



FAIRFAX COUNTY PLANNING COMMISSION

June 22, 2016

Addendum: Revisions made June 24, 2016 on pages 11, 12, and 14, and Attachment S.

**PUBLIC HEARING
FOR
PLANNING DETERMINATION**

Pursuant to
Va. Code Sec. 15.2 - 2232

Public Hearing Date: July 20, 2016 at 8:15 p.m.

Application Number: **2232-M16-22**

Applicant: **Fairfax County Department of Public Works and Environmental Services**

Proposed Use: Temporary Facility for Bailey's Crossroads Community Shelter

Supervisor District: Mason District

Subject Property: 4710 North Chambliss Street, Alexandria, VA 22312
Tax Map 72-2 ((1)) 43

Area of Subject Property: 4.83 Acres

Application Accepted: April 27, 2016

Recommendation: In accordance with Va. Code Sec. 15.2-2232, as amended, staff recommends that the Planning Commission find the proposal by the Fairfax County Department of Public Works and Environmental Services, to develop a Temporary Facility for Bailey's Crossroads Community Shelter at 4710 North Chambliss Street, Alexandria, VA 22312, substantially in accord with provisions of the adopted Comprehensive Plan.

APPLICATION*Attachment A*

- Proposal:** Establish a Temporary Facility for the Bailey's Crossroads Community Shelter.
- Applicant:** Fairfax County Department of Public Works and Environmental Services (DPWES)
- Subject Property:** 4710 North Chambliss Street, Alexandria, VA 22312
Tax Map 72-2 ((1)) 43
R-3 Zoning District

Size and location: The 4.83 acre site is located on the west side of North Chambliss Street and is developed with the Lincolnia Senior Center. The Temporary Facility for the Bailey's Crossroads Community Shelter is proposed for a portion of the recreation field located at the rear of the property, on the northwest side. The site is surrounded by residential uses to the north, west and south. Commercial uses are located to the east of the property.

Existing site conditions: The site is developed with the Lincolnia Senior Center. Access to the site is from North Chambliss Street. The site is relatively flat and includes a senior center, surface parking and a recreation field. The Lincolnia Senior Center consists of 78 residential units, and offers classes, health and wellness programs.

Statement of Justification

Proposed Use: The site is proposed for use as a Temporary Facility for the Bailey's Crossroads Community Shelter. The existing Bailey's Crossroads Community Shelter is part of an area referred to as the "Southeast Quad," located on Columbia Pike south of Leesburg Pike (Route 7). A redevelopment agreement for the site with Avalon Bay requires relocation of the existing shelter by March, 2017. The proposed temporary facility will contain the Bailey's Crossroads Community Shelter for approximately four (4) to five (5) years while a new site for the shelter is acquired and a facility is designed and constructed. The proposed temporary shelter will consist of a 5,922 square foot one-story pre-manufactured modular building approximately 56 feet wide, 106 feet long, and 18 feet high, with a 24 space surface parking lot. The proposed facility will have 46 beds, 32 for men and 14 for women. The temporary structure will be removed after the permanent facility is constructed and occupied and the field will be restored to recreational use.

Staff and Hours of Operation: The facility will be staffed 24 hours a day, 7 days a week, with an average of eight (8) daytime staff members and two (2) nighttime staff members. Most clients will leave the temporary shelter in the morning for work, medical appointments, counselling or to obtain permanent housing. Under a pilot program, residents will be allowed to stay in the facility during the day where they will engage in activities that promote self-sufficiency and rehousing. The evening curfew for residents is 9:00 pm on weekdays and 10:00 pm on weekends. The temporary shelter will offer "drop-in" services three (3) days a week from 9:30 am to 1:00 pm to provide unsheltered individuals access to the facility for services, showers and lunch.

Maintenance Requirements and frequency:

Standard custodial services, facility and equipment repairs, and routine grounds and landscaping

maintenance will be provided. Standard power, information technology and telecommunications facilities will be onsite to meet the same shelter program requirements provided at the existing Bailey's Crossroads Community Shelter facility.

Off-site Considerations:

Alternative sites: Over 22 alternative sites were examined and several were identified for further review. However, these sites did not fit the criteria for the relocation requirements because they lacked sufficient site area, access to public transportation, access to potential employment opportunities or were not able to meet the required relocation schedule.

Anticipated Impacts: Impacts anticipated by DPWES are summarized below:

Access and Traffic: Access will be provided to the shelter from North Chambliss Street. A new parking lot of 24 spaces will be provided to ensure adequate parking for staff and residents. It is anticipated that most residents of the shelter will not own vehicles. The shelter will receive a minimal amount of visitors on a daily basis and no significant traffic is expected to be generated from the shelter. The existing Bailey's Crossroads Community Shelter averages 20 vehicle trips per 24 hour period which includes staff, clients, transportation to/from appointments, volunteers, and county support services.

Noise and Light Impacts: The proposed facility will not have any significant noise or light impacts on adjacent properties. Appropriate setbacks and buffers will be provided to mitigate any noise or light generated from the site. All site lighting will be designed to provide security and comply with Zoning Ordinances. Additionally, the building will not contain any exterior speakers.

Air Quality Impacts: No impacts to air quality are anticipated.

Water Quality Impacts: No impacts to water quality are anticipated. The existing water and sanitary sewer services will support the new facility. Erosion and sediment control systems will be installed to manage stormwater runoff during construction.

Visual Impacts: The proposed facility will be a one story pre-manufactured modular structure with architectural enhancements. Landscaping will be provided to buffer the proposed facility from adjacent properties. Additionally, the facility location on the Lincolnia Senior Center site will be coordinated with the existing development to allow for setbacks in conformance with the Zoning Ordinance.

Environmental Impacts: The proposed facility will have a minimal environmental impact on adjacent properties. Transitional screening, tree protection measures and perimeter erosion control measures will be provided in accordance to the Zoning Ordinance and Public Facilities Manual.

DESCRIPTION OF SURROUNDING AREA

Character and adjacent land uses: The area surrounding the proposed temporary shelter site is characterized by residential and commercial uses. To the north of the property is the Charleston Square community, consisting of single family attached residential uses. Further north, across Lincolnia Road, is the Lincolnia Hills community of single family detached residential units. To the west and southwest of the property is the multifamily residential community of Arbor Park. To the

southeast is Stonegate at Landmark, a neighborhood of single family attached residential units. Immediately to the east across North Chambliss Street is the Lincolnia Shopping Center, and further east is the Plaza at Landmark, consisting of retail uses.

COMPREHENSIVE PLAN PROVISIONS

Comprehensive Plan Map: Public Facilities

Planning Area and Planning District: Area I, Lincolnia Planning District

Planning Sector: L1-Pinecrest Community Planning Sector

Land use recommendations:

- Subject property – Public Facilities, see Area Plan recommendation below
- North of subject property – Residential use at 5-8 du/ac
- East of subject property – Retail and other use
- South of subject property – Residential use at 12-16 du/ac
- West of subject property – Residential use at 16-20 du/ac

COMPREHENSIVE PLAN CITATIONS: An assessment of this proposal for substantial conformance with current land use recommendations of the Comprehensive Plan (“the Plan”) is guided by the following citations from the Plan:

Area Plan:

Fairfax County Comprehensive Plan, Area I, 2013 Edition: Lincolnia Planning District, as amended through 4-29-2014, L1-Pinecrest Community Planning Sector, Recommendations, Land Use, pages 16-18:

“5. Parcel 72-2((16))A, south of the Lincolnia Senior Center, is planned for multifamily residential development at 12-16 dwelling units per acre or single-family attached residential development not to exceed 12 dwelling units per acre, and is developed with the Stonegate townhouse development. Development of this site should not preclude roadway improvements planned for Beauregard Street and Lincolnia Road and access to the site should be oriented to take into account the approved interchange concept for the Little River Turnpike/Beauregard Street flyover. Since access to Beauregard Street may become more limited with the future construction of the interchange, additional inter-parcel access should be encouraged to the west or south, to supplement the approved inter-parcel access through the Lincolnia Senior Center property. In lieu of on-site recreational facilities, consideration may be given to the enhancement of the recreational area behind the Lincolnia Senior Center, in order to better utilize and maintain this existing community recreational resource.”

“8. Retain the Lincolnia Senior Center for public facilities use and in public ownership for school, local community and recreational use.”

Policy Plan:

Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Public Facilities, as amended through 4-29-2014; Countywide Objectives and Policies, pages 2 – 4:

“Objective 1: Locate new facilities to provide convenient service to the greatest number of people or service consumers and users.

Policy a. Site facilities appropriately to the area they are intended to serve.

Objective 2: Construct and maintain facilities in accord with expected levels of service objectives and fiscal limitations.

Policy b. Follow adopted public facility standards to identify facility requirements associated with level of need, appropriate quantity and size, and relationship to population.

Policy c. Ensure adequate maintenance of existing facilities.

Objective 4: Mitigate the impact of public facilities on adjacent planned and existing land uses.

Policy a. Locate public facilities in areas of compatible land use, if service efficiency and cost effectiveness can be achieved. Siting facilities in areas of different land uses is acceptable and at times required, to provide centrally located public facilities which are critical to the public interest as long as the integrity of the Comprehensive Plan is not impinged.

Policy b. Co-locate public facilities whenever appropriate to achieve convenience and economies of scale, as long as the integrity of the Comprehensive Plan is not impinged.

Policy d. Ensure that public facilities are properly screened and buffered in order to mitigate visual impact on adjacent planned development of a different use or nature.”

Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Human Services, as amended through 3-4-2014; Family Services, pages 7 – 8:

“Objective 14: Provide adequate emergency housing services for individuals and families and for victims of familial abuse.

Policy a. Locate community shelters in industrial or commercial zones. Residential zones should be considered if the location is adjacent to, or on, a major street or highway or if there is sufficient buffering (or existence of permanent barriers) to minimize impact upon the residential area.

Policy b. Locate community shelters within one mile of major highways, and on or near public transportation routes.

Policy c. Develop community shelters that are compatible with adjacent land uses. Generally, this type of facility is one story, having between 5,000 and 10,000 square feet of usable space, and is capable of providing shelter for approximately 50 people, on a year-round basis.”

STAFF ANALYSIS

Department of Planning and Zoning

Zoning Administration Division

Attachment B

The proposed use is deemed to be a public use, which is permitted by-right in the R-3 District. The proposed plan appears to meet all applicable Zoning Ordinance requirements with respect to use and bulk regulations. Site plan approval will be required, to address all site layout matters, such as parking, lighting and landscaping/screening.

Planning Division – Historic Preservation/Heritage Resources*Attachment C*

The subject property is not included within the boundaries of a Fairfax County Historic Overlay District, is not listed in the Fairfax County Inventory of Historic Sites or the National Register of Historic Places, or documented in the historic structures survey file. There are no properties in the immediate vicinity of the property that are within the boundaries of a Fairfax County Historic Overlay District, listed in the Fairfax County Inventory of Historic Sites or The National Register of Historic Places. The St. Paul's Episcopal Cemetery (Tax map number 72-2 ((1)) 39), is documented and under consideration for inclusion on the Fairfax County Inventory of Historic Sites. This parcel is not adjacent to the subject property, and should not be negatively impacted by the proposed temporary facility.

No Further Action concerning heritage resources is recommended.

Planning Division – Environment and Development Review Branch*Attachment D*

Staff determined that there are no aspects of the proposal that conflict with the Environmental Policies of the Comprehensive Plan.

Zoning Evaluation Division*Attachment E*

Staff determined that the proposed temporary shelter creates no substantial conformance concerns with the proffers related to providing trails from Stonegate at Landmark to the Lincolnia Senior Center, associated with RZ 1999-MA-006.

Fairfax County Department of TransportationTransportation Planning Section*Attachment F*

FCDOT Staff does not anticipate any adverse impacts to planned or existing roadways.

The Countywide Trails Master Plan shows a major paved trail 8' or wider on the portion of North Chambliss Street and Beauregard Street adjacent to the site. The proposed development is not expected to impede the implementation of this recommendation. There are no other planned roadway, trail, or bike improvements that the application would prohibit.

The proposed site is located near businesses and accessible by public transportation, important features for individuals using the proposed shelter. The majority of residents are expected to access the site by foot or transit. Given the nature of the site, high quality pedestrian and transit facilities are essential for the safety and mobility of residents. It is important that these facilities be well maintained, safe, visible and convenient to users. FCDOT Staff recommends that future site plans detail the design and maintenance of pedestrian facilities and that the development coordinate with an intersection improvement project proposed at Beauregard Street and North Chambliss Street. The applicant should demonstrate that no significant additional traffic is expected to be generated from the shelter.

- In response, DPWES staff noted that a new pedestrian access way has been added to the plan for access by foot.
- (See DPWES response to trip generation comments for traffic impacts.)

Pedestrian Facilities Access

FCDOT Staff noted that the proposed site plan shows vehicle access to the shelter from the existing drive aisle of the Lincolnia Senior Center and pedestrian access via a pathway along the northern

boundary of the site. The proposed pedestrian pathway, meanders through an existing tree line and abuts a privacy fence. The walkway should be designed to meet all Americans with Disabilities Act (ADA) requirements, for sidewalks and exceed the 5 foot minimum width required by ADA in order to accommodate the demand for pedestrian access to the site. To ensure that the sidewalk is safe and passable at all times, leaf and snow removal for the sidewalk should be include in the maintenance plan for the site, and the walkway should be adequately lit as residents may be required to access or leave the shelter during the dawn and dusk hours depending upon the season. If the proposed walkway cannot be designed to meet staff recommendations for lighting, maintenance, and ADA requirements; a different location for pedestrian access should be considered. An alternative pedestrian access could be provided south of the drive aisle. Portions of this alternative would run along the existing sidewalk on the north edge of the Lincolnia Senior Center building. This alternative may also mean a loss of approximately four parking spaces. If approved, the design of this walkway should comply with staff recommendations for lighting, maintenance, and ADA requirements for sidewalks mentioned previously. Crosswalks at drive aisles should also be included in the design of this alternative.

- In response, DPWES staff indicated they will revise the plans as suggested and the sidewalk will be closer to the building and out of the tree area, and submitted with the Minor Site Plan. No additional lighting is needed as the result of the sidewalk re-location.

Transit Facilities

Within 100 feet of the proposed site there are three bus stops servicing six bus routes. These routes provide service to the Pentagon Metrorail Station (7X, 17A, 17B, 17M,), Shirlington Transit Center (7F, 29K, 29N), Van Dorn Metrorail Station (ATI), Vienna Metrorail Station (29K, 29N) and other destinations. The bus stop located directly in front of the proposed site serves the Metrobus routes 7X and 7F. Given the expected increase in pedestrian access to and from the site, this bus stop should be upgraded to include a bus shelter.

- In response, DPWES staff noted that this site is for temporary use and is not proposing a bus shelter at this time. DPWES will coordinate with FCDOT planning staff to ensure that a bus shelter is added in conjunction with planned intersection improvements.

Improvement at Beauregard Street and North Chambliss Street

The development should be coordinated with a safety improvement project proposed at Beauregard Street and North Chambliss Street, just south of the site. Preliminary plans for this project propose a reconfiguration of the intersection in order to improve the pedestrian crossing of Beauregard Street. Final design will be constructed within 18-24 months of the approval of the improvement. FCDOT will coordinate with the Department of Public Works and Environmental Services as additional information on this project becomes available.

- In response, DPWES staff noted that they will coordinate with FCDOT, however due to the timing of the project development, site improvements will be completed prior to the intersection improvement project. When implemented, the intersection improvements related to this proposal will be constructed. This project will be constructed within 18 – 24 months of approval of the final design.

Trip Generation

While it is expected that the majority of residents will access the site by foot or transit, the applicant should still provide an estimate of the number of vehicle trips generated by the site based on observations from sites of similar use and size within the county. If a substantial number of vehicle trips are expected, then an operational analysis may be necessary to demonstrate that vehicles would be able to safely enter and exit the site via the interparcel travel lane easement and existing site access on North Chambliss Street.

- In response, DPWES staff noted that there will be 46 residents with an average of eight (8) daytime staff members on the site at one time, but the majority of residents do not have cars and as such do not generate additional vehicular traffic. There is an average of 20 vehicle trips per 24 hour period at the existing Bailey's Crossroads Shelter, which includes staff, clients, volunteers and County support services.

Virginia Department of Transportation*Attachment G*

Virginia Department of Transportation (VDOT) Staff commented that they have no objection to the proposed temporary shelter.

Fairfax County Park Authority*Attachment H*

The Park Authority staff determined that this application bears no adverse impact on the land, resources, facilities or service levels of the Park Authority. The existing recreation field is not a Park Authority controlled site.

Department of Public Works and Environmental ServicesUrban Forest Management Division, Forest Conservation Branch*Attachment I*

UFMD Staff commented that it is unclear what type of vegetation is present onsite since an existing vegetation map (EVM) has not been provided.

- In response, DPWES stated that this project is for temporary use and the layout disturbs a small area with minimal impacts to existing trees as shown on the plan. The EVM will be provided if necessary at the time of Minor Site Plan review.

UFMD Staff commented that some of the existing vegetation that was likely provided with the existing Senior Center has been removed from the plan, making it unclear how the proposed temporary shelter may impact and/or require some of this existing vegetation to be removed. In addition, it is unclear what type of vegetation exists onsite since an Existing Vegetation Map (EVP) has not been provided.

- In response, DPWES stated this project is for temporary use and the layout disturbs a small amount of the site with minimal impacts to existing trees as shown on the plan, existing survey plan showing the existing vegetation to the north, west and south sides will be provided at the time of the site plan review.

UFMD Staff commented that the adjacent uses and zoning are not shown on the plat, making it unclear as to the type of transitional screening and barriers that may be required.

