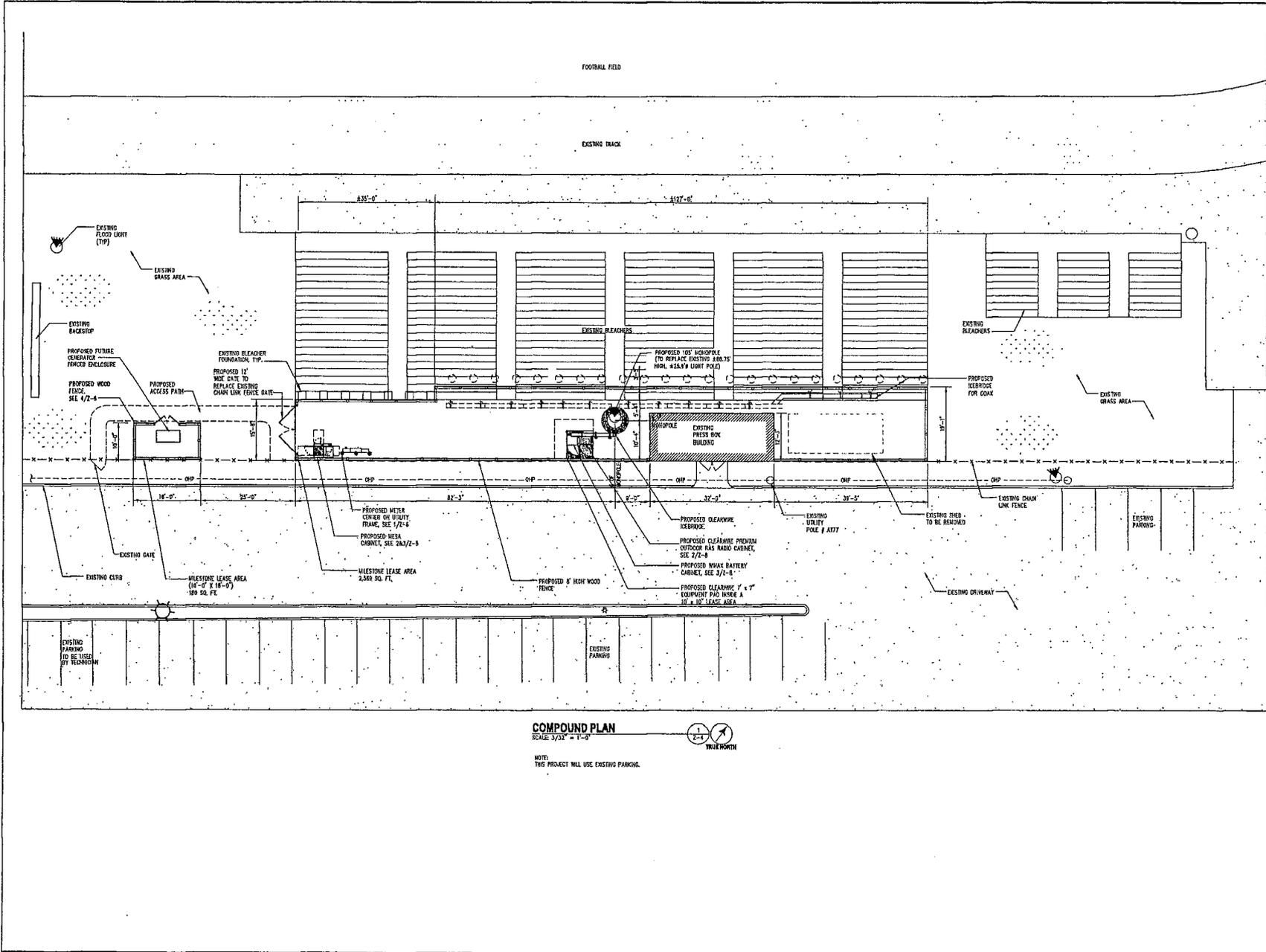
PROJECT NO: 1050.076
DESIGNER: P.S.
ENGINEER: M.M.

SCALE:
0 1/2 1
GRAPHIC SCALE IN INCHES

**JAMES MADISON
HIGH SCHOOL**
2500 JAMES MADISON DRIVE
VIENNA, VA 22181

TITLE:
**PARTIAL
SITE PLAN**

2232-H10-2
SHEET NUMBER:
Z-3



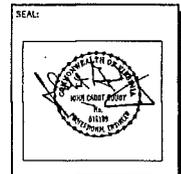
COMPOUND PLAN
 SCALE: 3/32" = 1'-0"
 TRUE NORTH

NOTE:
 THIS PROJECT WILL USE EXISTING PARKING.

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 PHONE: (202)408-6199
 FAX: (202)408-0861

SUBMITTALS

DATE	DESCRIPTION	REV.
01-05-10	ZONING REVIEW	
02-16-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-16-10	POLE MODIFICATION	
08-12-10	POLE HEIGHT MODIFICATION	
08-15-10	COUNTY COMMENTS	



PROJECT NO: 1050.076
 DESIGNER: M.A.
 ENGINEER: M.A.M.

SCALE:

 GRAPHIC SCALE IN INCHES

**JAMES MADISON
 HIGH SCHOOL**
 2500 JAMES MADISON DRIVE
 VIENNA, VA 22161

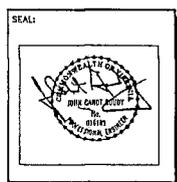
TITLE:
**COMPOUND
 PLAN**

2232-H10-2
 SHEET NUMBER:
Z-4



1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0360
FAX: (202)408-0951

SUBMITTALS		
DATE	DESCRIPTION	REV.
01-05-10	ZONING REVIEW	
03-16-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-16-10	POLE MODIFICATION	
08-16-10	POLE HEIGHT MODIFICATION	
08-16-10	COUNTY COMMENTS	



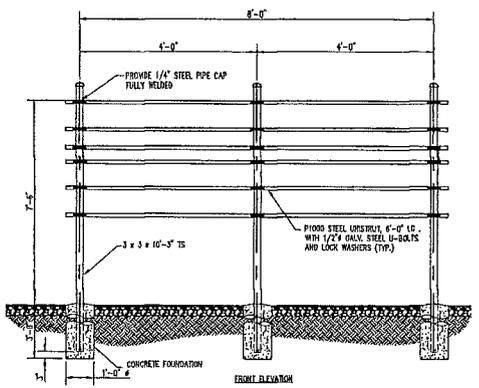

PROJECT NO: 1050.078
DESIGNER: R.K.
ENGINEER: M.M.

SCALE: 1/2" = 1'
GRAPHIC SCALE IN INCHES

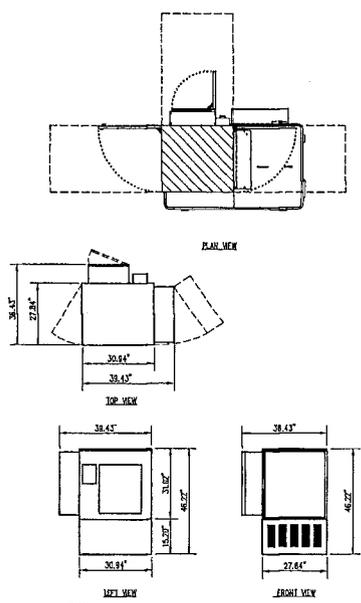
JAMES MADISON
HIGH SCHOOL
2500 JAMES MADISON DRIVE
VIENNA, VA 22181

TITLE:
**SITE
DETAILS**

2232-110-2
SHEET NUMBER:
Z-6

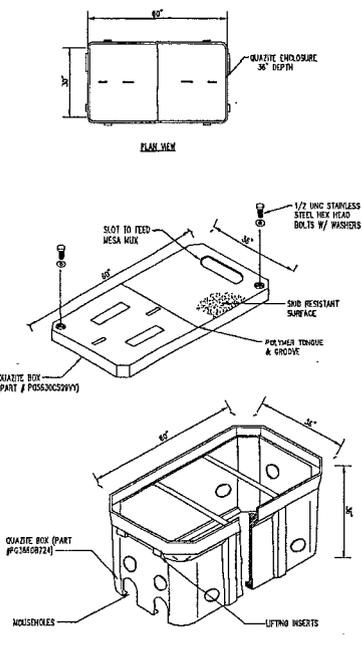


ELECTRICAL SERVICE FRAME
SCALE: 1/2" = 1'-0"

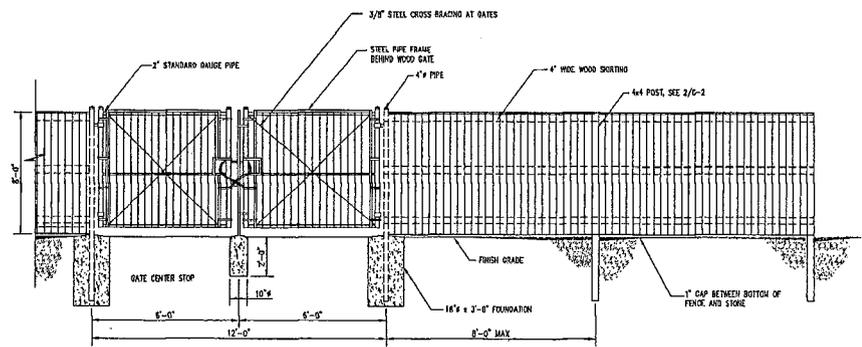


MESA SPAN XL TELCO CABINET DETAILS
SCALE: 1/2" = 1'-0"

- NOTES:
1. PROVIDE 3" GRAVEL IN BOTTOM OF QUARTZITE VAULT AND #2 REINFD GROUND TO MESA CABINET.
 2. CONTRACTOR SHALL HOOK UP AND TOWER UP MESA CABINET AND GROUND BIRD TO IT, AND NOTIFY CONSTRUCTION MANAGER WHEN DONE.
 3. CONTRACTOR SHALL INSTALL 30AMP CIRCUIT DISCONNECT @