- In response, DPWES updated the plan as requested to label the zoning and associated transitional

screening buffers.

UFMD Staff commented that no transitional screening has been proposed with this application, but it is required on the northern, western and southern sides of the site adjacent to the proposed improvements.

- In response, DPWES acknowledged the comments and agreed to provide transitional screening and stated that the details will be provided and addressed with the site plan submission to Land Development Services (LDS) at the time of permit review. A Waiver of Transitional Screening (WTSW) will be submitted under a separate cover to UFMD to provide 25 foot wide transitional screening instead of 35 foot wide transitional screening. The 25 foot wide screening will minimize the impact on the existing field, asphalt path and existing vegetation and preserve the ability to return the field to its original condition, with input from Neighborhood Community Services and/or Lincolnia Senior Center, as appropriate.

UFMD Staff commented that a pedestrian path appears to be proposed within the existing Transitional Screening Area, which is not allowed by the Zoning Ordinance and will likely have negative impacts to existing vegetation.

- In response, DPWES stated that the proposed location for the pedestrian path will be moved closer to the existing building as to not adversely impact the existing vegetation.

UFMD Staff commented that it appears that some types of fencing may be currently provided along the periphery of the site, but appears that some is in poor condition and may not meet the intent of the barrier required. In addition, it is unclear if this fencing provided is offsite, which could not be used to meet the onsite barrier requirement.

- In response, DPWES stated the detail of the fencing will be addressed with the site plan submission to LDS at the time of permit review and a WSTB will be submitted under a separate cover to UFMD for review. [Describe fence]

UFMD Staff commented that it is unclear how the interior parking lot landscaping requirement will be met since no landscaping has been proposed for this application,

- In response, DPWES stated this will be addressed with site plan submission to LDS at the time of permit review.

UFMD Staff commented that it is unclear how all the requirements of the Tree Conservation Plan will be met for the site. The Public Facilities Manual states that a Tree Conservation Plan shall be required when land disturbance has the potential to destroy and degrade onsite trees.

- In response, DPWES stated this proposal is for a temporary use, and the trail location through the existing tree area has been revised so as to not impact that area. A small amount of the site will be disturbed for the temporary shelter with minimal impact to the existing trees. A site visit prior to construction is planned to address any tree impact concerns.

UFMD Staff commented that the limits of clearing and grading as proposed jog in and out around the canopy of several trees located primarily offsite, which appears to be excessive and unnecessary. In

addition, it will remove and compact existing soil where transitional screening is required, which will likely require soil remediation as proposed prior to planting.

- In response, DPWES stated this will be addressed with site plan submission to LDS at the time of permit review by adjusting limit of clearing and grading inward as requested by UFMD during the consultation meeting with them.

Site Development and Inspections Division

Attachment J

SDID Staff noted that there is no Resource Protection Area (RPA) on this site. Additionally, there are no regulated floodplains or downstream drainage complaints on file.

SDID Staff commented that the application did not provide information regarding the stormwater detention postdevelopment and predevelopment peak release rates from this site.

- In response, DPWES stated that stormwater detention will be provided and shown with the Minor Site Plan to control the 1, 2 and 10 year storms by means of an underground facility as reviewed with staff from the Site Development and Inspections Division

SDID Staff commented that the application did not address proposed water quality measures, disturbed areas or impervious areas.

- In response, DPWES stated Virginia Runoff Reduction Method computations will be provided with the Minor Site Plan and will obtain nutrient credits thorough an outside party as coordinated the Site Development and Inspections Branch.

SDID Staff commented that no outfall narrative of detail was provided in the application to demonstrate how the PFM requirement of adequate outfall is met.

- In response, DPWES stated that based on review with Site Development and Inspections Branch, DPWES is using the energy balance equation and the outfall evaluation will stop at the opposite end of the existing building at the existing Storm Water Management facility. This location receives more than 90% of drainage from an incoming sewer pipe.

Wastewater Planning and Monitoring Division

Attachment K

The existing sanitary sewer facility have adequate capacity to accommodate the sewage from the proposed temporary community shelter for the referenced application.

Fire and Rescue – Strategic Planning

Attachment L

No comments.

Fire and Rescue – Fire Prevention

Attachment M

No comments.

Fairfax Water

Attachment N

Adequate domestic water service is available at the site from an existing 8-inch water main located on site. Depending on the configuration of any proposed on-site water mains, additional water main extensions may be necessary to satisfy fire flow requirements and accommodate water quality concerns.

- In response, DPWES will depict an extension of the waterline on the Minor Site Plan.

Police*Attachment O*

The current location and the new location of the temporary shelter are both within the Mason Station patrol district. The new location, remaining within the same patrol district, will not impact the police department's ability to respond to calls for service. Safety measures concerning the increase in pedestrian traffic should be considered as well as a secure buffer around the facility to separate pedestrian traffic/access to the surrounding neighborhoods. These two concerns were noted in the application under Item C, #6-Mitigation Measures.

City of Alexandria*Attachment P*

The City of Alexandria Planning and Zoning Staff noted that the proposed temporary shelter is adjacent to the Alexandria West SAP in Fairfax County. Additionally, staff commented that the temporary shelter would be in place for 4-5 years while another location is secured and a new facility is constructed. Staff asked for a general anticipated timeline of this process, including the schedule for public hearings. Staff noted that the proposed site is adjacent to the Lincolnia Senior Center and colocation of these services is ideal and makes this site a viable one. Staff inquired how the current or proposed temporary shelter handles overflow users or users who are turned away, and if there are or will be any alternative shelters that overflow users will be able to access.

The City of Alexandria Transportation & Environmental Services Staff recommended that the County make the existing bus stop on North Chambliss Street adjacent to the Lincolnia Senior Center site and the stop across the street ADA compliant and to consider installing a bus stop bench and/or bus shelter for both stops.

The City of Alexandria Fire Department commented that a fire hydrant should be installed within 100 feet of fire department connections, a rapid entry system for fire department use and provide a needed fire flow calculation.

- Fairfax County Fire and Rescue, Fire Prevention Division stated that these items are normally addressed during the plans review, testing and acceptance process.

The City of Alexandria Department of Community and Human Services commented that some Alexandria residents from the Lincolnia area have raised concerns regarding the proximity of the temporary shelter to their neighborhood and possible safety issues.

- Similar concerns have been raised by County residents and are addressed in this staff report.

Fairfax County DPWES Response to Comments*Attachment Q*

The formal DPWES response to comments noted above are in Attachment Q.

CONFORMANCE WITH THE COMPREHENSIVE PLAN*Attachment R*

Va. Code Sec. 15.2-2232, as amended, requires that the Planning Commission determine whether the general location or approximate location, character, and extent of the proposed facility are substantially in accord with the adopted Comprehensive Plan:

Location

The current Bailey's Crossroads Community Shelter opened in 1987 and is located in an area known as the "Southeast Quad," located on Columbia Pike, south of Leesburg Pike (Route 7). The current shelter is outdated and does not meet current needs or accessibility requirements. Additionally, there are redevelopment opportunities for the "Southeast Quad" which will contribute to the revitalization of Bailey's Crossroads; as a result the current shelter must be relocated by March, 2017. Until a permanent site for the shelter is secured and the facility is designed and constructed, a temporary shelter is needed to serve the homeless population of the Mason District. In response to this need, the recreational field at the Lincolnia Senior Center is proposed as the site for the temporary shelter for a period of four (4) to five (5) years.

The Lincolnia Senior Center site fits the selection criteria and timeframe for the temporary shelter. The site is owned by Fairfax County, and therefore does not require lengthy purchase or lease negotiations. It is zoned R-3, which allows the temporary shelter, considered a Public Use by the Zoning Ordinance, as a permitted use. The site is located in the Mason District, and is able to continue to serve this district's homeless population. Additionally, its proximity to public transportation, employment opportunities and human services fit the selection criteria.

The proposed site for the temporary shelter conforms to the recommendations of the Comprehensive Plan. The proposed site is identified on the Comprehensive Plan Map as Public Facilities, Governmental and Institutional use. Recommendations for the site from the Comprehensive Plan state the following: "Retain the Lincolnia Senior Center for public facilities use and in public ownership for school, local community and recreational use." The proposed use of the temporary shelter conforms to the recommendations of the Comprehensive Plan, as the proposed temporary shelter is a public use. The proposed temporary shelter will occupy approximately 60 percent of the recreation field behind the senior center while approximately 40 percent of the field will remain open for recreational use, conforming to the guidelines of the Comprehensive Plan. Additionally, the proposed shelter is a temporary use and the site will be restored to a full or near full recreational space once a permanent location is found and occupied.

The proposed site is surrounded by residential uses to the north, west and south, and commercial uses to the east. Directly to the north, is the Charleston Square Community, a neighborhood with 34 single family attached dwelling units. Further north, across Lincolnia Road, is Lincolnia Hills, a neighborhood comprised of single family detached dwelling units. To the west and southwest is Arbor Park, a multifamily development consisting of 851 multifamily dwelling units. Southeast of the senior center is Stonegate at Landmark, a neighborhood of 45 single family attached residential units. To the east, across North Chambliss Street are the Lincolnia Shopping Center and Plaza at Landmark, consisting of retail uses.

The Charleston Square Community is in close proximity to the proposed temporary shelter and approximately six (6) units will experience the greatest visual impact from the proposal. Currently, there is an existing six (6) foot board on board fence on the Charleston Square property along the northern property line. DPWES has proposed transitional screening and a new six (6) foot board on board fence between Charleston Square and the transitional screening area ~~and the proposed surface parking lot~~ to lessen the visual impact and create a physical barrier between the temporary shelter and the neighborhood.

The Arbor Park community, located to the west and southwest of the Senior Center, sits below a

steep grade along the west property line and an embankment along the south property line between this community and the recreation field at the Senior Center. Arbor Park is situated at a significantly lower grade than the Lincolnia Senior Center, thus creating a barrier and screen. The proposed temporary shelter will have no adverse visual impact on Arbor Park.

Stonegate at Landmark is located south of the Senior Center. There is an existing wooden fence between the Senior Center and Stonegate at Landmark and a paved trail connecting the neighborhood to the recreation field behind the Senior Center. The temporary shelter is proposed for the northern side of the recreational field, so there will be minimal visual impact on Stonegate at Landmark. Additionally, a six foot board on board fence is proposed as a barrier between the temporary shelter and the portion of the recreation field that will remain open for public use, further creating a visual barrier between the community and the temporary shelter.

The paved trail between Stonegate at Landmark and the Lincolnia Senior Center was part of a proffered commitment from the rezoning application for Stonegate at Landmark. The proffered commitment resulted in the construction of a trail to and around the recreation field by the developer of Stonegate at Landmark. According to the Proffer Interpretation Branch of the Department of Planning and Zoning, this proffered commitment was fulfilled. The Lincolnia Senior Center is not governed by this proffered commitment and is therefore not obligated by it. However, approximately 40 percent of the field will still be available for recreational use and DPWES has proposed constructing a temporary trail connecting gaps in the trail resulting from the temporary community shelter. Additionally, the community shelter is a temporary use and the full recreation field will be restored once a permanent site for the shelter is acquired and operational.

The temporary shelter will be accessible by vehicle from the parking lot of the Lincolnia Senior Center, which is accessible by vehicle from an entrance on North Chambliss Street. There are no additional vehicular access points proposed for the temporary shelter. A surface lot with 24 additional spaces is proposed to serve staff and residents. It is anticipated that most residents of the temporary shelter will not own vehicles and the temporary shelter will have an average of eight (8) daytime staff members and two (2) nighttime staff members. Additionally, the temporary shelter is anticipated to receive a minimal amount of visitors, therefore no adverse traffic impact is expected from the proposal. Most residences of the proposed temporary shelter are expected to access it by foot or transit. As a result, DPWES is proposing pedestrian improvement to the site.

Character

The proposed temporary shelter will be located in the recreation field behind the Lincolnia Senior Center. The recreation field is relatively flat and abuts single family attached dwelling units to the north and southeast, and multifamily dwelling units to the west and southwest. There is also a community garden adjacent to the recreation field that will not be impacted by the proposal. The recreation field is approximately 54,757 square feet, and 32,912 square feet of the recreation field will be used for the temporary shelter and surface parking facilities. The balance of the field, 21,845 square feet, will remain open for recreational use. The entire field ~~will~~ may be restored for recreational use when the temporary shelter is removed from the site within four (4) to five (5) years; a senior center option to retain 12 parking spaces could slightly reduce the field size.

The proposed temporary shelter will consist of a one story, 5,922 square foot pre-manufactured modular building with a flat roof. It will have a height of 18 feet, a width of 56 feet and a length of 106 feet. The façade of the building will be comprised of cementitious siding with architectural

enhancements compatible with the Lincolnia Senior Center. Ramps, stairs and railings to the building will be constructed of aluminum and/or wood. Landscaping will be provided to buffer the view of the temporary shelter from the surrounding residential communities. There will be a (six) 6 foot board on board fence along the southern side of the temporary shelter, to provide a physical barrier between the facility and the remaining portion of the recreational field. Additionally, there will be a six (6) foot board on board fence on the northern side of the temporary shelter, and a chain link fence to the east, between the Senior Center and the facility. There is also an existing chain link fence to the west that will remain, creating a physical barrier around the proposed temporary shelter.

Extent

Some impacts to the immediate area are expected from the proposed temporary shelter that will result from the introduction of working, volunteer and resident populations. However, the impacts arising from the operations of the temporary shelter and the new population are not expected to be adverse. The new residents of the temporary shelter will live in a controlled environment and work with County staff, volunteers, and others to resolve issues associated with employment, residency, and health. For residents, the temporary shelter will afford a secure living environment, transit access, and potential employment opportunities.

The proposed temporary shelter will be staffed 24 hours a day, seven (7) days a week, with an average of eight (8) daytime and two (2) nighttime staff members. The facility will have 46 residents. At the current shelter, residents are expected to leave by 9:30 am and may return at 4:30 pm with the exception of extreme weather conditions. Under a pilot program at the existing Bailey's Crossroads Community Shelter as of May, 2016, residents are allowed to remain in the shelter during the day where they will engage in workshops promoting self-sufficiency and rehousing. Additionally, the proposed temporary shelter will offer drop-in services three days a week from 9:30 am to 1:00 pm, providing unsheltered individuals services, showers and lunch. It should be noted that modifications to the drop-in service are being considered for the proposed temporary shelter.

The vehicular traffic resulting from the proposed temporary shelter is not expected to create an adverse impact on the surrounding area. There are an average of 20 vehicle trips per 24 hour period at the existing Bailey's Crossroads shelter including staff, clients, and transportation to/from appointments, volunteers and county support services. The proposed temporary shelter is not expected to generate more vehicular trips than at the existing shelter. Most residents of the proposed temporary shelter are expected to access it by foot or transit, and in response the proposed temporary shelter will have new pedestrian connections to North Chambliss Street, including a new connecting walkway from the Senior Center parking lot to the sidewalks along North Chambliss Street, new pedestrian crosswalks across the existing parking facilities, and an extension of the sidewalk on the north side of the Senior Center building.

The proposed temporary shelter is not expected to have adverse impacts on the environment, noise, light, water, or air quality of adjacent residences. The proposal will have landscaping, transitional screening, tree protection measures and perimeter erosion control measures. The facility will have setbacks conforming to the Zoning Ordinance and landscaping providing a buffer to neighboring residents. Additionally, the proposal will not have adverse noise or light impacts, as the proposed modular structure will not have exterior speakers and site lighting will conform to applicable Zoning Ordinances. The existing water and sanitary sewer services will support the facility and erosion and sediment control systems will be installed to manage storm water runoff during construction, protecting the water quality. If needed to support fire flow requirements, additional water main

extensions will be provided. No change in air quality is anticipated as a result of this proposal.

The proposed temporary shelter will offer a controlled environment offering security to its residences and the surrounding community. Perimeter fencing around the proposed facility will keep shelter related activities within the shelter area. Additionally, the proposed facility will have lighting and cameras to monitor the site for the protection of the residents and surrounding community. There will also be staff and volunteer support 24 hours a day, seven days a week. The proposed temporary shelter will also have a curfew of 9:00 pm on weekdays and 10:00 pm on weekends.

Once a permanent location is secured and constructed for the Bailey's Crossroads Shelter, the temporary facility in the recreation field at the Lincolnia Senior Center will be removed and the field will be restored. The transitional screening added to the site for the proposed temporary shelter will remain, creating an additional buffer between the surrounding residences and the recreation field. Two (2) trees will be removed for the proposed temporary shelter and will be supplemented with new trees to meet the pre-existing tree coverage. This proposal will also result in permanent parking and pedestrian improvements for the Senior Center. Half of the parking constructed for the proposed temporary shelter ~~will~~ may remain at the request of the Senior Center, resulting in 12 additional parking spaces. Additionally, the proposed pedestrian access improvements to North Chambliss Street will remain, improving access to residents and visitors to the Senior Center and recreation field.

CONCLUSIONS AND RECOMMENDATIONS

Staff concludes that the subject proposal by the Fairfax County Department of Public Works and Environmental Services, to develop a Temporary Facility for the Bailey's Crossroads Community Shelter located at 4710 North Chambliss Street, Alexandria, VA 22312, satisfies the criteria of location, character, and extent as specified in Va. Code Sec. 15.2-2232, as amended. Staff therefore recommends that the Planning Commission find the subject Application 2232-M16-22 is substantially in accord with provisions of the adopted Comprehensive Plan.

Attachment A

Application



12/2015



**2232 PUBLIC FACILITY REVIEW
(Non-Telecommunications)**

**County of Fairfax, Virginia
Application for Determination
Pursuant to
Virginia Code Section 15.2-2232**

**** This area to be completed by staff ****

APPLICATION NUMBER 2232-M16-22

(Please Type or Clearly Print)

PART I: APPLICATION SUMMARY

LOCATION OF PROPOSED USE

Address 4710 North Chambliss Street

City/Town Alexandria Zip Code 22312

Place Name (if at county facility) Lincolnia Senior Center

Tax Map I.D. Number(s) 0722 01 0043

Fairfax County Supervisor District Mason District

Total Area of Subject Parcel(s) 4.833 Acres (210,543 SQ.FT.)

Zoning District R-3

APPLICANT(S)

Name (Company or Agency) Public Private Partnerships Branch, BDCD, DPWES

Agent Name Gasim Elfaki, Project Manager

(Note: Failure to notify County of a change in agent may result in application processing delays)

Agent's Mailing Address 12000 Government Center Parkway, Suite 449

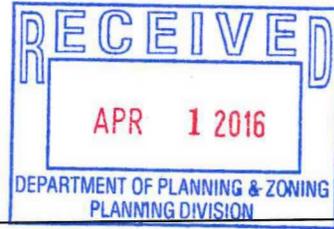
City/Town Fairfax State VA Zip Code 22035-0054

Telephone Number (703) 324-2474 Fax (703) 324-4365

E-mail gasim.elfaki@fairfaxcounty.gov

Secondary Contact (Must Be Provided) Joan Beacham, Project Coordinator

Telephone Number (703) 324-5668 E-mail Joan.Beacham@fairfaxcounty.gov



PROPERTY OWNER(s) OF RECORD

Owner Fairfax County Board of Supervisors

Street Address 12000 Government Center Parkway, Suite 530

City/Town Fairfax State VA Zip Code 22035

Has property owner been contacted about this proposed use? Yes No

BRIEF DESCRIPTION OF PROPOSED USE

Temporary facility for the Baileys Crossroad Community Shelter to provide for the program relocation allowing the redevelopment of the existing site and design and construction of the permanent facility at a new location.

PRIOR TELECOMMUNICATIONS APPROVAL(S)

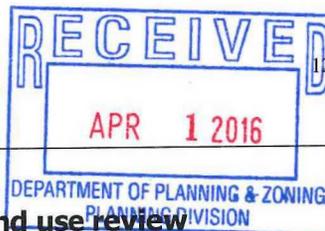
Research and provide all previous 2232, 456, 6409, or "Feature Shown" (FS) approvals for the applicant carrier that is the subject of this application. Provide explanation for any conflicting information between previous approval(s) of record and the information shown in this current application.

None

PRIOR ZONING APPROVAL(S)

Research and provide previous zoning approvals (RZ, SE, SP, VC, etc.) for all uses on site such as proffered conditions, special exceptions, special permits, variances, or development plans. This applies to any carrier with telecommunication equipment on the subject property.

Rezoning from R-2 to R-3 (RZ 86-M-069)



SIGNATURE

The undersigned acknowledges that additional Fairfax County land use review requirements may be identified during the review of this 2232 Review application and the fulfillment of such requirements is the responsibility of the applicant. The undersigned also acknowledges that all Fairfax County Zoning Ordinance requirements pertaining to this project shall be fulfilled.

In the event a new agent is assigned responsibility for this application, the applicant agrees to provide a letter to the Department of Planning and Zoning authorizing the transfer of responsibility for the application and providing all new contact information. In the event the applicant fails to notify County staff of a change in agent, the application may be subject to processing delays.

Signature of Applicant or Agent _____

A handwritten signature in blue ink, appearing to be "J. J. [unclear]".

Date _____

3/31/2016

Submit completed application to:

**Chris Caperton, Chief, Facilities Planning Branch
 Fairfax County Department of Planning and Zoning
 12055 Government Center Parkway, Suite 730
 Fairfax, Virginia 22035-5507
 (703) 324-1380**

Section 15.2-2232 Review
Temporary Bailey's Crossroads Community Shelter
Project Number HS-000013-001
March 31, 2016



PART II: SUPPORTING MATERIALS AND INFORMATION

- A. PROPERTY IDENTIFICATION MAP:** At a scale of 1" = 500' identify the proposed site for the facility with the subject property centered and highlighted on a Fairfax County Tax Map. Records available online at <http://icare.fairfaxcounty.gov/Main/Home.aspx>

See attached Vicinity Map

- B. PROPOSED FACILITY/SITE PLAN (AT A SCALE OF 1"= NOT MORE THAN 50'):**

- ✓ One (1) 24" x 36" copy to correct scale - *Attached*
- ✓ Four (4) 11" x 17" copies to correct scale - *Attached*
- ✓ One (1) 8½" x 11" copies - *Attached*

Note: Additional copies may be requested by County Staff

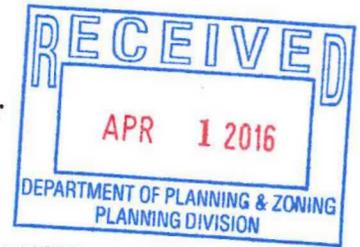
Include in the facility/site plan the following information as relevant to the proposal:

1. Subject and adjoining property boundaries
2. Public right(s)-of-way and names
3. Scale and north arrow
4. Locations, dimensions, and maximum heights of all existing and proposed structures and equipment
5. Distance of proposed structures and equipment to all lot lines
6. When located in a utility easement or road right-of-way, distance of structures and equipment to all utility easement lines or road right-of-way lines
7. Delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, and delineation of any Resource Protection Area
8. Building size or land area of new facility or use (acres or square feet)
9. Area of existing facility or use to be enlarged or renovated (acres or square feet)
10. Area of proposed enlargement or renovation (acres or square feet)
11. Any features of the proposed use such as fencing, screening and landscaping, and existing topography with a maximum contour interval of five (5) feet
12. Existing vegetation, proposed limits of clearing, and proposed landscaping and screening as required by the Fairfax County Zoning Ordinance
13. Details of screening for the use showing type of screening material, dimensions and placement; if landscaping is provided, list the height of the landscaping at time of planting and the ultimate height

- C. PHOTOGRAPHS OF SITE:** Photographs of the existing structure, building and site as applicable. Photo simulations of proposed development may also be requested by County Staff.

See attached.

Section 15.2-2232 Review
Temporary Bailey's Crossroads Community Shelter
Project Number HS-000013-001
March 31, 2016



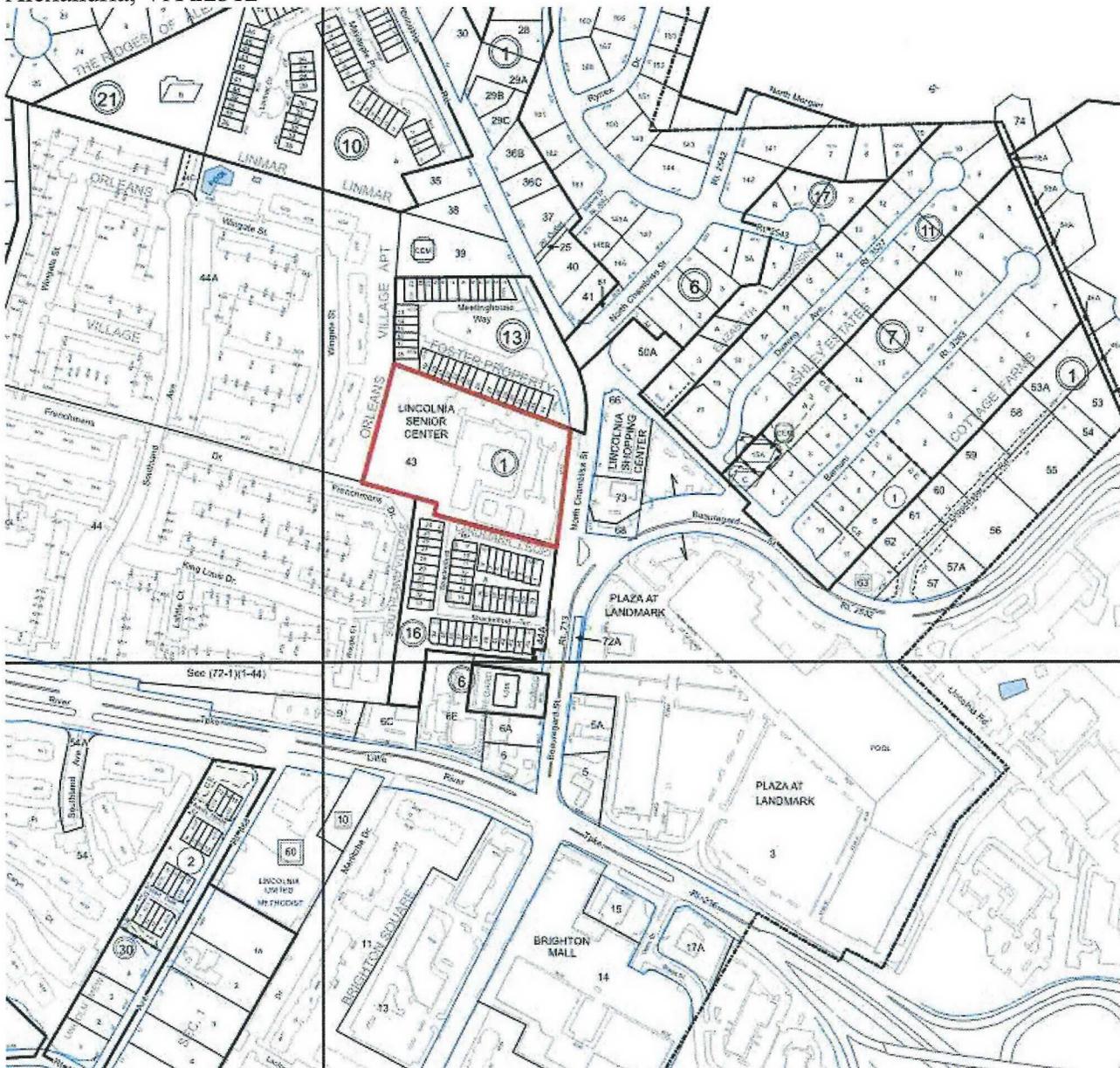
PART II: SUPPORTING MATERIALS AND INFORMATION

A. PROPERTY IDENTIFICATION MAP:

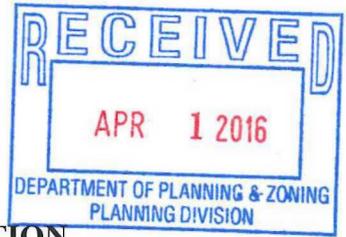
VICINITY MAP

Scale: 1" = 500'

Lincolnia Senior Center
4710 North Chambliss Street
Alexandria, VA 22312



Section 15.2-2232 Review
Temporary Bailey's Crossroads Community Shelter
Project Number HS-000013-001
March 31, 2016



PART II: SUPPORTING MATERIALS AND INFORMATION

C. PHOTOGRAPHS OF SITE:



Photo 1: Looking East towards the shopping center across N. Chambliss Street



Photo 2: Looking West towards Lincolnia Senior Center site entry from N. Chambliss Street

Temporary Bailey's Crossroads Community Shelter
2232 Report



Photo 3: Looking South towards N. Chambliss Street

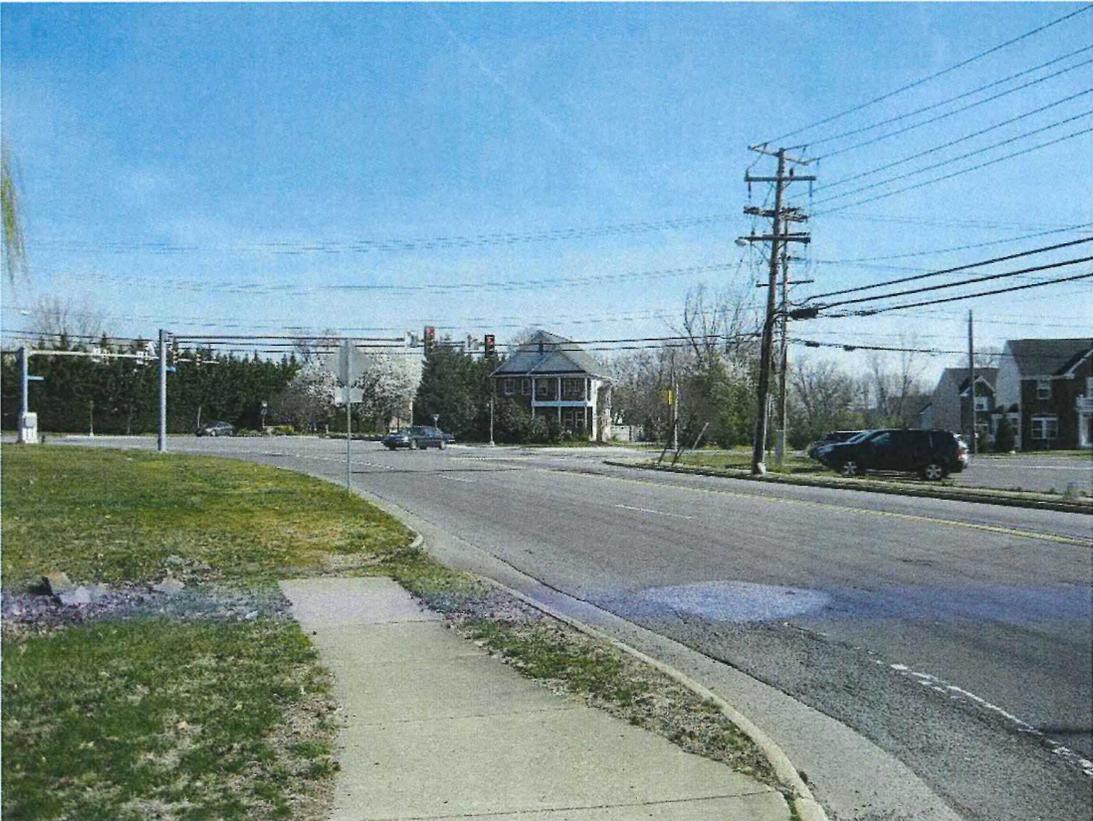


Photo 4: Looking North towards N. Chambliss Street

Temporary Bailey's Crossroads Community Shelter
2232 Report



Photo 5: Looking East towards bus stops at N. Chambliss Street



Photo 6: Looking West towards the open field entry

Temporary Bailey's Crossroads Community Shelter
2232 Report



Photo 7: Looking North towards Charleston Square – North part of the field



Photo 8: Looking West towards Arbor Park of Alexandria – West part of the field

Temporary Bailey's Crossroads Community Shelter
2232 Report



Photo 9: Looking Southwest towards Arbor Park of Alexandria – Southwest part of the field



Photo 10: Looking Southeast towards Stone Gate and Lincolnia Senior Center – Southeast part of the field

Temporary Bailey's Crossroads Community Shelter
2232 Report



Photo 11: Looking East towards Lincolnia Senior Center community gardens



Photo 12: Looking South towards the site entry from Shackelford Terrace

Section 15.2-2232 Review
Temporary Bailey's Crossroads Community Shelter
Project Number HS-000013-001
March 31, 2016



PART II: SUPPORTING MATERIALS AND INFORMATION

D. PROPOSED FACILITY ELEVATION:



EAST ELEVATION



NORTH ELEVATION

Section 15.2-2232 Review
Temporary Bailey's Crossroads Community Shelter
Project Number HS-000013-001
March 31, 2016
Revised May 12, 2016



PART III: STATEMENT OF JUSTIFICATION

A. DESCRIPTION OF THE PROPOSED USE:

1. Project Description:

The approved Southeast Quad redevelopment agreement between the Board of Supervisors and the private developer, AvalonBay Communities, Inc. that includes the currently owned Bailey's Shelter site, requires the relocation of the existing Bailey's Shelter by Spring, 2017.

The proposed temporary facility will house the Bailey's Crossroads Community Shelter for approximately 4-5 years while a new shelter site is secured and the facility is designed and constructed for permanent location.

The proposed site is located along the west side of North Chambliss to the west of the intersection of Lincolnia Road and Beauregard Street. The property is owned by the Board of Supervisors and is in R-3 Residential District with a site area of approximately 4.833 acres. The site is currently occupied by Lincolnia Senior Center. An open relatively flat field is located to the north side.

The temporary shelter will be located on the field towards the northwest side of the site. The site is accessible from N. Chambliss Street and is bounded on the west and southwest by Arbor Park of Alexandria, on the north by Charleston Square, on the southeast by Stone Gate and Shackelford Terrace, all residential developments. North Chambliss Street is located to the east of the site.

The proposed temporary shelter will be a one-story structure comprised of pre-manufactured modular buildings for living quarters, service areas and administrative areas. The pre-manufactured modular building is approximately 56' wide by 106' long, approximately 18' high to the ridge of the roofline, and has an area of approximately 5,922 GSF. Twenty four (24) parking spaces including 1 handicap parking space will be provided.

The facades of the pre-manufactured modular building will be comprised of cementitious siding with a relatively flat roof. Ramps, stairs, and railings to the building will be constructed of aluminum and/or wood. The temporary shelter structures will be removed after the new facility is completed and occupied.

The facility is currently considered a "Public Use" in accordance with the Zoning Ordinance definition. The shelter houses 46 beds, 32 for men and 14 for women. The facility is staffed 24 hours per day, 7 days per week, with an average of 8 daytime staff members and 2 staff members at night. At the current facility, shelter residents are expected to leave the shelter by 9:30 am and may return at 4:30 unless meetings are scheduled with case management staff or in occasions of extreme weather conditions.

Modification to this program model are under consideration and a pilot program is currently underway at the existing facility as of early May 2016. These modification include allowing residents to remain in the shelter if they choose and providing more on site services as well as the facilitation of additional transportation options to local service providers. The shelter operates with a 9 pm weekday curfew with a 10 pm curfew on weekends. Three days a week, the facility offers a drop- in service from 9:30 to 1 pm to provide unsheltered individuals access to the facility to engage in services, shower and eat lunch. Modifications to the drop –in program are also under consideration for the temporary location.