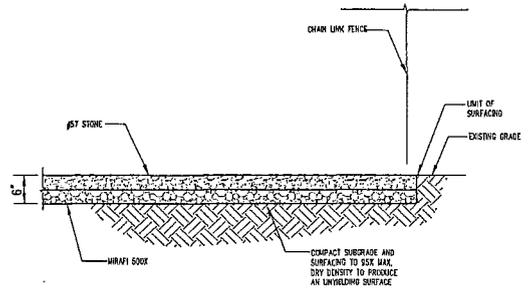


HANDHOLD QUARTZITE BOX
SCALE: 1/2" = 1'-0"



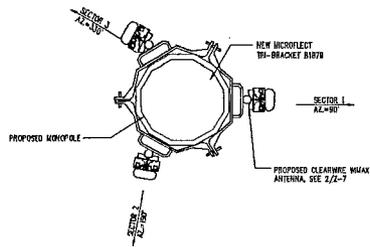
WOOD FENCE AND GATE DETAIL
SCALE: 3/8" = 1'-0"

1. ALL LUMBER SHALL BE PRESURE TREATED
2. PROVIDE LOCKING HARDWARE AND DOOR STOPS TO SECURE GATE IN OPEN POSITION.



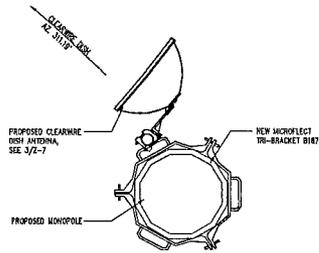
NOTE:
UTILITY AREA SHALL BE CLEANED AND GROOMED. REMOVE UNDESIRABLE LOGS OR SOFT SOIL, ORGANIC MATERIAL OR RUBBLE TO FINISH GRADE. FULL UNDEVELOP AND COMPACT UP TO 6" BELOW FINISH GRADE. PLACE A WRAPIER SOIL STABILIZATION FABRIC ON SUBGRADE. FILL WITH 6" OF AGGREGATE TO FINISH GRADE.

COMPOUND SURFACING DETAIL
SCALE: 1" = 1'-0"



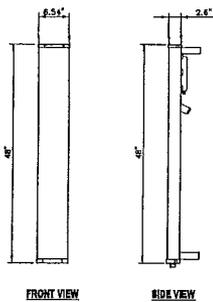
CONTRACTOR TO VERIFY THE DIAMETER OF THE MONOPOLE PRIOR TO ORDERING THE MOUNT

ANTENNA LAYOUT PLAN AT EL. 97'-0"
SCALE 3/4"=1'-0"



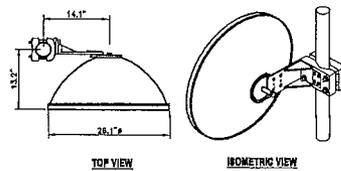
CONTRACTOR TO VERIFY THE DIAMETER OF THE MONOPOLE PRIOR TO ORDERING THE MOUNT

ANTENNA LAYOUT PLAN AT EL. 105'-0"
SCALE 3/4"=1'-0"



ANTENNA MODEL
KIM
AN-3-92-17-69-001

ANTENNA DETAIL
SCALE 1"=1'-0"



ANTENNA MODEL
ANDREW
WMP-23 (16.1")

ANTENNA DETAIL
SCALE 1"=1'-0"



ANTENNA AND COAXIAL CABLE SCHEDULE										
SECTOR	ANTENNA	MECHANICAL DOWN-TILT	ELECTRICAL DOWN-TILT	ARMOUTH	ANTENNA E HEIGHT	CABLE LENGTH	COAXIAL CABLE	CABLE COLOR CODE	TECHNOLOGY	COLOR CODE
1	KIM-K-DISH-AUXMM785007 (48" H x 6.54" W x 2.6" D)	0°	2°	90°	97'-0"	115'	RS 1.5/8"	1 P	Y / B	Tx/Rx
							RS 1.5/8"	1 O	Y / B	Tx/Rx
2	KIM-K-DISH-AUXMM785007 (48" H x 6.54" W x 2.6" D)	0°	2°	190°	97'-0"	115'	RS 1.5/8"	2 P	Y / B	Tx/Rx
							RS 1.5/8"	2 O	Y / B	Tx/Rx
3	KIM-K-DISH-AUXMM785007 (48" H x 6.54" W x 2.6" D)	0°	2°	330°	97'-0"	115'	RS 1.5/8"	3 P	Y / B	Tx/Rx
							RS 1.5/8"	3 O	Y / B	Tx/Rx

DISH ANTENNA AND CABLE SCHEDULE							
ANTENNA MARK	ANTENNA	ARMOUTH	ANTENNA E HEIGHT	CABLE LENGTH	CABLE	FRQ. BAND	CABLE COLOR CODE
#1	ANDREW WMP-23	311.8'	101'-0"	115'	(1) 1/4"-600	23 GHz	GREY

NOTES:

- ALL ANTENNAS SHALL BE FURNISHED WITH DOWN-TILT BRACKETS. CONTRACTOR SHALL COORDINATE REQUIRED MECHANICAL DOWN-TILT FOR EACH ANTENNA WITH RF ENGINEER. ANTENNA DOWN-TILT SHALL BE SET AND VERIFIED BY A SKAFF LEVEL.
- ANTENNA CENTRALIZE HEIGHT IS IN REFERENCE TO ELEVATION 04.0'.
- DISTAL RS 1/2" ANTENNA CONTROL CABLE FROM SPIRIT TILLO CABLE TO COAX ANTENNA SECTOR 1, FROM COAX ANTENNA SECTOR 1 TO COAX ANTENNA SECTOR 2, FROM COAX ANTENNA SECTOR 2 TO COAX ANTENNA SECTOR 3.
- CONTRACTOR SHALL INSTALL COLOR CODE RINGS ON EACH END OF COAXIAL CABLES AND JUMPER CABLES WITH UV RESISTANT TAPE. ALL CABLES SHALL BE MARKED AT THE TOP AND BOTTOM WITH 2" COLOR TAPE OR STENCIL TAG. COLOR TAPE MAY BE OBTAINED FROM GAYMAR ELECTRONIC. THE FIRST RING IS THE CLOSEST TO THE END OF THE CABLE. WRAP 2" COLORED TAPE A MINIMUM OF 3 TIMES AROUND THE CIRCUMFERENCE OF THE COAX, KEEPING THE TAPE IN THE SAME AREA AS MUCH AS POSSIBLE. THIS WILL ALLOW THE REMOVAL OF TAPE THAT WILL FADE OR DISCOLOR DUE TO WEATHER.
- FINAL COAXIAL CABLE LENGTH SHALL BE DETERMINED AFTER FIELD SWEEP TEST.

COLOR CODE	DESCRIPTION
Y	WHITE
B	BROWN
G	GREEN
R	RED
P	PURPLE
O	ORANGE

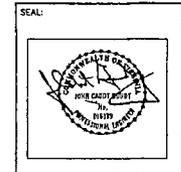
STRUCTURAL NOTES

- DESIGN REQUIREMENTS PER 2008 IRC WITH CROSS REFERENCE TO THE ASCE 7-02 STANDARD. THE BASIC WIND SPEED UTILIZED FOR THIS DESIGN IS 90 MPH (5 SECOND DUST).
- INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED BY FIELD MEASUREMENT. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK.
- STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC SPECIFICATIONS FOR STRUCTURAL STEEL. BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN INCLUDING THE COMMENTARY AND THE AISC CODE OF STANDARD PRACTICE.
- STRUCTURAL STEEL PLATES AND SHAPES SHALL CONFORM TO ASTM A58. ALL STRUCTURAL STEEL PIPES SHALL CONFORM TO ASTM A53. GRADE B. ALL STRUCTURAL STEEL BEAMS SHALL CONFORM TO ASTM A500. GRADE B. ALL STRUCTURAL STEEL COMPONENTS AND FABRICATED ASSEMBLIES SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.
- WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D11.1-00. STRUCTURAL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX.
- ALL THREADED STRUCTURAL FASTENERS FOR ANTENNA SUPPORT ASSEMBLIES SHALL CONFORM TO ASTM A307 OR ASTM A36. ALL STRUCTURAL FASTENERS FOR STRUCTURAL STEEL FRAMING SHALL CONFORM TO ASTM A325. FASTENERS SHALL BE 5/8" HIGH W/4" DIAMETER BEARING PIPE CONNECTORS WITH THREADED COLLARS IN THE SHEAR PLANE. ALL EXPOSED FASTENERS, NUTS AND WASHERS SHALL BE GALVANIZED UNLESS OTHERWISE NOTED. CONCRETE EXPANSION ANCHORS SHALL BE MULTI KIM BOLTS UNLESS OTHERWISE NOTED. ALL ANCHORS INTO CONCRETE SHALL BE STAINLESS STEEL.
- ALL COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE AS SPECIFIED BY THE OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL FURNISH ALL CONNECTION HARDWARE REQUIRED TO SECURE THE CABLES. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
- NORTH ARROW SHOWN ON PLANS REFERS TO TRUE NORTH. CONTRACTOR SHALL VERIFY NORTH AND INFORM ARCHITECT/ENGINEER OF ANY DISCREPANCY BEFORE STARTING CONSTRUCTION.
- ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 318 AND ACI 301, AND SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI (20.7 MPa). CONCRETE SHALL BE PLACED AGAINST UNOBTAINED SOIL UNLESS OTHERWISE NOTED. MANHOLE CONCRETE COVER FOR REINFORCING STEEL SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
- CONCRETE SHALL BE 4 TO 8X AIR ENTRAINED.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BILLET STEEL BARS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- SHELTER AREA SHALL BE CLEARED AND CRUSHED. REMOVE UNSUITABLE LOOSE OR SOFT SOIL. ORGANIC MATERIAL OR RUBBLE. TO FIRM SUBGRADE. FILL UNDER DIRT AND COMPACT UP TO 10" BELOW FINISH GRADE. PLACE A HEAVY SOIL SOIL STABILIZATION FABRIC ON SUBGRADE. FILL WITH 6" OF A8H10 ST STONE TO UNDERLIE BY CONCRETE SLAB.
- WHERE FILL IS REQUIRED, FILL IN LAYERS WHICH DO NOT EXCEED 6" BEFORE COMPACTING. SPREAD LAYER UNOBTAIN AND LEVEL SLAB IN EACH LAYER TO DESIRED SURFACE. FILL MATERIAL SHALL NOT CONTAIN MATERIAL MORE THAN 3" IN DIAMETER. CONTACT EACH LAYER NOT LESS THAN 85% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 MODIFIED PROCTOR TEST OR (ASTM D698 STANDARD PROCTOR TEST). USE FILL MATERIAL WITH MOISTURE CONTENT AS REQUIRED TO ATTAIN THE SPECIFIED DENSITY OF COMPACTOR. CONTACT USHO MULTIPLE WHEEL. PNEUMATIC TIRE. TROLLER, VIBRATORY ROLLER, OR STEPS FOOT ROLLER.