2. Area to be served by the proposed use

The existing Bailey's Shelter for adults is located in Mason District. The temporary shelter will continue to be in Mason District, serving the same population as the existing facility.

3. Maintenance requirements and frequency

The new shelter will be maintained by the County through contracted services. The services will include standard custodial services, facility and equipment repairs, and routine grounds and landscaping maintenance. Standard power, information technology, and telecommunication facilities will be provided to meet the shelter program requirements same as the existing shelter facility.

4. Propagation maps (for telecommunications applications) N/A

B. REQUIREMENT FOR PROPOSED USE

1. Why the new or expanded facility is needed

The existing Bailey's Crossroads Community Shelter facility is located at 3525 Moncure Avenue, Falls Church, Virginia. The approved real estate exchange agreement for the redevelopment of the site occupied by the current facility requires that the facility be relocated by March 2017. Due to the redevelopment schedule and the time required in locating a permanent site and constructing a new shelter, a temporary relocation is required to ensure the services and operations of the shelter program continue while the site redevelopment work begins. As such the shelter will be relocated to a temporary site and housed in modular units. The Fairfax County Department of Public Works and Environmental Services (DPWES), Building Design and Construction Division (BDCD) is currently working on a replacement site for the permanent facility. The temporary shelter at 4710 North Chambliss Street, Alexandria is required to allow for continues operation of the shelter while the new replacement site is searched and the facility is designed and constructed.

2. Why the proposed location is the best location for the proposed use

The property is zoned R-3 and allows the public use by right. It is a County owned site and does not require lease or private party agreements thus allowing for the timely relocation of the shelter. The site is located near businesses and is accessible by public transportation, both of which are very important factors in serving the shelter population.

3. Why the proposed location and type of facility is the least disruptive alternative

The shelter is a public use facility and will be located in the same service area as the existing facility. The site is relatively flat and will require minimal site work for this location. The parking and facility located to the rear of the site will have no impact on the usability of the existing Senior Center. The existing conditions and the site location offer the least disruptive option and the most expedited alternative for the relocation. The site area is sufficient to allow for the facility and the parking to meet the Zoning Ordinance requirements for development conditions. The facility will be designed to meet county, state, and federal codes for life safety and accessibility.

Neighborhood and Community Services has confirmed there is no scheduled use of this field and staff from Housing and Community Development confirmed that the community use of the field is sporadic. The shelter facility will be located on the northern portion of the field and will be separated from the remaining field by a fence. Approximately half of the field to the south will remain open and available for community use and the existing asphalt track will be connected to provide a continuous loop for walking laps. The community garden area used by the senior center will remain in the current location. When the temporary shelter is removed, the field will be restored to a similar state that existed prior to the temporary shelter construction.

C. ANTICIPATED IMPACTS / MITIGATION

1. Visual

The facility location on site will be coordinated with the existing developments to allow for proper setbacks within zoning limitations. Landscaping will be provided to buffer the view of the shelter area from neighboring residential units. The proposed shelter will be a one-story structure comprised of a pre-manufactured modular building however, architectural enhancements will be incorporated into facade design to be compatible with residential facilities.

2. Noise and light

The facility will not have any major on/off site noise impacts. Appropriate setbacks and buffers will be provided. There will not be any exterior speakers on the building. All site lighting will be designed to provide security and comply with Zoning Ordinances requirements.

3. Air and water quality

No change in air quality is anticipated. The existing water and sanitary sewer services will support the new facility. Appropriate water quality and quantity control design locations and computations as well as stormwater and BMP narratives and the adequate outfall analysis will be included in the development plans per the PFM requirements for DPWES/Land Development Services (LDS) site plan review and approval. Erosion and sediment control systems will be installed to manage stormwater runoff during construction in accordance with the PFM.

4. Environmental

The new facility will have minimal or no environmental impact on the adjacent properties. Landscaping will be provided as required and appropriate in the overall site development

plan. Transitional screening, tree protection measures and perimeter erosion control measures will be provided in accordance with the governing regulations and standards including the Zoning Ordinance and the PFM, as applicable.

5. Transportation (including trip generation)

No significant additional traffic is expected to be generated from the shelter use. Most shelter residents do not own vehicles and the shelter will receive minimal visitors on a daily basis. Adequate parking is provided to meet staff and residence requirements.

6. Mitigation Measures

The temporary facility will be removed in its entirety after the new facility has been constructed and is operational. The site will be restored to a similar state that existed prior to the temporary shelter construction. The new pedestrian access way and improved landscape buffer will remain. Trees that are removed as a result of temporary facility construction will be supplemented with new trees to meet the pre-existing tree coverage. Appropriate signage in the surrounding area, fencing around the perimeter and full time security will be provided.

D. CONFORMANCE WITH THE COMPREHENSIVE PLAN AND OTHER STANDARDS

1. Comprehensive Plan policies and guidelines that directly support the proposal

The shelter is a public facility to be located on the Board of Supervisor owned property by right.

2. Relevant standards/criteria supporting the facility and location

The proposed site area is sufficiently large to accommodate the new temporary shelter. The design will meet the Zoning Ordinance requirements for setbacks, open space, landscaping and other improvements. The facility will also be designed to meet all applicable County, State, and Federal codes and standards.

The existing facility is currently an active site housing an adult senior center, an adult daycare facility as well as senior and assisted living. The co-location of County facilities creates a potential for shared services and efficiencies in maintenance.

E. ALTERNATIVE SITES CONSIDERED FOR THIS USE

1. Other properties

Multiple sites were reviewed for the facility and several that would accommodate the temporary facility were identified for further review. Due to the short time frame for the required relocation, the proposed site is the best fit for the temporary shelter, other sites were deficient in meeting the relocation requirement which included access to public transportation, access and potential employment service areas, sufficient site area to accommodate both building and site area requirements, and opportunity to meet the required relocation schedule.

2. Other locations on the subject property

The shelter is located at the north west of the site to allow for visual access from North Chambliss Street and for minimal impact on the loading dock and community gardens of the existing facility. This location also allows for a portion of the field to remain available for community use and for the community garden area to remain undisturbed. As part of the recent Senior Center renovations, a paved sidewalk was installed that provides access to the remaining portion of the field. Due to limited size of the site, other site locations were deemed to not be feasible.

3. Reasons for rejecting each alternative location

Other sites were rejected for a number of reasons including lease agreements, inaccessibility by public transportation, site zoning requiring zoning actions that would not accommodate the redevelopment schedule, site size, and limited availability within the current service area.

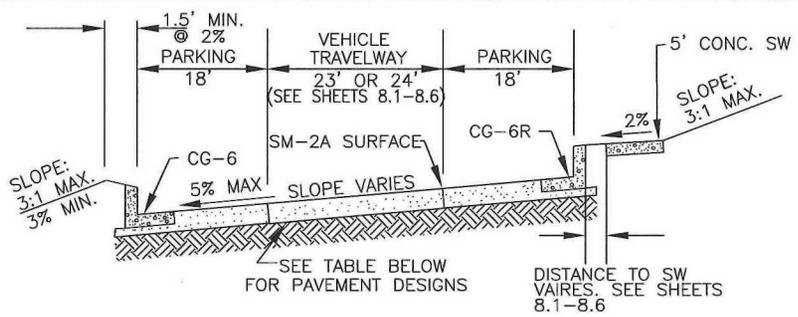
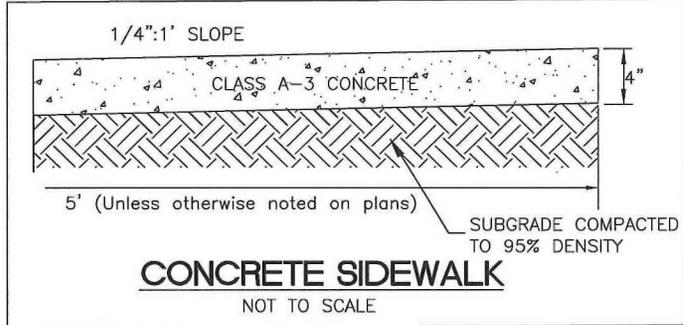


BURGESS & NIPLÉ
 4180 PLEASANT VALLEY ROAD
 CHANTILLY, VIRGINIA 20151
 PHONE: (703) 651-1888 FAX: (703) 651-4041

GENERAL NOTES AND DETAILS
TEMPORARY BAILEY'S CROSSROADS
COMMUNITY SHELTER
 MASON DISTRICT
 FAIRFAX COUNTY, VIRGINIA

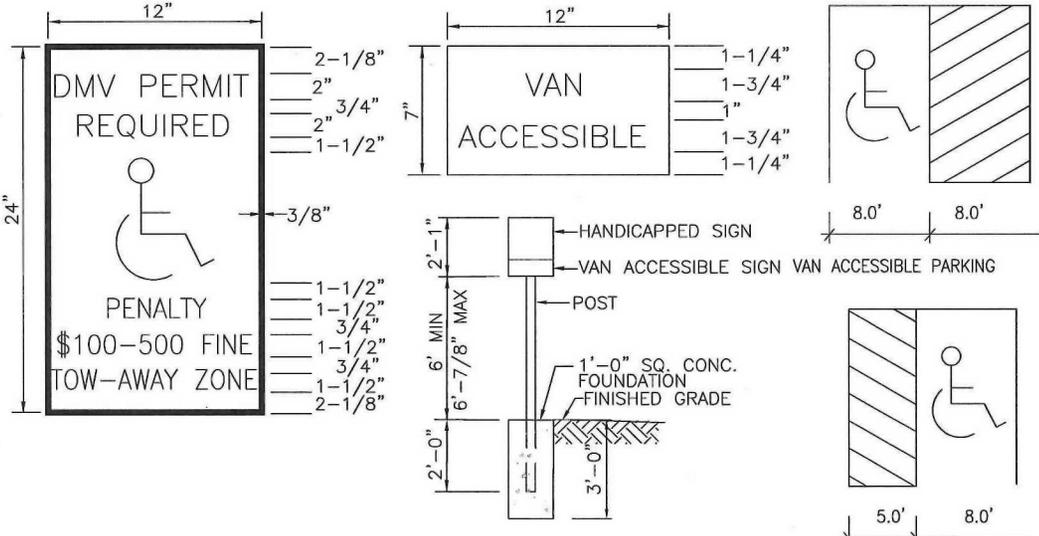
NO.	DESCRIPTION / REVISIONS	DATE

DATE: MAY 13, 2016
 SCALE: N/A
 DESIGNED BY: ANJ
 DRAWN BY: ANJ
 CHECKED BY: LJK
 APPROVED BY: LJK
 SEN P.E.: PR54555
 SHEET: C-22 OF 7
 SEN P.E.:



PAVEMENT DESIGN				
LOCATION	BITUMINOUS SURFACE	BASE	SUBBASE	REMARKS
PARKING AREAS	1.5" (SM-9.5A)	2.0" (IM-19.0)	8.0" (21A, TYPE I)	
HEAVY VEHICLE TRAVELWAYS	1.5" (SM-9.5A)	3.0" (IM-19.0)	8.0" (21A, TYPE I)	SEE SHEETS C-15.1 - C-15.3

TYPICAL SECTION
PARKING AREAS AND TRAVELWAYS
 NOT TO SCALE



ACCESSIBLE PARKING SIGNS ACCESSIBLE PARKING
 NOT TO SCALE

- NOTES:
1. THE CONTRACTOR IS TO HOLD THE PROPOSED SPOTS SHOWN AND BLEND THE PAVEMENT BACK INTO THE EXISTING PAVEMENT AT A SLOPE NO GREATER THAN 5% EXCEPT AT ADA SPACES. HOWEVER, IF THE CONTRACTOR HAS TO GO BEYOND THE LIMITS OF CLEARING SHOWN ON THE PLAN TO TIE BACK IN TO EXISTING GRADE HE IS TO NOTIFY THE FAIRFAX COUNTY PARK AUTHORITY PRIOR TO DEMOLISHING THE PAVEMENT. THE CONTRACTOR IS TO SAWCUT AND REMOVE THE PAVEMENT TO THE FULL DEPTH AND REPLACE IT WITH A PAVEMENT SECTION THAT MATCHES THE EXISTING SECTION. THE CONTRACTOR IS TO MILL A MINIMUM OF 1' BEYOND THE SAWCUT AND APPLY A TACK COAT PRIOR TO INSTALLING THE TOP COURSE OF PAVEMENT.
 2. THE SLOPE WITHIN THE ADA PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 3. THE CONTRACTOR IS TO TIME THEIR WORK SUCH AS TO MINIMIZE THE IMPACT ON THE VEHICULAR ACCESS TO THE PARKING LOT.
 4. THE CONTRACTOR SHALL NOTIFY FCPA 48 HOURS PRIOR TO ANY CLOSURES OF THE PARKING LOT.
 5. ACCESS TO THE LOT WITH FULL 2 WAY TRAFFIC SHALL BE RESTORED AT THE END OF EACH DAY.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	CENTERLINE	
	PROPERTY LINE AND/OR RIGHT OF WAY	
	CONCRETE CURB AND GUTTER	
CG-6 (or CG-6R)	CONCRETE CURB AND GUTTER	CG-6R TRANS CG-6
	CONCRETE CURB	
CG-2	CONCRETE CURB	CG-2
	EDGE OF PAVEMENT	
	C/L DITCH	
	CHAIN LINK FENCE	
x CLF x	CHAIN LINK FENCE	x CLF x
	WOOD FENCE	
x 4' WF x	WOOD FENCE	x 4' WF x
	INDEX CONTOUR LINE	
- - - 310 - - -	INDEX CONTOUR LINE	- - - 310 - - -
	INTERMEDIATE CONTOUR LINE	
- - - 308 - - -	INTERMEDIATE CONTOUR LINE	- - - 308 - - -
x 305.5	GROUND SPOT ELEVATION	+98.60
	LIMITS OF CONSTRUCTION	
OHE	OVERHEAD ELECTRIC POWER/TELE	OHE
GAS	UNDERGROUND GAS LINE	G
UGT	UNDERGROUND TELEPHONE LINE	UGT
UGE	UNDERGROUND ELECTRIC LINE	E
CTV	UNDERGROUND CABLE TV LINE	CTV
W	WATERLINE	W
	STORM SEWER	
	SANITARY SEWER	
	SANITARY SEWER MANHOLE	
	STORM SEWER MANHOLE	
	STORM DRAIN/DROP INLET	
	STORM STRUCTURE NUMBER	
	SANITARY STRUCTURE NUMBER	

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	NUMBER OF PARKING SPACES	
	TRAVERSE CONTROL POINT	
IPF	IRON PIPE FOUND	
	GUY ANCHOR	
	GAS VALVE/WATER VALVE	
	TELEPHONE PEDESTAL	
	LIGHT POLE	
	TELEPHONE POLE	
	ELECTRIC POWER/TELE POLE	
	TRAFFIC SIGNAL POLE	
	SIGN	
	FIRE HYDRANT	
	TREE/GROUP OF TREES	
	SHRUB/SHRUBS	
	CURB CUT RAMP CG-12	
	HANDICAP RAMP	
	BORING HOLE / NUMBER	
	TEST PIT	
	BENCH MARK	

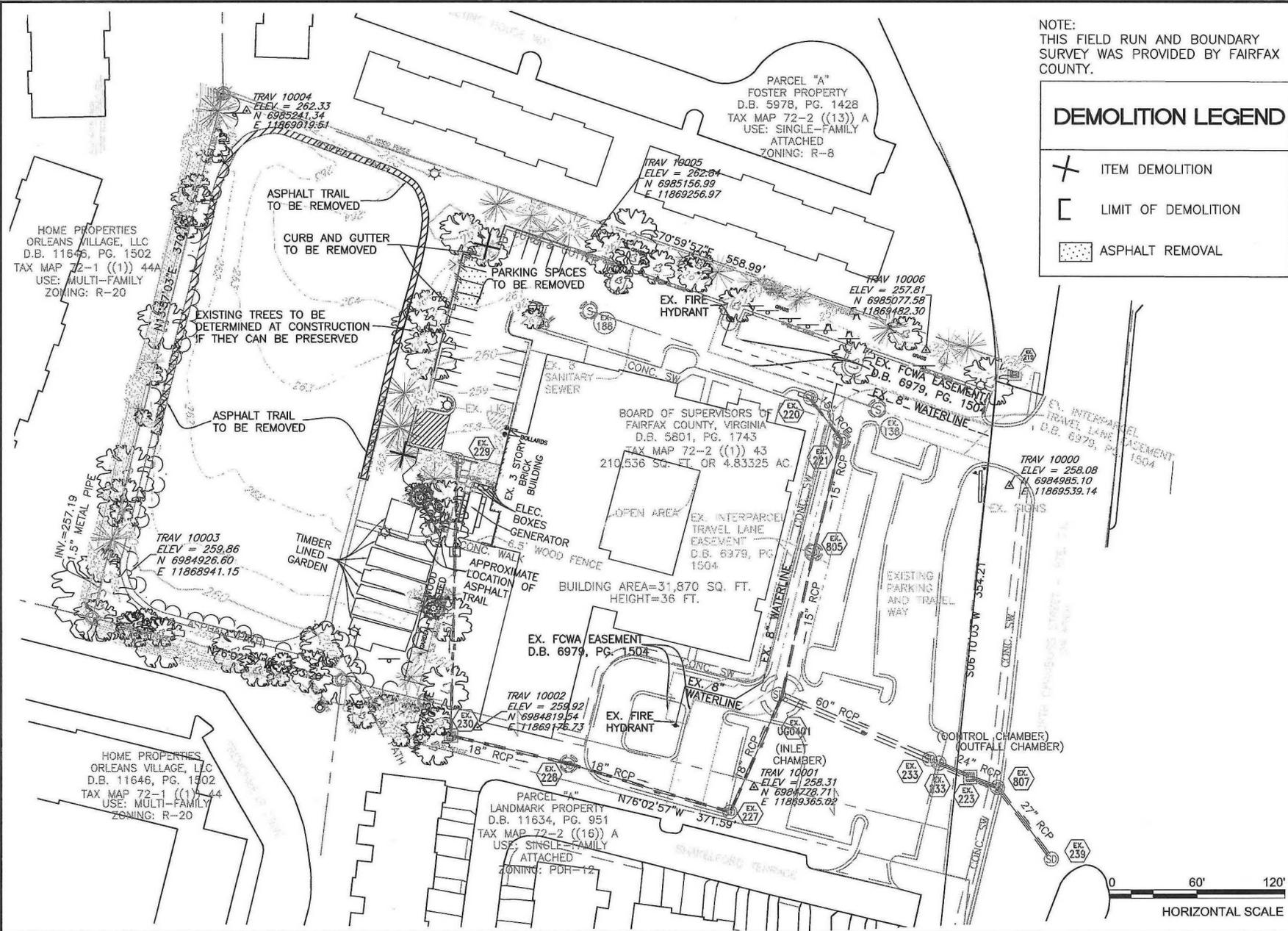


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 PHOENIX, ARIZONA 85028
 PHONE (602) 831-4920 FAX (602) 831-4041

GENERAL NOTES AND DETAILS
TEMPORARY BAILEY'S CROSSROADS
COMMUNITY SHELTER
MARION COUNTY, VIRGINIA

NO.	DESCRIPTION	DATE

DATE: MAY 13, 2018
 SCALE: N/A
 DESIGNED BY: ANJ
 DRAWN BY: ANJ
 CHECKED BY: LKK
 APPROVED BY: LKK
 DSN PR: PRS4586
 SHEET: C-2.3 OF 7
 DSN PR:



DEMOLITION LEGEND

- ITEM DEMOLITION
- LIMIT OF DEMOLITION
- ASPHALT REMOVAL



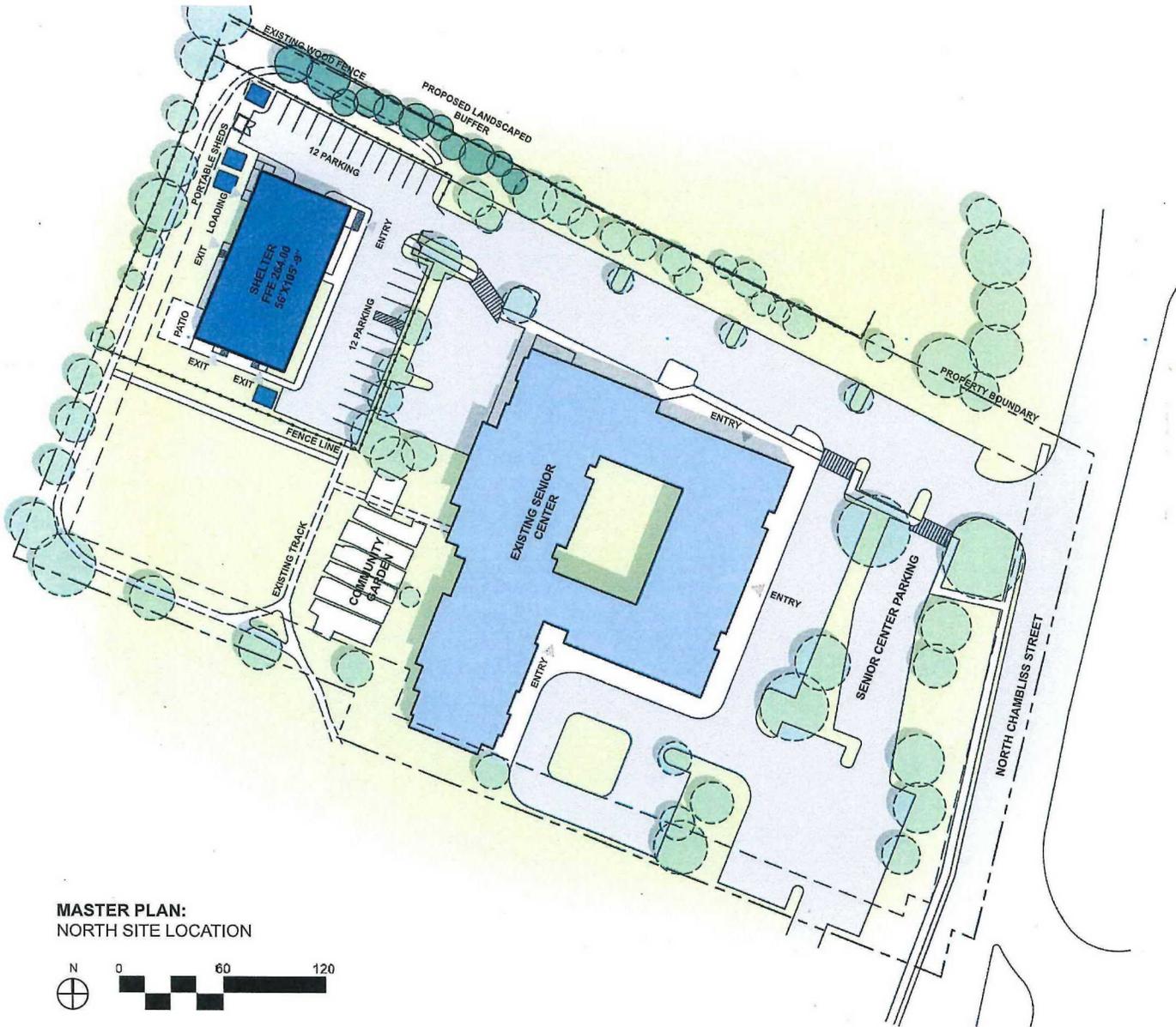
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4180 PLEASANT VALLEY ROAD
CHANTILLY, VIRGINIA 20151
PHONE: (703) 681-8800 FAX: (703) 681-0041

EXISTING CONDITIONS AND DEMOLITION PLAN
TEMPORARY BAILEY'S CROSSROADS
COMMUNITY SHELTER

MASON OUTLET

NO.	DESCRIPTION / REVISIONS	DATE

DATE: MAY 13, 2016
SCALE: NONE
DESIGNED BY: ANJ
DRAWN BY: ANJ
CHECKED BY: LKK
APPROVED BY: LKK
DATE PLO: PR54566
DRAWN BY: C-3.1 OF 7



MASTER PLAN:
NORTH SITE LOCATION



FAIRFAX COUNTY
BOA TASK 022
AECOM Project No. 60480129

PHASE II
TEMPORARY BAILEY'S
CROSSROADS
COMMUNITY SHELTER

23 May 2016



AECOM

Attachment B

Staff Analysis

Department of Planning and Zoning
Zoning Administration Division

Stinson, David B.

From: Hushour, Andrew
Sent: Wednesday, April 27, 2016 2:53 PM
To: Stinson, David B.; Caperton, Chris B
Subject: 2232-M16-22; DPWES - Office of Capital Facilities; 4710 North Chambliss Street

2232-M16-22

Department of Public Works & Environmental Services and the Office of Capital Facilities – Construction of a new +5,900 square foot Bailey’s Crossroads Community Shelter, as a temporary facility, with associated parking.

4710 North Chambliss Street

Tax Map Ref.: 72-2 ((1)) 43

Zoning District: R-3

Comments: The proposed use is deemed to be a public use, which is permitted by-right in the R-3 District. The proposed plan appears to meet all applicable Zoning Ordinance requirements with respect to use and bulk regulations. Site plan approval will be required, to address all site layout matters, such as parking, lighting, landscaping/screening, etc.

ZED: None applicable.

Prepared by: Andrew Hushour – 4/27/2016

Attachment C

Staff Analysis

Department of Planning and Zoning
Planning Division – Historic Preservation/Heritage Resources



County of Fairfax, Virginia

MEMORANDUM

DATE: April 13, 2016

TO: Chris B. Caperton, Chief
Facilities Planning Branch, Planning Division, DPZ

FROM: Stephanie Goodrich 
Historic Preservation Planner

SUBJECT: Application Number 2232-M16-22
4710 North Chambliss Street, Alexandria, VA 22312
Temporary Facility for Bailey's Crossroads Community Shelter

Finding:

1. The subject property is not included within the boundaries of a Fairfax County Historic Overlay District, is not listed in the Fairfax County Inventory of Historic Sites or the National Register of Historic Places or documented in the historic structures survey file. There are no properties in the immediate vicinity of the property which is the subject of this application that re within the boundaries of a Fairfax County Historic Overlay District, listed in the Fairfax County Inventory of Historic Sites or The National Register of Historic Places. The St. Paul's Episcopal Cemetery (Tax map number 72-2 ((1)) 39), has been documented and is under consideration for inclusion on the Fairfax County Inventory of Historic Sites. This parcel is not adjacent to the subject property, and should not be negatively impacted by the proposed temporary facility.
2. No Further Action concerning heritage resources is recommended.

Attachment D

Staff Analysis

Department of Planning and Zoning
Planning Division – Environmental and Development Review Branch

Stinson, David B.

From: Welton, Mary Ann
Sent: Friday, April 22, 2016 4:26 PM
To: Stinson, David B.
Cc: James, Denise
Subject: 2232-M16-22
Attachments: env assess.pdf; ortho.pdf

David,

I have reviewed the homeless shelter application and I do not find any aspects of the proposal that pose a conflict to the environmental policies of the Comprehensive Plan.

Attached are the Environmental Assessment Map of the site and the Orthographic Map of the application property. Let me know if you need additional information.

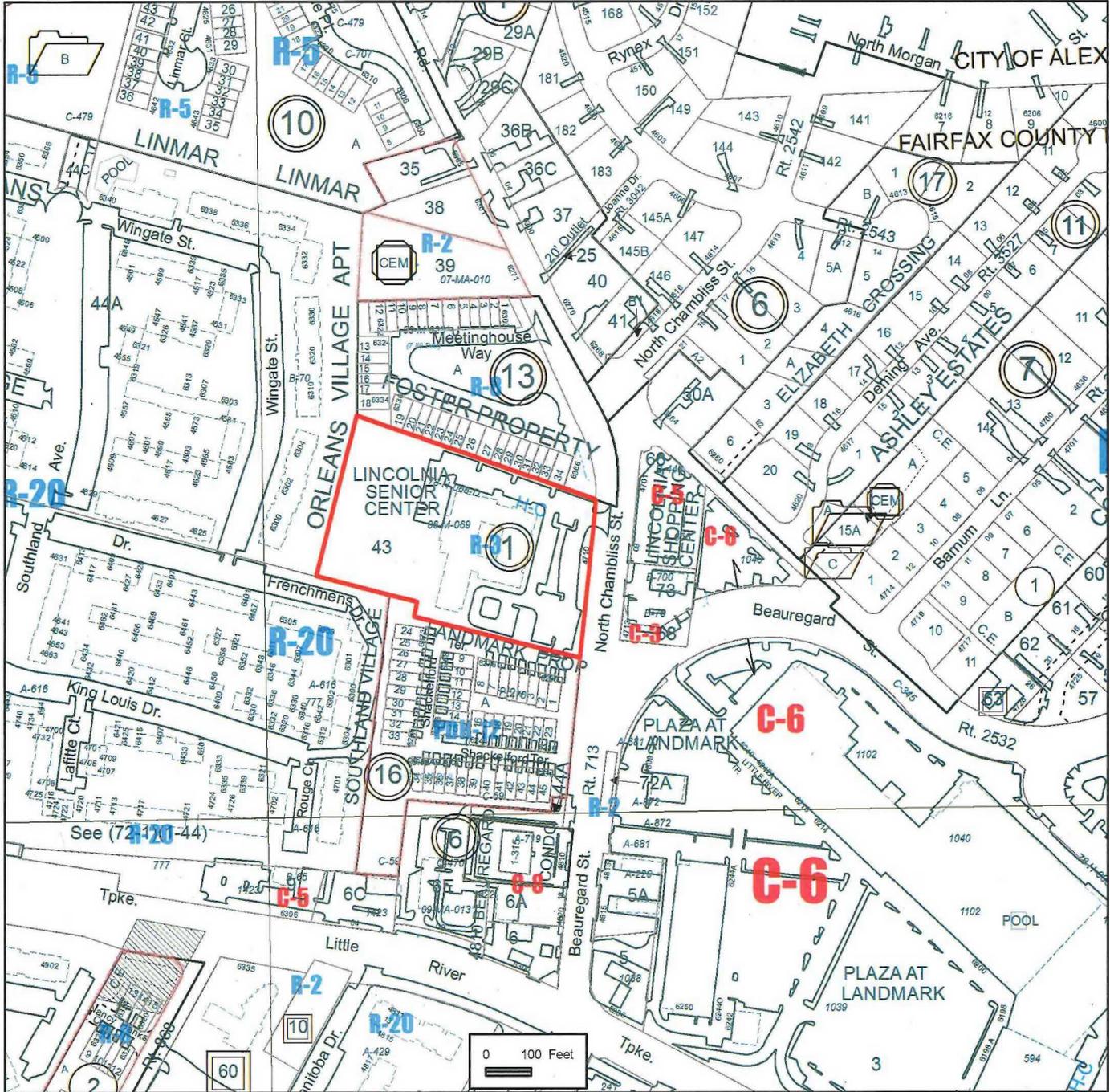
Sincerely,

Mary Ann Welton, AICP

Department of Planning and Zoning
703-324-1364

Environmental Assessment Map

2232-M16-22



Study Area Assessment:

Asbestos:	0.00 Acres
Hydic Soils:	0.00 Acres
Slopes >= 15%:	0.00 Acres
RPA:	0.00 Acres

Notes:

Prepared by the Fairfax County Department of Planning and Zoning, using Fairfax County GIS

The features here are generalized and therefore approximate.

Information provided is partial in nature - do not assume that a feature not shown, does not exist.

This information has not been verified and should not be used in place of site specific environmental studies.

Legend

	Slopes >= 15%
	Hydic Soils
	Asbestos Soils
	Streams
	Resource Protection Areas

2232-M16-22



0 155 310 620 Feet

Fairfax County Department of Planning and Zoning
Aerial Imagery, Copyright 2002, Commonwealth of Virginia



Attachment E

Staff Analysis

Department of Planning and Zoning
Zoning Evaluation Division



County of Fairfax, Virginia

MEMORANDUM

DATE: May 10, 2016

TO: Chris Caperton, Chief, Public Facilities Planning

FROM: *Barbara C. Berlin*
Barbara C. Berlin, AICP, Director
Zoning Evaluation Division, Department of Planning and Zoning

SUBJECT: 2232-M16-22, Application for Temporary Baileys Crossroad Community Shelter

This memorandum addresses your questions as discussed verbally and by email on May 3, 2016. As I understand it, the question is whether the temporary siting of the shelter on County owned property would be in substantial conformance with proffers accepted with RZ/FDP 1999-MA-006 for an adjacent property.

The temporary facility is to be located on Tax Map 72-2 ((1)) 0043, which is owned by the Board of Supervisors and is currently developed with the Lincolnia Senior Center. The senior center is located towards the front of the site, with an open area for recreation and trails to the rear. (The use is permitted by RZ 86-M-069 which was approved on November 17, 1986.)

However, the question as described above relates to the approval of RZ/FDP 1999-MA-006 on Tax Map 72-2 ((1)) 44B, which included proffers relating to providing trails on the Board owned property.

Proffer 3(c) and (e) state:

3. RECREATION

c. The Applicant shall request the dedication of a public access easement from the Board of Supervisors across the contiguous Board owned property, prior to site plan approval. Subject to the provision of necessary permission or easements, at no cost to the Applicant, the Applicant shall construct a trail from the Application Property through Board owned property and a trail around the adjacent playing field behind the Lincolnia Senior Center. In the event these improvements require zoning approval by the Board of Supervisors on the Lincolnia Senior Center property and the Board denies an application for such zoning approval and/or the necessary trail and temporary construction easements are not dedicated by the Board at no cost to the Applicant, then the trail improvements shall not be required and the Applicant will contribute the value of these improvements to the Fairfax County Park Authority.

Chris Caperton
May 10, 2016
Page 2 of 2

e. Any monetary amount representing the difference between \$955.00 per unit and the value of the above-referenced off-site trail recreational facilities shall be contributed to the Fairfax County Park Authority for recreational improvements to the playing field behind the Lincolnia Senior Center.

It appears through the submitted plans and aerial photographs that the trail as proffered was completed as a trail connecting the site and around the playing field is shown.

The temporary homeless shelter is proposed to be constructed generally to the rear of the senior center. The trails and athletic field would be impacted. The 2232 application for the temporary shelter (on page 3) specifies that the temporary facility will be removed in its entirety after a new permanent facility has been constructed and is operational. The application notes:

The site will be restored to a similar state that existed prior the temporary shelter construction. The new pedestrian access way and improved landscape buffer will remain. Trees that are removed as a result of temporary facility construction will be supplemented with new trees to meet the preexisting tree coverage.

The proffered commitments for RZ/FDP 1999-MA-006 as described here were offsite commitments that required that applicant to request an offsite easement and construct a trail as necessary. The trails were constructed. The proffered commitments were therefore satisfied. Moreover, the County property is not governed by these proffers and therefore is not obligated by them. Even so, the 2232 application indicates that the homeless shelter is temporary and once a permanent home is found, the site will be restored to its present condition. As such, there are no substantial conformance concerns related with this request in terms of RZ 1999-MA-006.