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WASHINGTON, D.C. 20008
PHONE: (202)468-0800
FAX: (202)468-0981

SUBMITTALS		
DATE	DESCRIPTION	REV.
01-18-10	ISSUE REVIEW	
03-18-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-18-10	POLE MODIFICATION	
08-12-10	POLE HEIGHT MODIFICATION	
09-15-10	COUNTY COMMENTS	



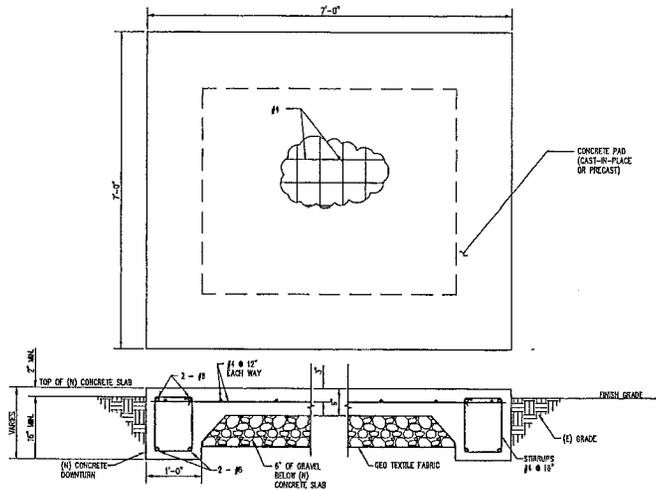
PROJECT NO: 1050.076
DESIGNER: M.A.
ENGINEER: M.M.

SCALE:
0 1/2 1
GRAPHIC SCALE IN INCHES

JAMES MADISON
HIGH SCHOOL
2600 JAMES MADISON DRIVE
VIENNA, VA 22181

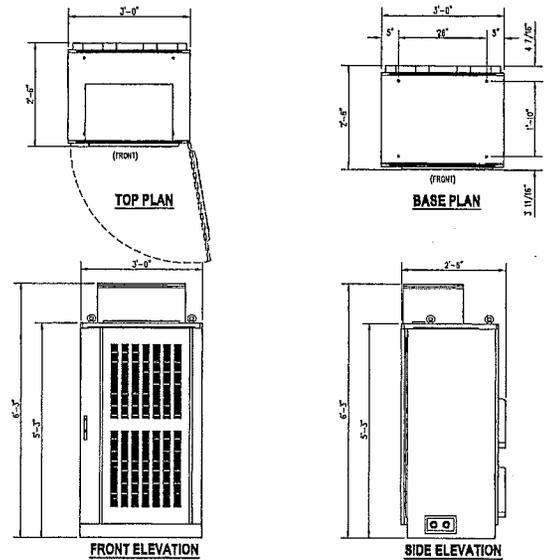
TITLE:
**CLEARWIRE
ANTENNAS AND
MOUNTING
DETAILS**
2232-H10-2

SHEET NUMBER:
Z-7

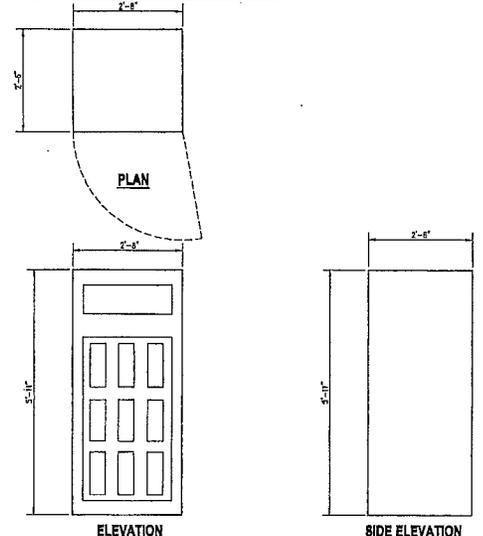


STRUCTURAL CONCRETE NOTES:
 UNDERCUT AND REMOVE EXISTING SOIL UNDER EQUIPMENT PAD LOCATION, IF UNSUITABLE SOILS ARE ENCOUNTERED DEPTH 2' OF SOILS, REMOVE SOILS AS REQUIRED AND REPLACE WITH GRAVEL. COMPACT GRAVEL IN 6" MAX. LIFTS TO 95% MAX. DRY DENSITY.
 ALL CAST IN PLACE CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 308 AND AASHTO, AND SHALL HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 psi (MIN). CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL, UNLESS OTHERWISE SPECIFIED.
 ALL REINFORCING STEEL SHALL CONFORM TO ASTM A618 GRADE 60, DEFORMED BILLET STEEL BARS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

CONCRETE PAD
 SCALE: 1"=1'-0" 1
2-8



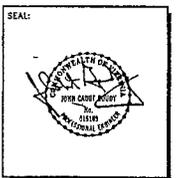
OUTDOOR MACROCELL U-RAS PREMIUM CABINET
 SCALE: 3/4"=1'-0" 1
2-8



OUTDOOR MACROCELL POWERPLANT CABINET
 SCALE: 3/4"=1'-0" 1
2-8

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 communication services, inc.
 1875 Eye Street, N.W. Suite 350
 WASHINGTON, D.C. 20008
 PHONE: (202)408-0960
 FAX: (202)408-0961

SUBMITTALS		
DATE	DESCRIPTION	REV.
01-05-10	ISSUE FOR REVIEW	
03-18-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-16-10	POLE MODIFICATION	
08-12-10	POLE HEIGHT MODIFICATION	
09-15-10	COUNTY COMMENTS	



PROJECT NO: 1050.076
 DESIGNER: M.A.
 ENGINEER: M.M.

SCALE:
 0 1/2 1
 GRAPHIC SCALE IN INCHES

JAMES MADISON
 HIGH SCHOOL
 2500 JAMES MADISON DRIVE
 VIENNA, VA 22181

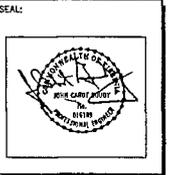
TITLE:
**CLEARWIRE
 EQUIPMENT
 CABINET DETAILS**

2237-H10-3
 SHEET NUMBER:
Z-8



1575 Eye Street, N.W. Suite 350
 WASHINGTON, D.C. 20008
 PHONE: (202)408-0980
 FAX: (202)408-0861

SUBMITTALS		
DATE	DESCRIPTION	REV.
01-15-10	ZONING REVIEW	
03-18-10	COUNTY COMMENTS	
04-30-10	COUNTY COMMENTS	
07-16-10	POLE MODIFICATION	
08-12-10	POLE HEIGHT MODIFICATION	
09-15-10	COUNTY COMMENTS	



PROJECT NO: 1050.076
 DESIGNER: M.A.
 ENGINEER: M.M.

SCALE:

 GRAPHIC SCALE IN INCHES

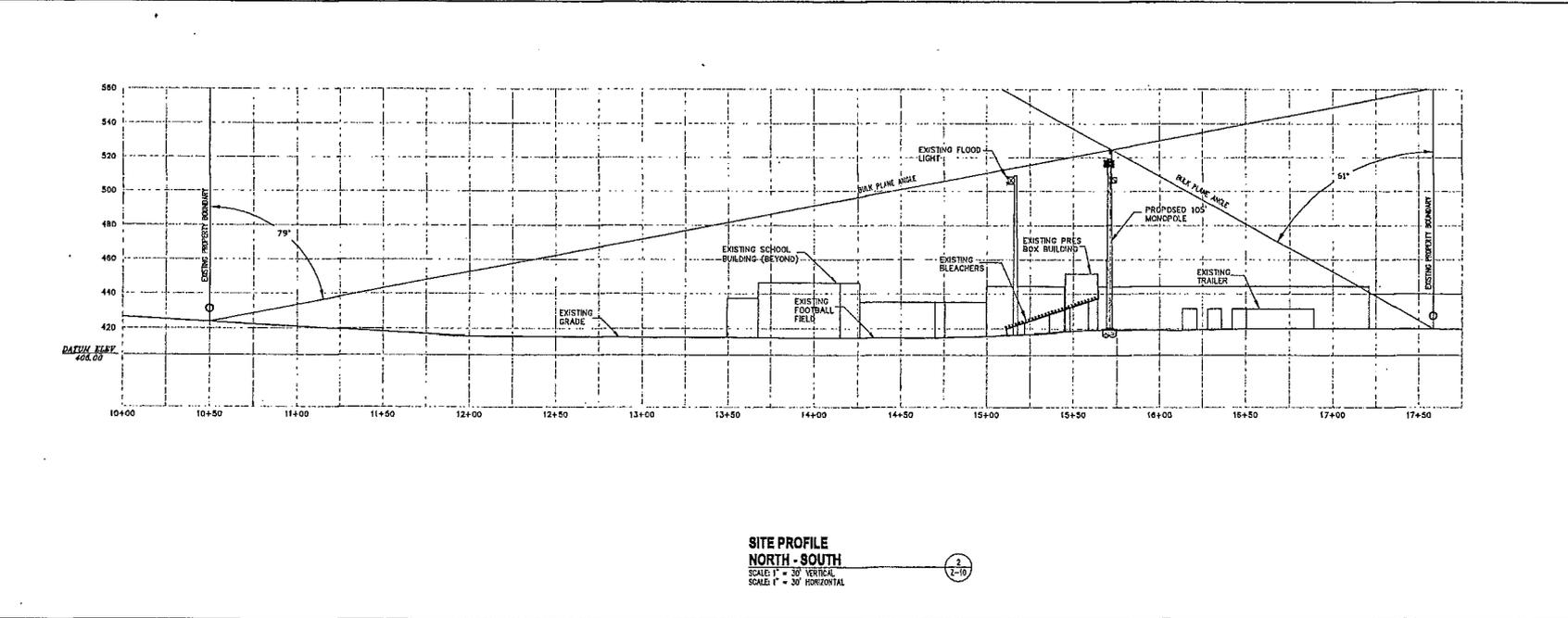
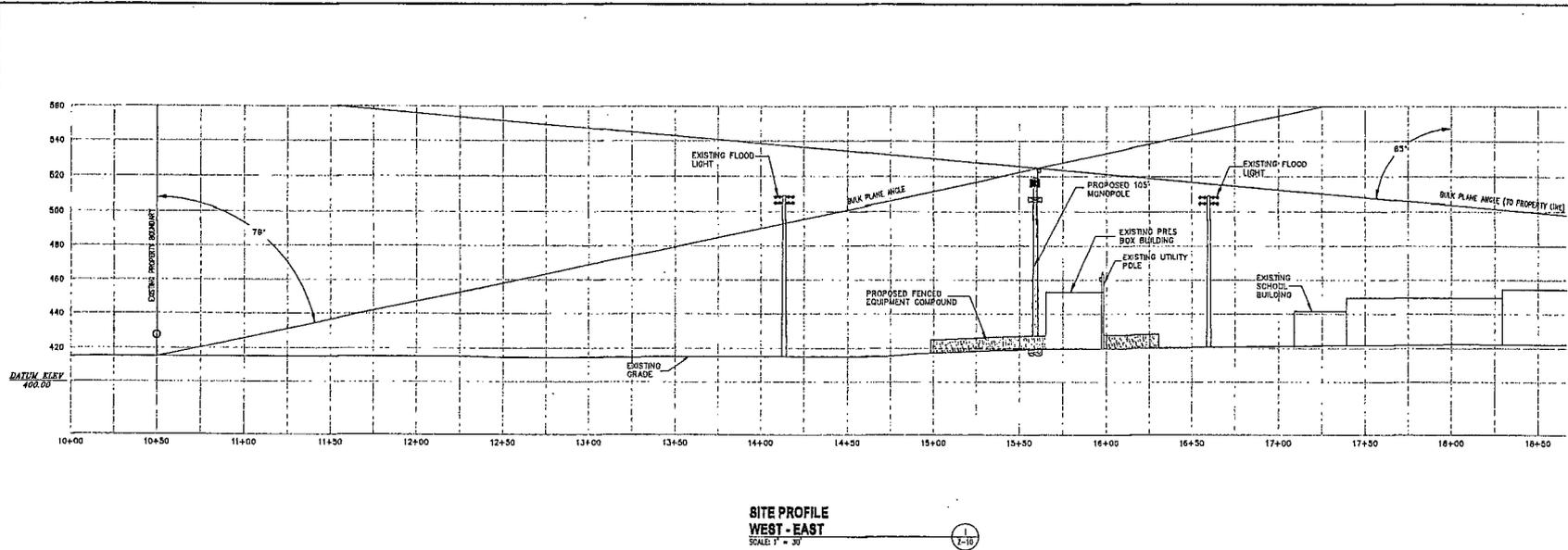
**JAMES MADISON
 HIGH SCHOOL**
 2500 JAMES MADISON DRIVE
 VIENNA, VA 22181

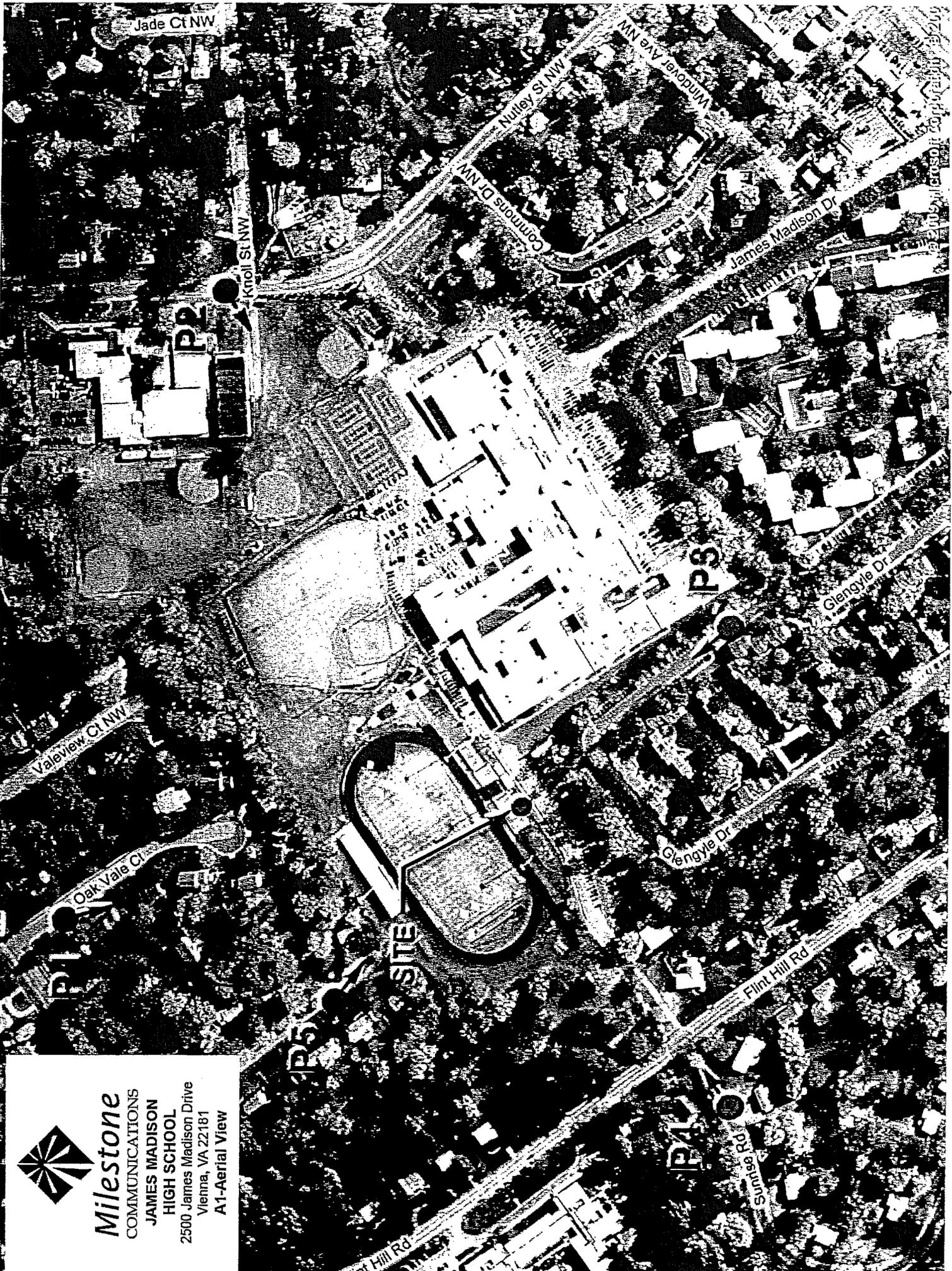
W.R.L.

**SITE
 PROFILES**

2252-H10-2
 SHEET NUMBER:

Z-10





Milestone
COMMUNICATIONS
**JAMES MADISON
HIGH SCHOOL**
2500 James Madison Drive
Vienna, VA 22181
A1-Aerial View