This determination has been made in my capacity as the duly authorized agent of the Zoning Administrator and only addresses the issues discussed herein. If you have any questions regarding this interpretation, please feel free to contact Suzanne Wright at (703) 324-1290.

O:\s\lin00\Intepretations\Homeless Shelter ZED 2232 Response.docx

Attachments: A/S

Attachment F

Staff Analysis

Fairfax County Department of Transportation
Transportation Planning Section



County of Fairfax, Virginia

MEMORANDUM

DATE: 4/26/2016

TO: Chris Caperton, Chief
Facilities Planning Branch, DPZ

FROM: Leonard Wolfenstein, Chief
Transportation Planning Section *L.W.*
Department of Transportation

SUBJECT: Revised comments on application number 2232-M16-22. Original comments transmitted on 4/20/2016 ask for a reduction in parking pursuant to parking requirements in the Fairfax County Zoning Ordinance. The applicant has correctly calculated the minimum number of parking spaces required by the zoning ordinance. Comments referencing parking have been removed.

The Fairfax County Department of Transportation (FCDOT) has reviewed the above 2232 application for the Bailey's Crossroads Community Shelter and does not anticipate any impacts to planned or existing roadways. The Countywide Trails Master Plan shows a major paved trail 8' or wider on the portion of North Chambliss Street and Beauregard Street adjacent to the site. The proposed development is not expected to impede the implementation of this recommendation. There are no other planned roadway, trail, or bike improvements that the application would prohibit.

The proposed site is located near businesses and accessible by public transportation, features which are important to the individuals who would be using the proposed shelter. The majority of residents are expected to access the site by foot or transit. Given the nature of the site, high quality pedestrian and transit facilities will be essential for the safety and mobility of residents. It is important that these facilities be well maintained, safe, visible and convenient to users.

Staff recommends that future site plans detail the design and maintenance of pedestrian facilities and that the development coordinate with an intersection improvement project proposed at Beauregard Street and North Chambliss Street. The applicant should demonstrate that no significant additional traffic is expected to be generated from the shelter. These recommendations are discussed in greater detail in the following sections.

Pedestrian Facilities and Access

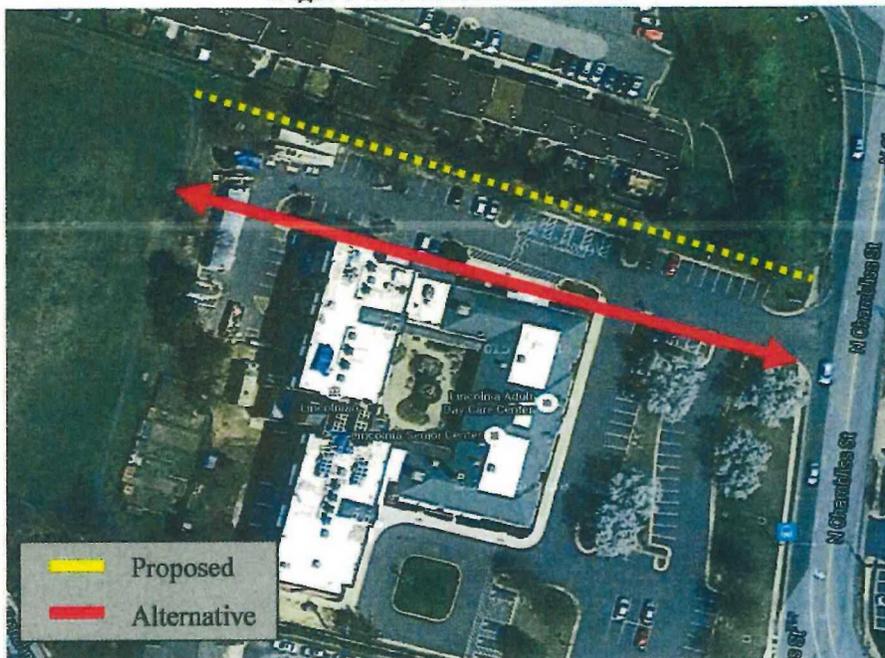
The proposed site plan shows vehicle access to the shelter from the existing drive aisle of the Lincolnia Senior Center and pedestrian access via a pathway along the northern boundary of the site.

The proposed pedestrian pathway, shown in yellow in **Figure 1**, meanders through an existing tree line and abuts a privacy fence. The walkway should be designed to meet all Americans with Disabilities Act (ADA) requirements, for sidewalks and exceed the 5 foot minimum width required by ADA in order to accommodate the demand for pedestrian access to the site. To ensure that the sidewalk is safe and passable at all times, leaf and snow removal for the sidewalk should be include in the maintenance plan for the site.

Residents are expected to leave the shelter by 9:30 am and may return between 4:30 pm and 10:00 pm on weekdays, and between 4:30 pm and 11:00 pm on weekends. With these requirements, the walkway should be adequately lit as residents may be required to access or leave the shelter during the dawn and dusk hours depending upon the season.

If the proposed walkway cannot be designed to meet staff recommendations for lighting, maintenance, and ADA requirements a different location for pedestrian access should be considered. An alternative pedestrian access could be provided south of the drive aisle, as shown in red in **Figure 1**. Portions of this alternative would run along the existing sidewalk on the north edge of the Lincolnia Senior Center building. This alternative may also mean a loss of approximately four parking spaces. If approved, the design of this walkway should comply with staff recommendations for lighting, maintenance, and ADA requirements for sidewalks mentioned previously. Crosswalks at drive aisles should also be included in the design of this alternative.

Figure 1: Pedestrian Access



Transit Facilities

Within 100 feet of the proposed site there are three bus stops servicing six bus routes, as shown in **Figure 2**.

These routes provide service to the Pentagon Metrorail Station (7X, 17A, 17B, 17M,), Shirlington Transit Center (7F, 29K, 29N), Van Dorn Metrorail Station (AT1), Vienna Metrorail Station (29K, 29N) and other destinations.

The bus stop located directly in front of the proposed site serves the Metrobus routes 7X and 7F. Given the expected increase in pedestrian access to and from the site, this bus stop should be upgraded to include a bus shelter.

A summary of nearby bus routes and peak headways are included in **Table 1**:

Figure 2: Bus Stops and Routes Near the Proposed Site

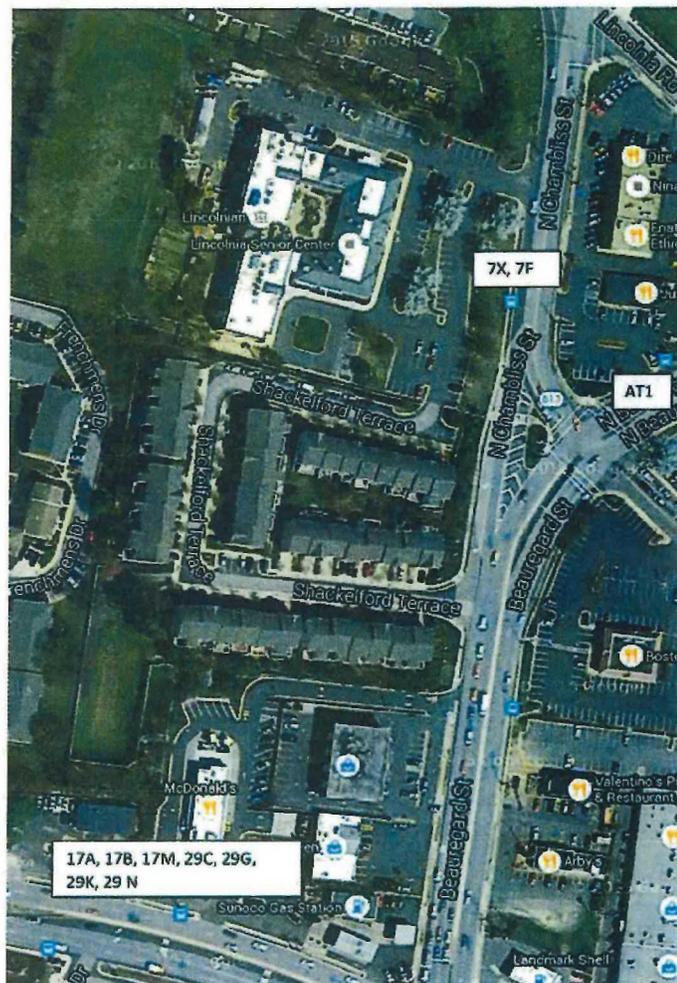


Table 1: Bus Headways

Route	Description	Peak Headway
7X	Lincolnia-Park Center-Pentagon Line (WMATA)	15 minutes; peak direction (peak hour) only: north (AM) south (PM)
7F	Lincolnia-North Fairlington Line (WMATA)	44 minutes
AT1	Van Dorn-Seminary Plaza line (ART)	30 minutes
17A, 17B, 17M	Kings Park Line (WMATA)	25 minutes (AM), 60 minutes (PM)
29C, 29G	Annandale Line (WMATA)	30 minutes
29K, 29N	Alexandria-Fairfax Line (WMATA)	30 minutes

Improvement at Beaugard Street and North Chambliss Street

The development should be coordinated with a safety improvement project proposed at Beaugard Street and North Chambliss Street, just south of the site. Preliminary plans for this project propose a reconfiguration of the intersection in order to improve the pedestrian crossing of Beaugard Street. **Appendix A** shows the preliminary design of the intersection which includes a grassy median, pedestrian walkway, and signage to alert drivers to pedestrians. Final design will be constructed within 18-24 months of the approval of the improvement. FCDOT will coordinate with the Department of Public Works and Environmental Services as additional information on this project becomes available.

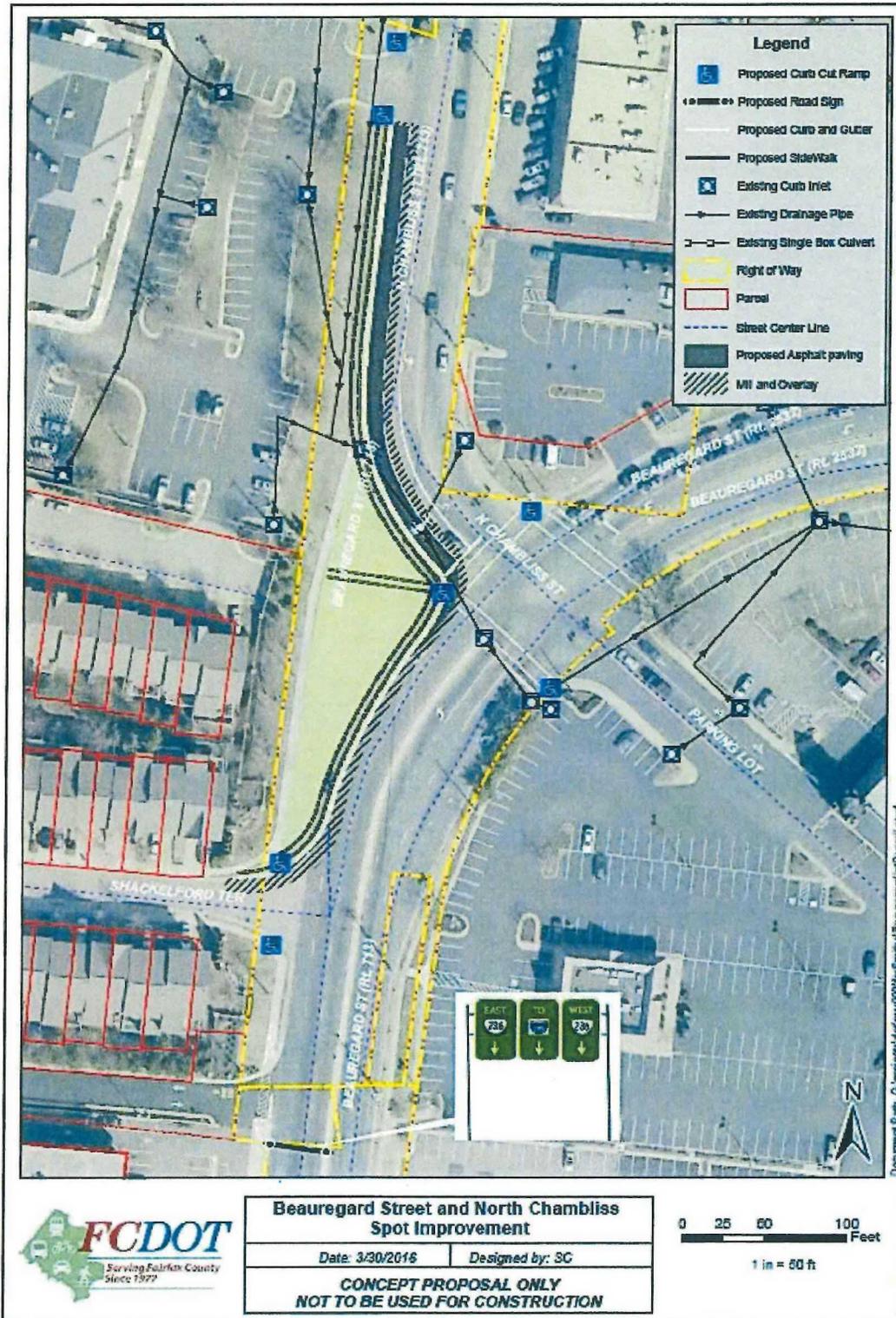
Trip Generation

While it is expected that the majority of residents will access the site by foot or transit, the applicant should still provide an estimate of the number of vehicle trips generated by the site based on observations from sites of similar use and size within the county. If a substantial number of vehicle trips are expected, then an operational analysis may be necessary to demonstrate that vehicles would be able to safely enter and exit the site via the interparcel travel lane easement and existing site access on North Chambliss Street.

If you have any questions please feel free to contact Angela Martinez (tel. 703-877-5843) Angela.Martinez@fairfaxcounty.gov.

Cc: Kristin Calkins, FCDOT
Mike Davis, FCDOT
Bill Harrell, FCDOT
Adam Lind, FCDOT
Angela Martinez, FCDOT
Karyn Moreland, FCDOT
David Stinson, DPZ
Randy White, FCDOT
Chris Wells, FCDOT

Appendix A: Proposed Design of Intersection Improvement Beaugard Street and North Chambliss Street



Attachment G

Staff Analysis

Virginia Department of Transportation



COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION

4975 Alliance Drive
Fairfax, VA 22030

CHARLES A. KILPATRICK, P.E.
COMMISSIONER

May 3, 2016

Mr. Chris B. Caperton, Chief
Facilities Planning Branch
Planning Division
Fairfax County Department of Planning and Zoning
12055 Government Center Parkway, Suite 730
Fairfax, Virginia 22035-5505

Subject: Bailey's Crossroads Community Shelter
4710 North Chambliss Street
Alexandria, Virginia IT Infrastructure Partnership
Fairfax County Plan No: 2232-M16-22

Dear Mr. Caperton:

VDOT has reviewed the above referenced project. Other than relocating the two signs on the north side of the driveway entrance to maintain appropriate sight distance, VDOT has no objection to approval.

Sincerely,

A handwritten signature in cursive script that reads 'Paul J. Kraucunas'.

Paul J. Kraucunas, P.E.
Land Development Program Manager

cc: David Stinson, Facilities Planning Branch
Fairfax Permits

Attachment H

Staff Analysis

Fairfax County Park Authority



FAIRFAX COUNTY PARK AUTHORITY

M E M O R A N D U M

TO: Chris B. Caperton, Chief
Facilities Planning Branch
Department of Planning and Zoning

FROM: Sandy Stallman, AICP, Manager *SS*
Park Planning Branch, PDD

DATE: April 21, 2016

SUBJECT: 2232-M16-22, Temporary Bailey's Crossroads Community Shelter
Tax Map Number: 72-2((1))43

The Park Authority staff has reviewed the above referenced plan. Based on that review, staff has determined that this application bears no adverse impact on the land, resources, facilities or service levels of the Park Authority.

FCPA Reviewer: Andy Galusha
DPZ Coordinator: David Stinson

Copy: Cindy Walsh, Director, Resource Management Division
David Stinson, DPZ Coordinator
Chron File
File Copy

Attachment I

Staff Analysis

Department of Public Works and Environmental Services
Urban Forest Management Division, Forest Conservation Branch



County of Fairfax, Virginia

MEMORANDUM

DATE: May 3, 2016

TO: David B. Stinson, Planner
Planning Division, DPZ

FROM: Nicholas Drunasky, Urban Forester II
Forest Conservation Branch, UFMD

SUBJECT: Temporary Bailey's Crossroads Community Shelter (4710 North Chambliss Street), 2232-M16-22

Site Description: Half of the site is developed and contains an existing Senior Center that went through a rezoning approval to rezone approximately 5.284 acres from the R-2 to R-3 District (RZ 86-M-069) to establish the existing elderly center. The western portion of the site where the temporary homeless shelter is proposed contains an existing asphalt walking loop and grass field. Vegetation present includes transitional screening that was modified by the Board to be provided between the Senior Center and the asphalt path in place of providing it along the western property boundary, transitional screening (Type I) along the entire northern property boundary, and vegetation serving as peripheral and interior parking lot landscaping consistent of Austrian pines, northern red oaks, eastern redcedars, pin oaks, and ailanthus.

This review is based upon the 2232-M16-22 stamped as "Received by the Department of Planning & Zoning, Planning Division April 1, 2016." A site visit was conducted on April 11, 2016 as part of my review of this application.

- 1. Comment:** It is unclear what type of vegetation is present onsite since an existing vegetation map (EVM) has not been provided.

Recommendation: The applicant should provide an accurate EVM that depicts the location of any cover types identified in PFM Table 12.2 and one that meets the requirements of Zoning Ordinance, Chapter 112, Article 13 and all elements of PFM 12-0506.

- 2. Comment:** The adjacent uses and zoning are not shown on the plat, making it unclear as to the type of transitional screening and barriers that may be required.

Recommendation: All existing uses and zoning for parcels surrounding the property should be added to the plat so it can be verified as to the type of transitional screening and barriers that are required for the site.

Department of Public Works and Environmental Services
Urban Forest Management Division

12055 Government Center Parkway, Suite 518
Fairfax, Virginia 22035-5503
Phone 703-324-1770, TTY: 711, Fax: 703-653-9550
www.fairfaxcounty.gov/dpwes



- 3. Comment:** No transitional screening has been proposed with this application, but it appears that it is required on the northern, western, and southern sides of the site adjacent to the proposed improvements. It appears that Type II (35 foot wide) Transitional Screening is required along the northern property boundary to screen the proposed homeless shelter from the adjacent townhome community. Additionally, Type I (25 foot wide) Transitional Screening is required along the entire western and southern property boundaries to screen the proposed homeless shelter from the adjacent apartment community.

Recommendation:

- a.** Type II Transitional Screening should be provided along the northern property boundary, along with providing Type I Transitional Screening along the entire western and southern property boundaries to screen the proposed homeless shelter in accordance with §13-302 of the Zoning Ordinance.
- b.** The applicant should demonstrate in a matrix how the Type I and II Transitional Screening requirements will be met as required by the zoning ordinance such that the following is provided:
- a.** A mixture of large and medium evergreen trees and large deciduous trees that achieve a minimum ten year canopy of 75% or greater;
 - b.** A mixture of trees consisting of at least 70% evergreen trees, and consisting of no more than 35% of any single species of evergreen or deciduous tree; and
 - c.** A mixture of predominately medium evergreen shrubs at a rate of three shrubs for every 10 linear feet for the length of the transition yard area.
- 4. Comment:** A pedestrian access path appears to be proposed within the existing Type I Transitional Screening Area (25 foot wide), which is not allowed by the Zoning Ordinance and will likely have negative impacts to existing vegetation. In addition, this Transitional Screening Area appears to have been established with the rezoning for the Senior Center (RZ 86-M-069) in order to screen it from the adjacent townhome community. Urban Forestry is unaware of any mechanisms that would allow for the trail to be installed within this Transitional Screening Area for the Senior Center with this application.

Recommendations:

- a.** The parking lot spaces, travel isle width, and existing sidewalk on the eastern side of the building should be evaluated and possibly reduced to the minimum sizes necessary or used for an access path so the existing Transitional Screening Area required as part of the previous rezoning may remain in place.
- b.** If the recommendation above is not possible, an interpretation may be requested from the Department of Planning and Zoning to determine if the pedestrian access path proposed is in conformance with the existing rezoning application. If it is determined by Planning and Zoning that this is in conformance, it will still require a WTSW be submitted to be reviewed by Urban Forestry for this modification request.



5. **Comment:** It appears that some types of fencing may be currently provided along the periphery of the site, but appears that some is in poor condition and may not meet the intent of the barrier required. In addition, it is unclear if this fencing is provided offsite, which could not be used to meet the onsite barrier requirement.

Recommendation: The applicant should provide the required Type D, E, or F barrier internal to the transitional screening in accordance with §13-304 of the Zoning Ordinance or provide the proper justification as part of this application in order to use the existing barrier if it is located onsite and meets the intent.

6. **Comment:** It is unclear how the interior parking lot landscaping requirement will be met since no landscaping has been proposed for this application.

Recommendation: Interior parking lot landscape tabulations should be provided, along with depicting the parking lot area being counted in the tabulation with a key and symbol and trees used to meet the requirement in accordance with ZO 13-201 and PFM 12-0514.

7. **Comment:** It is unclear how all the requirements of the Tree Conservation Plan will be met for the site. The PFM clearly states that a Tree Conservation Plan shall be required when land disturbance has the potential to destroy or degrade onsite trees.

Recommendation: All elements required by a Tree Conservation Plan, will be required with submission of the site plan. Details should be added to this application showing how these elements will be met for the site. (PFM 12-0501)

If you have any further questions, please feel free to contact me at 703-324-1770.

NJD/

UFMDID #: 213260

cc: DPZ File





County of Fairfax, Virginia

MEMORANDUM

DATE: June 1, 2016

TO: David B. Stinson, Planner
Planning Division, DPZ

FROM: Nicholas Drunasky, Urban Forester II
Forest Conservation Branch, UFMD

SUBJECT: Temporary Bailey's Crossroads Community Shelter (4710 North Chambliss Street), 2232-M16-22

Site Description: Half of the site is developed and contains an existing Senior Center that went through a rezoning approval to rezone approximately 5.284 acres from the R-2 to R-3 District (RZ 86-M-069) to establish the existing elderly center. The western portion of the site where the temporary homeless shelter is proposed contains an existing asphalt walking loop and grass field. Vegetation present includes transitional screening that was modified by the Board to be provided between the Senior Center and the asphalt path in place of providing it along the western property boundary, transitional screening (Type I) along the entire northern property boundary, and vegetation serving as peripheral and interior parking lot landscaping consistent of Austrian pines, northern red oaks, eastern redcedars, pin oaks, and ailanthus.

This review is based upon the 2232-M16-22 stamped as "Received by the Department of Planning & Zoning, Planning Division May 17, 2016." A site visit was conducted on April 11, 2016 as part of my review of this application.

- 1. Comment:** No transitional screening has been proposed with this application, but it is required on the northern, western, and southern sides of the site adjacent to the proposed improvements. It appears that Type II (35 foot wide) Transitional Screening is required along the northern property boundary to screen the proposed homeless shelter from the adjacent townhome community. Additionally, Type I (25 foot wide) Transitional Screening is required along the entire western and southern property boundaries to screen the proposed homeless shelter from the adjacent apartment community. No modification of the required transitional screening areas has officially been requested with this application.

Recommendation:

- a.** Type II Transitional Screening should be provided along the northern property boundary, along with providing Type I Transitional Screening along the entire western and southern property boundaries to screen the proposed homeless shelter in

Department of Public Works and Environmental Services

Urban Forest Management Division

12055 Government Center Parkway, Suite 518

Fairfax, Virginia 22035-5503

Phone 703-324-1770, TTY: 711, Fax: 703-653-9550

www.fairfaxcounty.gov/dpwes



accordance with §13-302 of the Zoning Ordinance. If this is not possible as stated in a meeting on May 23, 2016 and a reduced width of transitional screening is determined to be necessary, a WTSW will need to be provided under a separate cover to be reviewed by UFMD. It will need to site one of the justifications per 13-305 of the Zoning Ordinance and be backed with site specific justifications for each of these three areas where a transitional screening modification is being requested.

- b. The applicant should demonstrate in a matrix how the Type I and II Transitional Screening requirements will be met as required by the zoning ordinance such that the following is provided:
 - a. A mixture of large and medium evergreen trees and large deciduous trees that achieve a minimum ten year canopy of 75% or greater;
 - b. A mixture of trees consisting of at least 70% evergreen trees, and consisting of no more than 35% of any single species of evergreen or deciduous tree; and
 - c. A mixture of predominately medium evergreen shrubs at a rate of three shrubs for every 10 linear feet for the length of the transition yard area.

2. **Comment:** It appears that some types of fencing currently exists along the periphery of the site, but appears that some is in poor condition, may actually be located offsite (south side as shown on RZ 86-M-009) and may not meet the intent of the barrier required. Please note that if this existing fencing is provided offsite, it cannot be used to meet the onsite barrier requirement.

Recommendation: The applicant should provide the required Type D, E, or F barrier internal to the transitional screening in accordance with §13-304 of the Zoning Ordinance or provide the proper justification for the modified barrier locations under the cover of a WTSW application in order to use the existing barrier if it is located onsite and meets the intent.

3. **Comment:** It is unclear how the interior parking lot landscaping requirement will be met since no landscaping has been proposed for this application.

Recommendation: Interior parking lot landscape tabulations should be provided, along with depicting the parking lot area being counted in the tabulation with a key and symbol and trees used to meet the requirement in accordance with ZO 13-201 and PFM 12-0514.

4. **Comment:** With this submission, some of the existing vegetation that was likely provided with the existing Senior Center has been removed from the plan, making it unclear how proposed improvement may impact and/or require some of this vegetation to be removed. In addition, it is unclear what type of vegetation exists onsite since an Existing Vegetation Map (EVM) has not been provided.

Recommendation: The applicant should provide an accurate EVM that depicts the location of any cover types identified in PFM Table 12.2 and one that meets the



requirements of Zoning Ordinance, Chapter 112, Article 13 and all elements of PFM 12-0506 for the entire site including the Senior Center.

5. **Comment:** The limits of clearing and grading as proposed jog in and out around the canopy of several trees located primarily offsite, which appears to be excessive and unnecessary. In addition, it will remove and compact existing soil where transitional screening is required, which will likely require soil remediation as proposed prior to planting.

Recommendation: The proposed limits of clearing and grading should be reduced and pulled inward to the edge of the asphalt track that will be removed on the northern, western, and eastern sides of the site.

If you have any further questions, please feel free to contact me at 703-324-1770.

NJD/

UFMDID #: 213260

cc: DPZ File



Attachment J

Staff Analysis

Department of Public Works and Environmental Services
Site Development and Inspections Division

Stinson, David B.

From: Bastakoti, Mohan
Sent: Thursday, April 07, 2016 10:41 AM
To: Stinson, David B.
Cc: Sistani, Bijan; Weyant, Jack W.; Caperton, Chris B
Subject: 2232-M16-22_Temporary Bailey's Crossroads_4710 North Chambliss Street

Hi David,

I have reviewed the subject 2232 application and offer the following stormwater management review comments.

Chesapeake Bay Preservation Ordinance (CBPO)

There is no RPA within this site.

Floodplain

There is no regulated floodplain within this site.

Downstream Drainage Complaints

There are no current downstream drainage complaints on file.

Stormwater Detention

No information was provided regarding to the post development and predevelopment peak release rates from this site. Unless waived by the Director, the postdevelopment peak flow for the 2-year 24-hour storm event shall be released at a rate that is equal to or less than the predevelopment peak flow rate from the 2-year 24-hour storm event and the postdevelopment peak flow for the 10-year 24-hour storm event shall be released at a rate that is less than or equal to the predevelopment peak flow rate from the 10-year 24-hour storm event. SWMO 124-4-4(D).

Water Quality Control

The submitted application does not mention anything about the proposed water quality measures, disturbed area or impervious areas. Water quality control shall be required. Compliance with the water quality design criteria shall be determined by utilizing the Virginia Runoff Reduction Method or another equivalent methodology that is approved by the State Water Control Board. SWMO 124-4-3.

Downstream Drainage System

No outfall narrative or detail have been provided to demonstrate how the PFM requirement of adequate outfall is met. The downstream drainage system shall be analyzed to demonstrate the adequacy of the system. PFM 6-0203.1

Please contact me at 703-324-1720 if you require additional information.

Thanks,
-Mohan

Mohan Bastakoti, P.E.

Senior Engineer III(Stormwater)

Fairfax County Government | DPWES-LDS-SDID

Direct: 703-324-1739 | Main: 703 324 1720 | Mohan.Bastakoti@fairfaxcounty.gov

Attachment K

Staff Analysis

Department of Public Works and Environmental
Wastewater Planning and Monitoring Division

FAIRFAX COUNTY, VIRGINIA

MEMORANDUM

TO: Chris B. Caperton, Chief
Facilities Planning Branch, DPZ

FROM: Sharad Regmi, P.E.
Engineering Analysis and Planning Branch
Wastewater Planning and Monitoring Division

SUBJECT: 2232 Application for Review

REF: Application No.: 2232-M16-22; 4710 North Chambliss Street
TAX MAP: 72-2-((1))-0043

DATE: April 19, 2016

The existing sanitary sewer facilities have adequate capacity to accommodate the sewage from the proposed temporary community shelter for the referenced application.

Attachment L

Staff Analysis

Fire and Rescue
Strategic Planning

Stinson, David B.

From: Stone, Laurie A.
Sent: Friday, April 15, 2016 3:21 PM
To: Stinson, David B.
Subject: 2232 Review Application (2232-M16-22)

David,

The Fire and Rescue Department's Planning Section has no comments on Application 2232-M16-22 for the Temporary facility for the Bailey's Crossroads Community Shelter.

Regards,

Laurie Stone
Strategic Planner
Fairfax County Fire and Rescue Department
4100 Chain Bridge Road
Fairfax, VA 22030
Phone: 703-246-3889

Attachment M

Staff Analysis

Fire and Rescue
Fire Prevention Division

Stinson, David B.

From: Ward, Sandra J.
Sent: Monday, April 11, 2016 11:47 AM
To: Stinson, David B.
Subject: 2232-M16-22 Temporary Bailey's Crossroads Shelter

The above set of plans, dated as received by DPZ on April 1, 2016, has been reviewed. I have no comments on this application.

Construction of buildings and structures shall require full compliance with fire protection and access requirements listed in the Statewide Building Code, the Fairfax County Public Facilities Manual and the Statewide Fire Prevention Code as amended by Fairfax County including all fire lane markings. Plans and submittals have been retained by FMO for filing.

Sandra Ward, Engineer III
Fairfax County Fire & Rescue
Fire Prevention – Plans Review
(703) 246-4806 : Office
(703) 246-6043 : Fax

Attachment N

Staff Analysis

Fairfax Water

Fairfax Water

FAIRFAX COUNTY WATER AUTHORITY
8560 Arlington Boulevard, Fairfax, Virginia 22031
www.fairfaxwater.org

**PLANNING & ENGINEERING
DIVISION**

Jamie Bain Hedges, P.E.
Director
(703) 289-6325
Fax (703) 289-6382

April 11, 2016

Mr. David Stinson
Facilities Planning Branch
Fairfax County Department of Planning & Zoning
12055 Government Center Parkway, Suite 730
Fairfax, Virginia 22035

Re: Application No. 2232 -M16-22
4710 North Chambliss Street
Tax Map: 72-2-((1)) 43

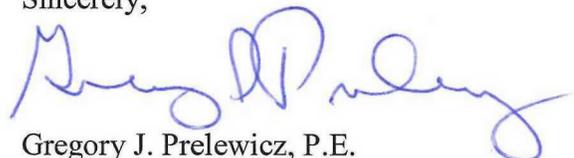
Dear Mr. Stinson:

The following information is submitted in response to your request for a water service analysis for the above application:

1. The property is served by Fairfax Water.
2. Adequate domestic water service is available at the site from an existing 8-inch water main located on-site. See the enclosed water system map.
3. Depending upon the configuration of any proposed on-site water mains, additional water main extensions may be necessary to satisfy fire flow requirements and accommodate water quality concerns.

If you have any questions regarding this information please contact Ross K. Stilling, P.E., Chief, Site Plan Review at (703) 289-6385.

Sincerely,



Gregory J. Prelewicz, P.E.
Manager, Planning

Enclosure

Attachment O

Staff Analysis

Police

Stinson, David B.

From: Akre, Brenda S.
Sent: Wednesday, April 27, 2016 9:36 AM
To: Stinson, David B.
Cc: Lee, Gun; Dittmer, Mike; Quinn, Christian P; Cochrane, Chantel J.
Subject: Bailey's Crossroads Community Shelter

Good morning Mr. Stinson,

I had the opportunity to review the 2232 application for the relocation of the Bailey's Crossroads Community Shelter and also discuss with Captain Christian Quinn, Commander of the Mason District Police Station. The current location and the new location of the Shelter are both within the Mason Station patrol district. The new location, remaining within the same patrol district, will not impact the police department's ability to respond to calls for service. Captain Quinn was familiar with the future change of the site and indicated that safety measures concerning the increase in pedestrian traffic should be considered as well as a secure buffer around the facility to separate pedestrian traffic/access to the surrounding neighborhoods. These two concerns were noted in the application under Item C, #6-Mitigation Measures. If you have any questions, please feel free to contact me. Thank you.

Brenda

Brenda Akre
Fairfax County Police Department
Director, Records & Facilities Division
(703) 246-4208

Attachment P

Staff Analysis

City of Alexandria



DEPARTMENT OF PLANNING AND ZONING

301 King Street
Room 2100
Alexandria, VA 22314

Phone (703) 746-4666
Fax (703) 838-6393

www.alexandriava.gov

June 3, 2016

Mr. David Stinson, Facilities Planning Branch
Department of Planning and Zoning
12055 Government Center Parkway, Suite 730
Fairfax, VA 22035-5507

RE: 2232-M16-22: Temporary facility for the Bailey's Crossroads Community Shelter, 4710 N Chambliss St, Fairfax County

Dear Mr. Stinson,

The purpose of this letter is to provide requested review comments from the City of Alexandria related to the proposed development identified in Review Application 2232-M16-22: Temporary facility for the Bailey's Crossroads Community Shelter, to be located at 4710 N Chambliss Street. Staff comments from the Departments of Planning & Zoning, Transportation & Environmental Services and Fire are included.

Please contact me if you have any questions.

Sincerely,

Maya Contreras, Principal Planner, Development Division
Department of Planning & Zoning

cc: Karl Moritz, Director, Planning & Zoning
Yon Lambert, Director, Transportation & Environmental Services
Maurice Jones, Supervisor, Fire Protection Systems

Planning & Zoning comments

1. The proposed temporary shelter site is located adjacent to the Alexandria West SAP in Fairfax County.
2. The application states that the shelter would be in place for 4-5 years while they secure another location and construct a new facility. Please provide a general anticipated timeline for this process, including scheduled public hearing dates.
3. The proposed site is adjacent to county senior center on Board of Supervisors land. The co-location of these services is ideal and makes this site a viable one.
4. Please provide information on how the current (and presumably, the future) shelter handles overflow users or users who are turned away. Are, or will there be, any alternate shelters that overflow users would be able to access?