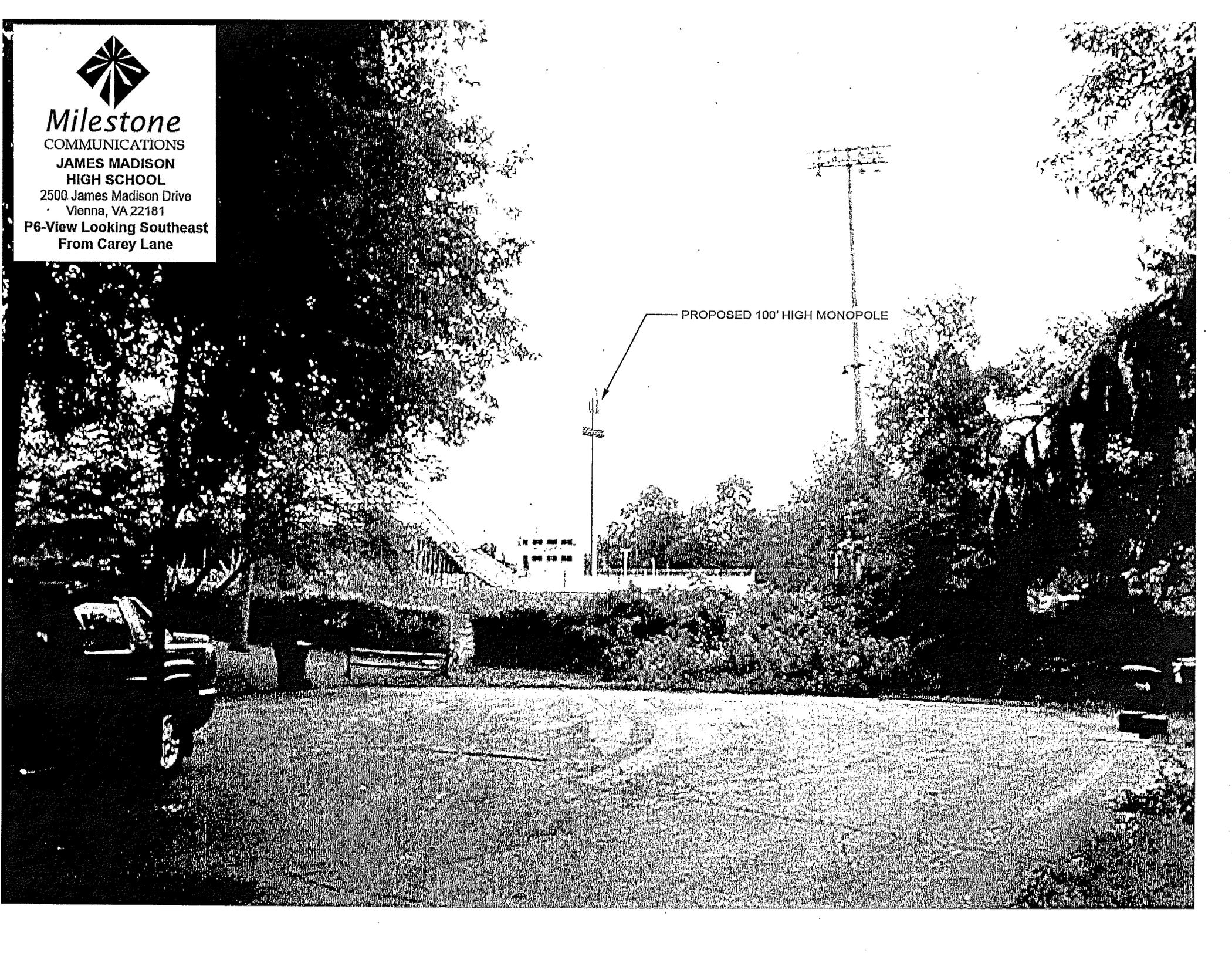


Milestone
COMMUNICATIONS

JAMES MADISON
HIGH SCHOOL

2500 James Madison Drive
Vienna, VA 22181

P6-View Looking Southeast
From Carey Lane



PROPOSED 100' HIGH MONOPOLE



Milestone

COMMUNICATIONS

JAMES MADISON

HIGH SCHOOL

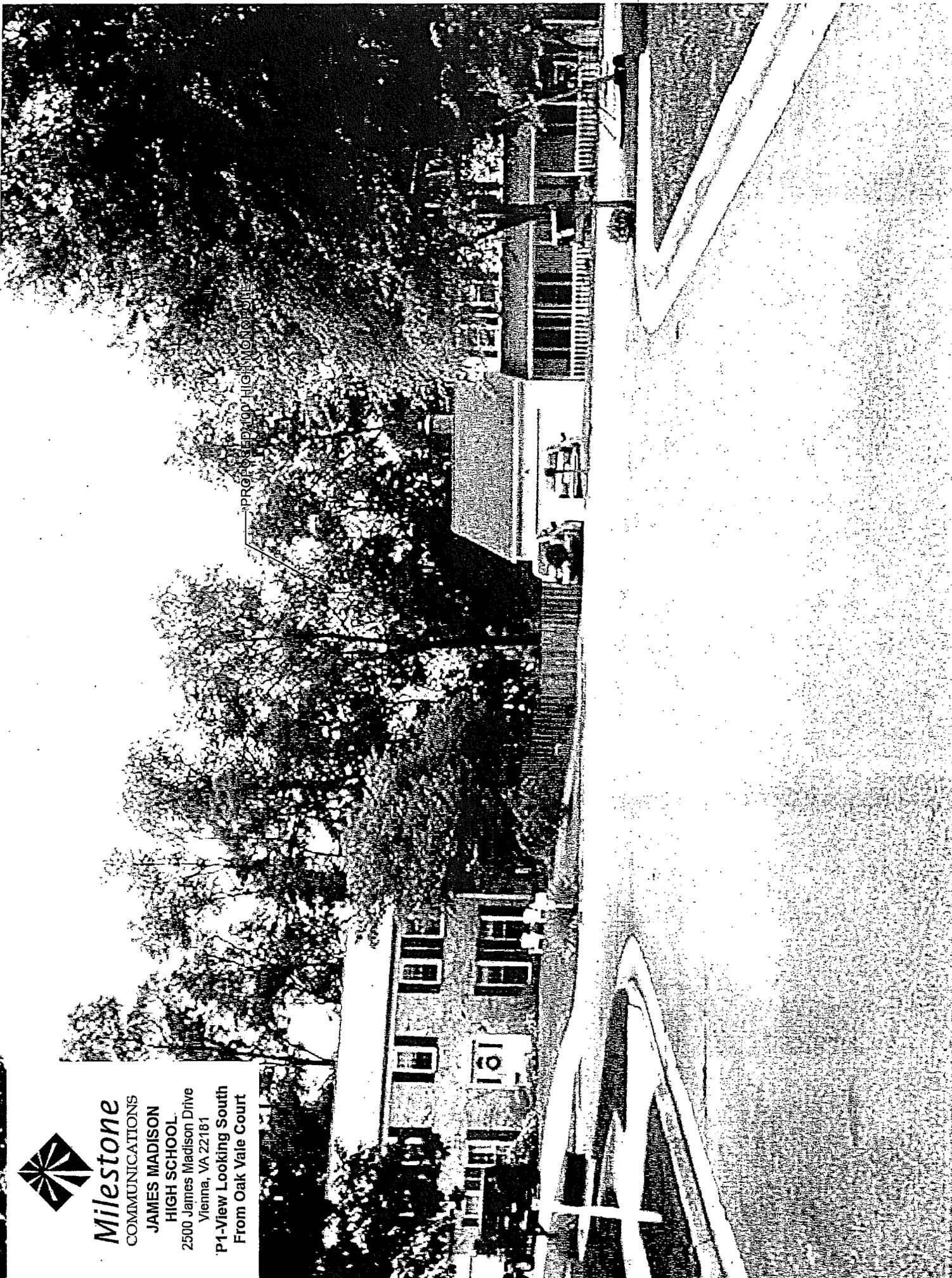
2500 James Madison Drive

Vienna, VA 22181

'P1-View Looking South

From Oak Vale Court

PROPERTY OF 100' HIGH MONUMENT





Milestone
COMMUNICATIONS

**JAMES MADISON
HIGH SCHOOL**

2500 James Madison Drive
Vienna, VA 22181

**P2-View Looking Southwest
From Knoll & Nutley Sts**

PROPOSED 100' HIGH MONOPOLE





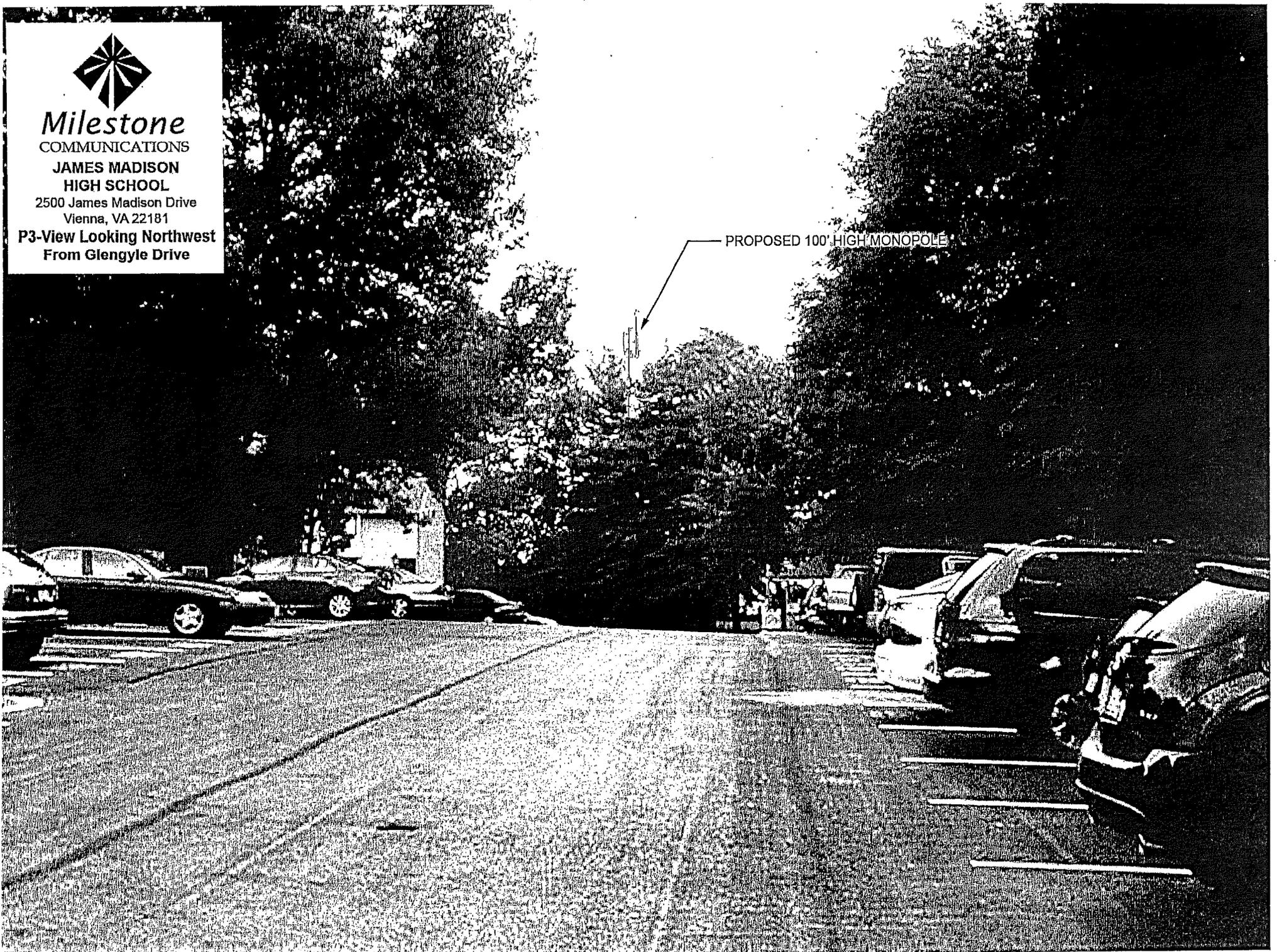
Milestone
COMMUNICATIONS

**JAMES MADISON
HIGH SCHOOL**

2500 James Madison Drive
Vienna, VA 22181

**P3-View Looking Northwest
From Glengyle Drive**

PROPOSED 100' HIGH MONOPOLE





Milestone

COMMUNICATIONS

**JAMES MADISON
HIGH SCHOOL**

2500 James Madison Drive
Vienna, VA 22181

**P4-View Looking Northeast
From Sunrise Road**

PROPOSED 100' HIGH MONOPOLE



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of commere



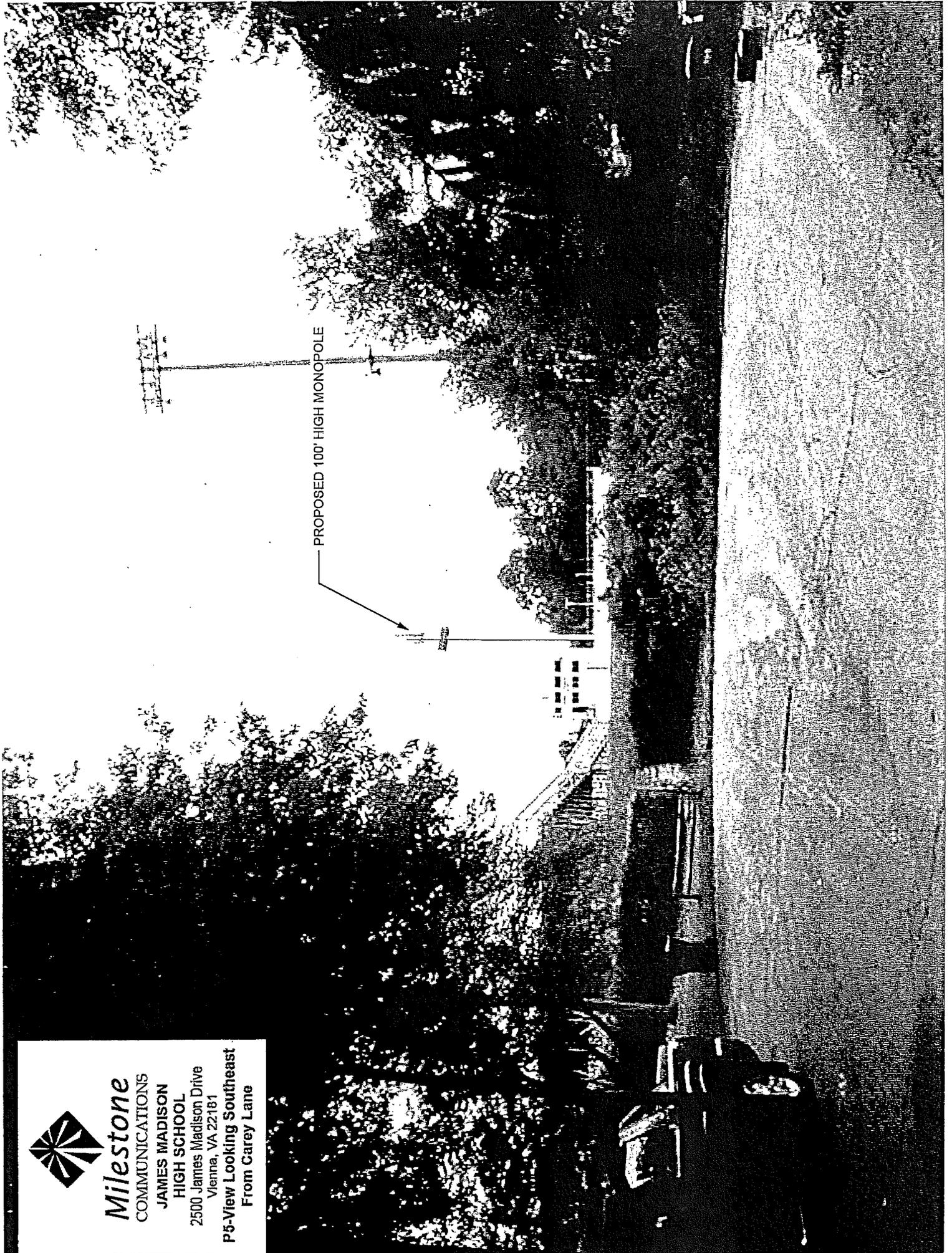
Milestone
COMMUNICATIONS

**JAMES MADISON
HIGH SCHOOL**

2500 James Madison Drive
Vienna, VA 22181

**P5-View Looking Southeast
From Carey Lane**

PROPOSED 100' HIGH MONOPOLE





Main Property Search

Address Map Number

- Profile
- Sales
- Values
- Residential
- Commercial
- Map
- Structure Size

MAP #: 0383 01 0052
SCHOOL BOARD OF FAIRFAX COUNTY

2500 JAMES MADISON DR

CURRENT RECORD

1 of 1

[Return to Search Results](#)

Owner

Name SCHOOL BOARD OF FAIRFAX COUNTY,
 Mailing Address 8115 GATEHOUSE RD FALLS CHURCH VA 22042
 Book
 Page

Neighborhood Sales

Parcel

Property Location 2500 JAMES MADISON DR
 Map # 0383 01 0052
 Tax District 10000
 District Name HUNTER MILL
 Land Use Code Public Schools
 Land Area (acreage) 25.3664
 Land Area (SQFT)
 Zoning Description R-3(Residential 3 DU/AC)
 Utilities WATER CONNECTED
 SEWER CONNECTED
 GAS CONNECTED

Printable Summary

County Historic Overlay District

NO
For further information about Historic Overlay Districts,
[Click here](#)

Street/Road PAVED
 Site Description BUILDABLE-AVERAGE LOT

Legal Description

Legal Description JAMES MADISON
HIGH SCHOOL

Last Refresh Date

Data last refreshed: 07-JAN-10

General Information

Need Help?

For questions and requests for information about the Real Estate site, call 703-222-8234 or [CLICK HERE](#)

Disclaimer

Under Virginia State law these records are public information. Display of this information on the Internet is specifically authorized by Va. Code 58.1-3122.2 (1998). See the Virginia State Code to read the pertinent enabling statute.

If you believe any data provided is inaccurate or if you have any comments about this site, we would like to hear from you. Owner names will be withheld from the Internet record upon request. Comments or requests may be made via e-mail to the Real Estate Division at Real Estate Division or by phone at (703) 222-8234.

While Fairfax County has attempted to ensure that the data contained in this file is accurate and reflects the property's characteristics, Fairfax County makes no warranties, expressed or implied, concerning the accuracy, completeness, reliability, or suitability of this data. Fairfax County does not assume any liability associated with the use or misuse of this data.

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Main Property Search
Address Map Number

- Profile
- Sales
- Values
- Residential
- Commercial
- Map
- Structure Size

MAP #: 0383 01 0052
SCHOOL BOARD OF FAIRFAX COUNTY

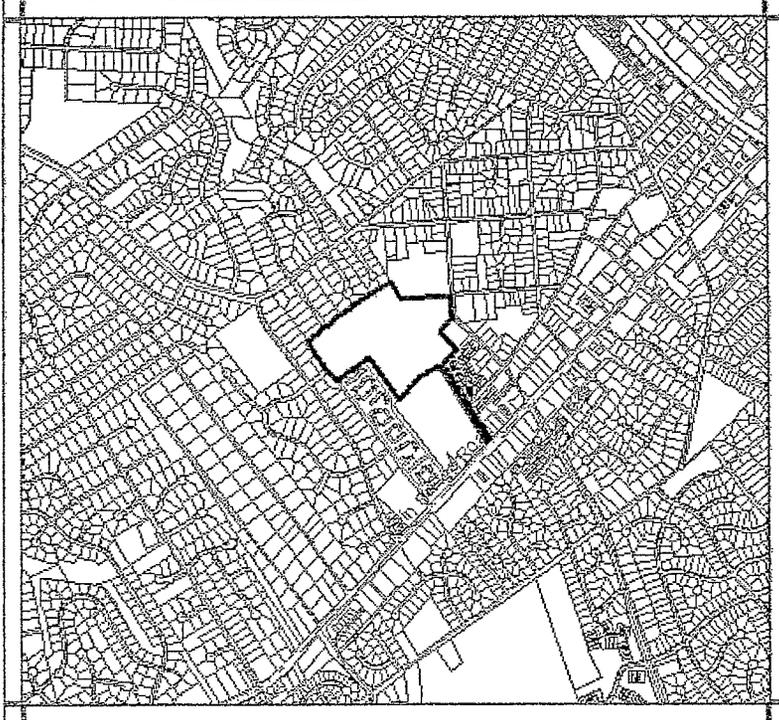
2500 JAMES MADISON DR

CURRENT RECORD

1 of 1

[Return to Search Results](#)

Aerials Layers



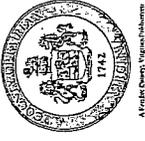
Aerial Imagery © 2007 Commonwealth of Virginia

[Neighborhood Sales](#)

[Printable Version](#)

[Definition Of Terms](#)

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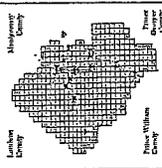
Scale: 1" = 100'

Map prepared by the City of Pampano Planning Department, 2009.

GENERAL NOTES

1. This map is a general zoning map and does not constitute a contract.
2. The zoning map is subject to change without notice.
3. The zoning map is subject to the provisions of the City of Pampano Zoning Ordinance.
4. The zoning map is subject to the provisions of the City of Pampano Comprehensive Zoning Ordinance.
5. The zoning map is subject to the provisions of the City of Pampano Zoning Ordinance.
6. The zoning map is subject to the provisions of the City of Pampano Zoning Ordinance.
7. The zoning map is subject to the provisions of the City of Pampano Zoning Ordinance.
8. The zoning map is subject to the provisions of the City of Pampano Zoning Ordinance.
9. The zoning map is subject to the provisions of the City of Pampano Zoning Ordinance.
10. The zoning map is subject to the provisions of the City of Pampano Zoning Ordinance.

Map prepared by the City of Pampano Planning Department, 2009.



ADMINISTRATIVE INDEX

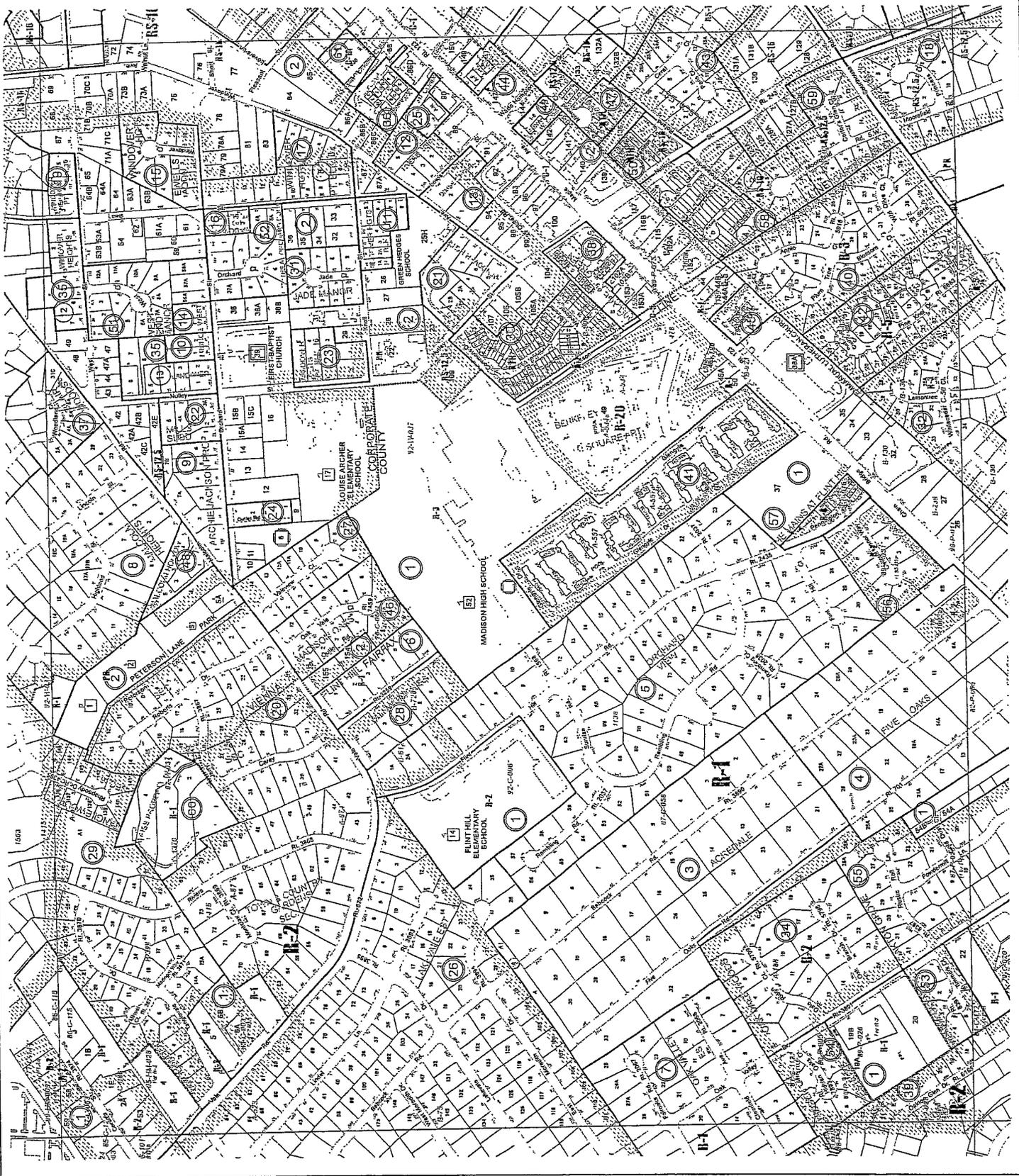
37-2	38-1	38-2
37-4	38-3	38-4
47-2	48-1	48-2

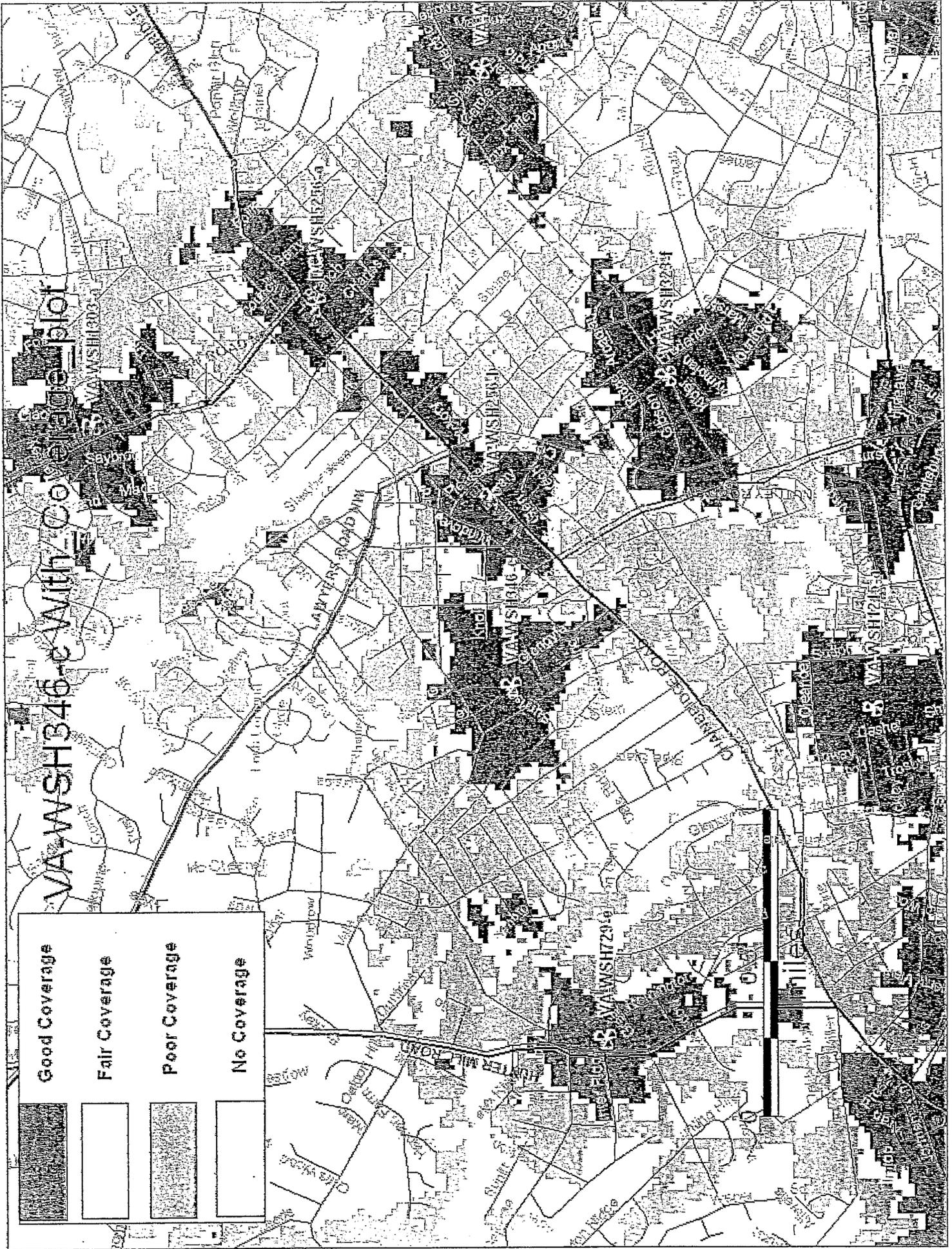
PROPERTY MAP ZONING
38-3

Revised to: 01-01-2009

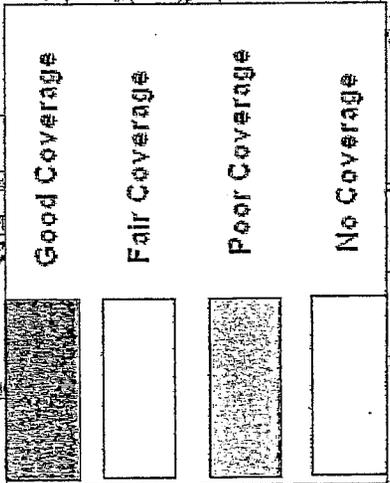
Prepared by:
City of Pampano Planning Department
2009

City of Pampano
Planning Department
2009





VA-WSH346-c With Coverage Plot



0 1 Miles

MEMORANDUM
Fairfax County Department of Planning and Zoning
Planning Division, Suite 730
12055 Government Center Parkway, Fairfax, Virginia 22035-5505

Attachment B

TO: Distribution Below

DATE: February 2, 2010

FROM: David B. Marshall, Chief
Facilities Planning Branch, Planning Division, DPZ

SUBJECT: 2232 Review Application
Application No.: 2232-H10-2 TAX MAP: 38-3 ((1)) 52

Attached for your Review and Comment is a 2232 Review Application submitted by Clearwire Wireless Broadband and Milestone Communications., Inc. requesting that the Fairfax County Planning Commission make a determination, pursuant to Va. Code Section 15.2-2232, whether this proposal to construct a 125-foot high monopole to replace an existing 89' high light pole (and continue to provide lighting at the same location on the site and pole) and 4 antennas (at 119-feet) with Clearwire as the lead carrier (the monopole is designed for two (2) additional future carriers. Four equipment compound areas are proposed at the James Madison High School, 2500 James Madison Drive, Vienna VA 22181 is substantially in accord with provisions of the adopted Comprehensive Plan. To be considered in the staff analysis, **send, fax (703-324-3056), or e-mail (anita.capps@fairfaxcounty.gov) your comments to Anita Capps (tel. 703-324-1357 by February 5, 2010.**

Distribution:

- | | |
|--|--|
| <input type="checkbox"/> DIT / Technology Infrastructure Div. | <input type="checkbox"/> FCPA / Planning & Development Div. |
| <input type="checkbox"/> DOT / Transportation Planning Div. | <input type="checkbox"/> FCPS / Design and Construction Svcs. |
| <input type="checkbox"/> DPWES / | <input type="checkbox"/> FCWA / Planning & Engineering Div. |
| <input type="checkbox"/> Environment & Facilities Review Div. | <input type="checkbox"/> Fire & Rescue / Strategic Planning |
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| <input type="checkbox"/> DPZ / | |
| <input type="checkbox"/> Planning Div. - Env. & Dev. Review Branch | |
| <input type="checkbox"/> Planning Div. - Historic Preservation | |
| <input type="checkbox"/> Zoning Administration Div. | |
| <input type="checkbox"/> Zoning Evaluation Div. | |
| | <input type="checkbox"/> |

- ZAD (for proposed telecommunications facilities):** The property is zoned R-3 District. The proposed type of installation should be clarified and be consistent throughout all application materials. It would appear that the proposal is a utility pole replacement and subject to Par. 2 of Sect. 2-514. The proposal meets Par. 2. This proposal is also subject to the outdoor lighting standards contained in the Zoning Ordinance. Replacement lights for football field lighting require the submission of a sports illumination plan (SIP) to DPWES. If the existing lights are placed on a new pole that is at the same location on the ground and at the same height as the previous pole and lighting, this would not be deemed to be replacement lighting. If any of those conditions do not exist, the lighting is deemed to be replacement lighting and a SIP would be required.

Referral to ZED: N/A

Comments by: Brian Parsons 2/02/10



County of Fairfax, Virginia

MEMORANDUM

TO: Anita Capps, Senior Planner

FROM: Linda Cornish Blank, Historic Preservation Planner

SUBJECT: 2232-H10-2, Clearwire Wireless and Milestone Communications; proposal to construct a 125' tall monopole to replace existing 89' high light pole with 4 antennas & 4 equipment compound areas, tax map 38-3 ((1)) 52.

Policy Plan: Fairfax County Comprehensive Plan, 2007 Edition, Policy Plan, Amended through 1-10-2005, Public Facilities, page 38:

DATE: 22 July 2010

“Policy k. Locate telecommunication facilities to ensure the protection of historically significant landscapes. The views of and vistas from architecturally and/or historically significant structures should not be impaired or diminished by the placement of telecommunication facilities.”

Background: This subject parcel is not included within the boundaries of a Fairfax County Historic Overlay District, is not listed on the Fairfax County Inventory of Historic Sites or the National Register of Historic Places or documented in the historic structures survey file. In the near vicinity are two listed county inventory sites and a third property identified in the Virginia Department of Historic Resources (VDHR) site files. The listed properties are Contemplation, tax map 038-3 ((41)) located at 2584 Chain Bridge Road and Merry-Go-Round, tax map 038-3 ((1)) 37 located at 2594 Chain Bridge Road. The surveyed property is the Washington, Arlington, and Falls Church Electric Railway located along the path of Chain Bridge Road.

The applicant initiated Section 106 of the National Historic Preservation Act of 1966. As a local government, Fairfax County was afforded an opportunity to provide comment as required under Section 106. The following comment was provided on May 24, 2010.

Thank you for the information and for the opportunity to provide comment on this application. I concur with your finding regarding Contemplation 029-0097 and Wash, Arl & Falls Church Elec. RR 029-5470 of no effect. There is however, another property that is within the APE: Merry-Go-Round, 2594 Chain Bridge Road, 038-3 ((1)) 37, I do not believe the property has been assessed for NR eligibility listing.

As you may know, Fairfax County has a local register, The Fairfax County Inventory of Historic Sites. Merry-Go-Round is listed on the inventory. The Inventory listing can be accessed at <http://www.fairfaxcounty.gov/dpz/historic/ihs/>

Department of Planning and Zoning
 Planning Division
 12055 Government Center Parkway, Suite 730
 Fairfax, Virginia 22035-5509
 Phone 703-324-1380
 Fax 703-324-3056
www.fairfaxcounty.gov/dpz/



In 2008, Fairfax County sent VDHR electronic version of the site forms for the inventory properties. Unfortunately, neither VDHR nor Fairfax County has the resources to enter all the 350 sites into DSS. Clearly, all sites listed on the county inventory are not NR eligible, however, some are and need to be taken into account.

Thank you for assessing the potential impact of the proposed monopole on the property at 2594 Chain Bridge Road Vienna. Please copy me on your findings.

Findings: It does not appear that the information has been provided as requested. Documentation is needed to determine if the proposal is in-keeping with the Policy Plan text cited with regard to the one listed inventory site.

Recommendation:

1. The applicant provide to the Department of Planning and Zoning, Planning Division documentation for determination that the proposal is in-keeping with Policy Plan text cited above.
2. The applicant provide to the Department of Planning and Zoning, Planning Division documentation as requested in the Section 106 comment in order to be reviewed and included in the staff report for the 2232 application.



COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Douglas W. Domenech
Secretary of Natural Resources

Kathleen S. Kilpatrick
Director

Tel: (804) 367-2323
Fax: (804) 367-2391
TDD: (804) 367-2386
www.dhr.virginia.gov

MEMORANDUM

DATE: May 25, 2010 **DHR File #** 2010-0708

TO: Stacy P. Montgomery
The Ottery Group, Inc.

FROM: Christopher V. Novelli, Architectural Historian (804) 367-2323, Ext. 100 *C.V.N.*
Office of Preservation Incentives

PROJECT: New 125-foot monopole cell tower
2500 James Madison Drive, Vienna, Fairfax Co., Virginia

- This project will have an effect on historic resources. Based on the information provided, the effect will not be adverse.
- This project will have an adverse effect on historic properties. Further consultation with DHR is needed under Section 106 of the NHPA.
- Additional information is needed before we will be able to determine the effect of the project on historic resources. Please see attached sheet.
- No further identification efforts are warranted. No historic properties will be affected by the project. Should unidentified historic properties be discovered during implementation of the project, please notify DHR.
- We have previously reviewed this project. Attached is a copy of our correspondence.
- Other (Please see comments below)

COMMENTS:

Please contact Chris Novelli, (804) 367-2323, ext. 100 with questions about this review.

Administrative Services
10 Courthouse Ave.
Petersburg, VA 23803
Tel: (804) 863-1624
Fax: (804) 862-6196

Capital Region Office
2801 Kensington Office
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391

Tidewater Region Office
1441 S Old Courthouse Way 2nd
Floor
Newport News, VA 23608
Tel: (757) 886-2807
Fax: (757) 886-2808

Rosnoke Region Office
1030 Pennam Avenue, S1
Roanoke, VA 24013
Tel: (540) 857-7585
Fax: (540) 857-7588

Northern Region Office
5357 Klan Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7031
Fax: (540) 868-7033

§ 15.2-2232. Legal status of plan.

A. Whenever a local planning commission recommends a comprehensive plan or part thereof for the locality and such plan has been approved and adopted by the governing body, it shall control the general or approximate location, character and extent of each feature shown on the plan. Thereafter, unless a feature is already shown on the adopted master plan or part thereof or is deemed so under subsection D, no street or connection to an existing street, park or other public area, public building or public structure, public utility facility or public service corporation facility other than railroad facility, whether publicly or privately owned, shall be constructed, established or authorized, unless and until the general location or approximate location, character, and extent thereof has been submitted to and approved by the commission as being substantially in accord with the adopted comprehensive plan or part thereof. In connection with any such determination, the commission may, and at the direction of the governing body shall, hold a public hearing, after notice as required by § 15.2-2204.

B. The commission shall communicate its findings to the governing body, indicating its approval or disapproval with written reasons therefor. The governing body may overrule the action of the commission by a vote of a majority of its membership. Failure of the commission to act within sixty days of a submission, unless the time is extended by the governing body, shall be deemed approval. The owner or owners or their agents may appeal the decision of the commission to the governing body within ten days after the decision of the commission. The appeal shall be by written petition to the governing body setting forth the reasons for the appeal. The appeal shall be heard and determined within sixty days from its filing. A majority vote of the governing body shall overrule the commission.

C. Widening, narrowing, extension, enlargement, vacation or change of use of streets or public areas shall likewise be submitted for approval, but paving, repair, reconstruction, improvement, drainage or similar work and normal service extensions of public utilities or public service corporations shall not require approval unless involving a change in location or extent of a street or public area.

D. Any public area, facility or use as set forth in subsection A which is identified within, but not the entire subject of, a submission under either § 15.2-2258 for subdivision or provision 8 of § 15.2-2286 for development or both may be deemed a feature already shown on the adopted master plan, and, therefore, excepted from the requirement for submittal to and approval by the commission or the governing body; provided, that the governing body has by ordinance or resolution defined standards governing the construction, establishment or authorization of such public area, facility or use or has approved it through acceptance of a proffer made pursuant to § 15.2-2303.

E. Approval and funding of a public telecommunications facility by the Virginia Public Broadcasting Board pursuant to Article 12 (§ 2.2-2426 et seq.) of Chapter 24 of Title 2.2 shall be deemed to satisfy the requirements of this section and local zoning ordinances with respect to such facility with the exception of television and radio towers and structures not necessary to house electronic apparatus. The exemption provided for in this subsection shall not apply to facilities existing or approved by the Virginia Public Telecommunications Board prior to July 1, 1990. The Virginia Public Broadcasting Board shall notify the governing body of the locality in advance of any meeting where approval of any such facility shall be acted upon.

F. On any application for a telecommunications facility, the commission's decision shall comply with the requirements of the Federal Telecommunications Act of 1996. Failure of the commission to act on any such application for a telecommunications facility under subsection A submitted on or after July 1, 1998, within ninety days of such submission shall be deemed approval of the application by the commission unless the governing body has authorized an extension of time for consideration or the applicant has agreed to an extension of time. The governing body may extend the time required for action by the local commission by no more than sixty additional days. If the commission has not acted on the application by the end of the extension, or by the end of such longer period as may be agreed to by the applicant, the application is deemed approved by the commission.

(Code 1950, §§ 15-909, 15-923, 15-964.10; 1958, c. 389; 1960, c. 567; 1962, c. 407, § 15.1-456; 1964, c. 528; 1966, c. 596; 1968, c. 290; 1975, c. 641; 1976, c. 291; 1978, c. 584; 1982, c. 39; 1987, c. 312; 1989, c. 532; 1990, c. 633; 1997, cc. 587, 858; 1998, c. 683.)