Transportation & Environmental Services comments

1. Staff recommends that the County make improvements to the existing bus stop adjacent to the site on N. Chambliss Street and the stop across the street from the site on N Chambliss in order to make both ADA compliant. Consider installing a bus stop bench and/or bus shelter for both stops. (Transit)

Fire Department comments

1. A fire hydrant should be installed within 100 feet of fire department connections.
2. Provide a rapid entry system for fire department use.
3. Provide a Needed Fire Flow calculation.

Department of Community and Human Services comments

1. Some Alexandria residents from the Lincolnia area have raised concerns regarding the proximity of the shelter to their neighborhood and possible safety issues.

Attachment Q

Fairfax County DPWES Response to Comments



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County



May 17, 2016

Mr. David Stinson
Fairfax County Department of Planning and Zoning
Facilities Planning Branch
12055 Government Center Parkway, Suite 730
Fairfax, Virginia 22035

Reference: Temporary Bailey's Crossroads Community Shelter, 2232-M16-22
2232 Determination Resubmission-Comment Response Letter

Dear Mr. Stinson,

Below are the responses to the comments received regarding the 2232 application for the above referenced project:

Urban Forest Management Division (UFMD)

- Comment:** The adjacent uses and zoning are not shown on the plat, making it unclear as to the type of transitional screening and barriers that may be required.

Recommendation: All existing uses and zoning for parcels surrounding the property should be added to the plat so it can be verified as to the type of transitional screening and barriers that are required for the site.

Response: Acknowledged and the attached plan has been updated as requested to label the zoning and associated transitional screening buffers.

- Comment:** No transitional screening has been proposed with this application, but it appears that it is required on the northern, western, and southern sides of the site adjacent to the proposed improvements. It appears that Type II (35 foot wide) Transitional Screening is required along the northern property boundary to screen the proposed homeless shelter from the adjacent townhome community. Additionally, Type I (25 foot wide) Transitional Screening is required along the entire western and southern property boundaries to screen the proposed homeless shelter from the adjacent apartment community.

Recommendation:

- Type II Transitional Screening should be provided along the northern property boundary, along with providing Type I Transitional Screening along the entire western and southern property boundaries to screen the proposed homeless shelter in accordance with §13-302 of the Zoning Ordinance.

Department of Public Works and Environmental Services
Building Design and Construction Division

12000 Government Center Parkway, Suite 449
Fairfax, VA 22035-0052

Phone: 703-324-5800, TTY: 1-800-828-1120, Fax: 703-324-4365

www.fairfaxcounty.gov/dpwes



Temporary Bailey's Crossroads Community Shelter
2232 Determination Resubmission
2232-M16-22
Page 2 of 6

- b. The applicant should demonstrate in a matrix how the Type I and II Transitional Screening requirements will be met as required by the zoning ordinance such that the following is provided:
 - a. A mixture of large and medium evergreen trees and large deciduous trees that achieve a minimum ten year canopy of 75% or greater;
 - b. A mixture of trees consisting of at least 70% evergreen trees, and consisting of no more than 35% of any single species of evergreen or deciduous tree; and
 - c. A mixture of predominately medium evergreen shrubs at a rate of three shrubs for every 10 linear feet for the length of the transition yard area.

Response: Acknowledged. The details of the transitional screening will be addressed with the minor site plan submission.

- 3. **Comment:** A pedestrian access path appears to be proposed within the existing Type I Transitional Screening Area (25 foot wide), which is not allowed by the Zoning Ordinance and will likely have negative impacts to existing vegetation. In addition, this Transitional Screening Area appears to have been established with the rezoning for the Senior Center (RZ 86-M-069) in order to screen it from the adjacent townhome community. Urban Forestry is unaware of any mechanisms that would allow for the trail to be installed within this Transitional Screening Area for the Senior Center with this application.

Recommendations:

- a. The parking lot spaces, travel isle width, and existing sidewalk on the eastern side of the building should be evaluated and possibly reduced to the minimum sizes necessary or used for an access path so the existing Transitional Screening Area required as part of the previous rezoning may remain in place.
- b. If the recommendation above is not possible, an interpretation may be requested from the Department of Planning and Zoning to determine if the pedestrian access path proposed is in conformance with the existing rezoning application. If it is determined by Planning and Zoning that this is in conformance, it will still require a WTSW be submitted to be reviewed by Urban Forestry for this modification request.

Response: We have removed the trail from that area and put an access way closer to the existing building so as to not adversely impact existing trees.

- 4. **Comment:** It appears that some types of fencing may be currently provided along the periphery of the site, but appears that some is in poor condition and may not meet the intent of the barrier required. In addition, it is unclear if this fencing is provided offsite, which could not be used to meet the onsite barrier requirement.

Recommendation: The applicant should provide the required Type D, E, or F barrier internal to the transitional screening in accordance with §13-304 of the Zoning Ordinance or provide the proper justification as part of this application in order to use the existing barrier if it is located onsite and meets the intent.

Temporary Bailey's Crossroads Community Shelter
2232 Determination Resubmission
2232-M16-22
Page 3 of 6

Response: Acknowledged and the attached site plan has been updated with the location and type of fencing.

5. **Comment:** It is unclear how the interior parking lot landscaping requirement will be met since no landscaping has been proposed for this application.

Recommendation: Interior parking lot landscape tabulations should be provided, along with depicting the parking lot area being counted in the tabulation with a key and symbol and trees used to meet the requirement in accordance with ZO 13-201 and PFM 12-0514.

Response: Acknowledged and will be addressed with minor site plan submission.

6. **Comment:** It is unclear how all the requirements of the Tree Conservation Plan will be met for the site. The PFM clearly states that a Tree Conservation Plan shall be required when land disturbance has the potential to destroy or degrade onsite trees.

Recommendation: All elements required by a Tree Conservation Plan, will be required with submission of the site plan. Details should be added to this application showing how these elements will be met for the site. (PFM 12-0501)

Response: This project is for a temporary use and, based on previous discussions, the trail location through the existing tree area has been revised so as to not impact that area. We are disturbing a small amount of the site with minimal impacts to existing trees as noted on the plan. Based on the above information, we will coordinate a site visit prior to construction to address any tree impact concerns.

7. **Comment:** It is unclear what type of vegetation is present onsite since an existing vegetation map (EVM) has not been provided.

Recommendation: The applicant should provide an accurate EVM that depicts the location of any cover types identified in PFM Table 12.2 and one that meets the requirements of Zoning Ordinance, Chapter 112, Article 13 and all elements of PFM 12-0506.

Response: This project is for a temporary use and the layout disturbs a small amount of the site with minimal impacts to existing trees as shown on the plan. EVM if necessary may be provided at the time of minor site plan review.

Fairfax County Water Authority (FCWA)

1. **Comment:** Depending upon the configuration of any proposed on-site water mains, additional water main extensions may be necessary to satisfy fire flow requirements and accommodate water quality concerns.

Response: An extension of the waterline will be provided and shown on the minor site plan.

Site Development & Inspections Division (SDID)

1. **Comment:** Stormwater Detention, No information was provided regarding to the post development and predevelopment peak release rates from this site. Unless waived by the Director, the postdevelopment peak flow for the 2-year 24-hour storm event shall be released at a rate that is equal to or less than the predevelopment peak flow rate from the 2-year 24-hour storm event and the postdevelopment peak flow for the 10-year 24-hour storm event shall be released at a rate that is less than or equal to the predevelopment peak flow rate from the 10-year 24-hour storm event. SWMO 124-4-4(D).

Response: Stormwater detention will be provided and shown with the minor site plan to control the 1, 2, and 10-year storms by means of an underground facility as reviewed with staff from Site Development and Inspections Division (SDID).

2. **Comment:** Water Quality Control - The submitted application does not mention anything about the proposed water quality measures, disturbed area or impervious areas. Water quality control shall be required. Compliance with the water quality design criteria shall be determined by utilizing the Virginia Runoff Reduction Method (VRRM) or another equivalent methodology that is approved by the State Water Control Board. SWMO 124-4-3.

Response: VRRM computations will be provided with the minor site plan and will be handled by obtaining nutrient credits through an outside party as coordinated with SDID.

3. **Comment:** Downstream Drainage System - No outfall narrative or detail have been provided to demonstrate how the PFM requirement of adequate outfall is met. The downstream drainage system shall be analyzed to demonstrate the adequacy of the system. PFM 6-0203.1.

Response: Based on review with SDID, we are using the energy balance equation and the outfall evaluation will stop at the opposite end of the existing building at the existing SWM facility. This location receives more than 90% of drainage from an incoming storm sewer pipe.

Fairfax County Department of Transportation (FCDOT)

1. **Comment:** The proposed site is located near business and accessible by public transportation, features which are important to the individuals who would be using the proposed shelter. The majority of residents are expected to access the site by foot or transit. Given the nature of the site, high quality pedestrian and transit facilities will be essential for the safety and mobility of residents. It is important that these facility be well maintained, safe, visible and convenient to users.

Response: Acknowledged – a new pedestrian access way has been added to the plan for access by foot.

Temporary Bailey's Crossroads Community Shelter
2232 Determination Resubmission
2232-M16-22
Page 5 of 6

2. **Comment:** The proposed site plan shows vehicle access to the shelter from existing drive aisle of the Lincolnia Senior Center and pedestrian access via a pathway along the northern boundary of the site. The proposed pedestrian pathway meanders through an existing tree line and abuts a privacy fence. The walkway should be designed to meet all American with Disabilities Act (ADA) requirements, for sidewalks and exceeding the 5 foot minimum width required by ADA in order to accommodate the demand for pedestrian access to the site. To ensure that the sidewalk is safe and passable at all times, leaf and snow removal for the sidewalk should be included in the maintenance plan for the site.

If the proposed walkway cannot be designed to meet staff recommendations for lighting, maintenance, and ADA requirements a different location for pedestrian access should be considered. An alternative pedestrian access could be provided south of the drive aisle. Portions of this alternative would run along the existing sidewalk on the north edge of the Lincolnia Senior Center building. This alternative may also mean a loss of approximately four parking spaces. If approved, the design of this walkway should comply with staff recommendation for lighting, maintenance, and ADA requirements for sidewalks mentioned previously. Crosswalks at drive aisles should also be included in the design of this alternative.

Response: We will revise the sidewalk to be closer to the building and out of the tree area as suggested and final layout will be incorporated with the minor site plan. No additional lighting is needed since the location has changed.

3. **Comment:** Within 100 feet of the proposed site there are 3 bus stops servicing six bus routes. These routes provide service to the Pentagon Metrorail Station (7X, 17A, 17B, 17M), Shirlington Transit Center (7, 29K, 29N), Van Dorn Metrorail Station (AT1), Vienna Metrorail Station (29K, 29N) and other destinations. The bus stop located directly in front of the proposed site serves the Metrobus routes 7X and 7F. Given the expected increase in pedestrian access to and from the site, this bus stop should be upgraded to include a bus shelter.

Response: Comment acknowledged. This site is for a temporary use and is not proposing a bus shelter at this time. We will coordinate with the FCDOT planning staff such that a bus shelter is added with the intersection improvements.

4. **Comment:** The development should be coordinated with a safety improvement project proposed at Beauregard Street and North Chambliss Street, just south of the site. Preliminary plans for this project propose a reconfiguration of the intersection in order to improve the pedestrian crossing of Beauregard Street. The preliminary design of the intersection includes a grassy median, pedestrian walkway, and signage to alert drivers to pedestrians. Final design will be constructed within 18-24 months of approval of improvement. FCDOT will coordinate with Department of Public Works and Environmental Services as additional information on this project becomes available.

**Temporary Bailey's Crossroads Community Shelter
2232 Determination Resubmission
2232-M16-22
Page 6 of 6**

Response: We will coordinate with FCDOT, however due to timing of the project development, site improvements will be complete prior to the intersection improvement project. When implemented, those improvements will be constructed to tie to this project.

5. **Comment:** While it is expected that the majority of residents will access the site by foot or transit, the applicant should still provide an estimate of the number of vehicle trips generated by the site based on observations from sites of similar use and size within the county. If a substantial number of vehicle trips are expected, then an operational analysis may be necessary to demonstrate that vehicles would be able to safely enter and exit the site via the interparcel travel lane easement and existing site access on North Chambliss Street.

Response: There will be 46 residents with an average of eight staff members, the majority of residents do not have cars and as such do not generate additional vehicular traffic. There is an average of 20 vehicle trips per 24 hour period at the existing Bailey's Crossroads Shelter includes staff, clients, transportation to/from appointments, volunteers, and county support services.

We trust that the above responses adequately address your comments. Please contact me at (703) 324-2474 if you should need further information.

Sincerely,

Gasim Elfaki, Project Manager
Public Private Partnerships Branch
Building Design and Construction Division

cc: Chris Caperton, Chief, Facilities Planning Branch, DPZ
Katayoon Shaya, Chief, Public Private Partnerships Branch, BDCD, DPWES

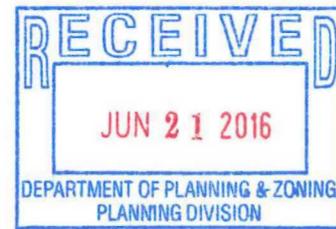


County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

June 13, 2016

Mr. David Stinson
Fairfax County Department of Planning and Zoning
Facilities Planning Branch
12055 Government Center Parkway, Suite 730
Fairfax, Virginia 22035



Reference: Temporary Bailey's Crossroads Community Shelter, 2232-M16-22
2232 Determination Resubmission UFMD Comment Response Letter *Revised 6.21.16*

Dear Mr. Stinson,

Below are the responses to the comments received from UFMD regarding the 2232 application for the above referenced project:

Urban Forest Management Division (UFMD)

- 1. Comment:** No transitional screening has been proposed with this application, but it is required on the northern, western, and southern sides of the site adjacent to the proposed improvements. It appears that Type II (35 foot wide) Transitional Screening is required along the northern property boundary to screen the proposed homeless shelter from the adjacent townhome community. Additionally, Type I (25 foot wide) Transitional Screening is required along the entire western and southern property boundaries to screen the proposed homeless shelter from the adjacent apartment community. No modification of the required transitional screening areas has officially been requested with this application.

Recommendation:

- a.** Type II Transitional Screening should be provided along the northern property boundary, along with providing Type I Transitional Screening along the entire western and southern property boundaries to screen the proposed homeless shelter in accordance with §13-302 of the Zoning Ordinance. If this is not possible as stated in a meeting on May 23, 2016 and a reduced width of transitional screening is determined to be necessary, a WTSW will need to be provided under a separate cover to be reviewed by UFMD. It will need to site one of the justifications per 13-305 of the Zoning Ordinance and be backed with site specific justifications for each of these three areas where a transitional screening modification is being requested.
- b.** The applicant should demonstrate in a matrix how the Type I and II Transitional Screening requirements will be met as required by the zoning ordinance such that the following is provided:

Department of Public Works and Environmental Services
Building Design and Construction Division
12000 Government Center Parkway, Suite 449
Fairfax, VA 22035-0052
Phone: 703-324-5800, TTY: 1-800-828-1120, Fax: 703-324-4365
www.fairfaxcounty.gov/dpwes



Temporary Bailey's Crossroads Community Shelter
2232 Determination Resubmission
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Page 2 of 3

- a. A mixture of large and medium evergreen trees and large deciduous trees that achieve a minimum ten year canopy of 75% or greater;
- b. A mixture of trees consisting of at least 70% evergreen trees, and consisting of no more than 35% of any single species of evergreen or deciduous tree; and
- c. A mixture of predominately medium evergreen shrubs at a rate of three shrubs for every 10 linear feet for the length of the transition yard area.

Response: Acknowledged. Transitional screening will be provided and the details will be addressed with the site plan submission to LDS at the time of permit review. A Waiver of Transitional Screening (WTSW) will be submitted under a separate cover to UFMD for review. WTSW is necessary to reduce the transitional screening required from Type II (35 foot wide) to Type I (25 foot wide) to maximize the remaining of the field for the community use and to minimize impact on the existing field asphalt path and existing vegetation, and to preserve the ability to return the field to its original conditions or to a condition with some input from Neighborhood Community Services and/or Lincolnia Senior Center.

2. **Comment:** It appears that some types of fencing currently exists along the periphery of the site, but appears that some is in poor condition, may actually be located offsite (south side as shown on RZ 86-M-009) and may not meet the intent of the barrier required. Please note that if this existing fencing is provided offsite, it cannot be used to meet the onsite barrier requirement.

Recommendation: The applicant should provide the required Type D, E, or F barrier internal to the transitional screening in accordance with §13-304 of the Zoning Ordinance or provide the proper justification for the modified barrier locations under the cover of a WTSW application in order to use the existing barrier if it is located onsite and meets the intent..

Response: Acknowledged. The details of the fencing will be addressed with the site plan submission to LDS at the time of permit review and a WTSW will be submitted under a separate cover to UFMD for review.

3. **Comment:** It is unclear how the interior parking lot landscaping requirement will be met since no landscaping has been proposed for this application.

Recommendation: Interior parking lot landscape tabulations should be provided, along with depicting the parking lot area being counted in the tabulation with a key and symbol and trees used to meet the requirement in accordance with ZO 13-201 and PFM 12-0514.

Response: Acknowledged and will be addressed with site plan submission to LDS at the time of permit review.

4. **Comment:** With this submission, some of the existing vegetation that was likely provided with the existing Senior Center has been removed from the plan, making it unclear how proposed improvement may impact and/or require some of this vegetation to be removed. In addition, it is

**Temporary Bailey's Crossroads Community Shelter
2232 Determination Resubmission
2232-M16-22
Page 3 of 3**

unclear what type of vegetation exists onsite since an Existing Vegetation Map (EVM) has not been provided.

Recommendation: The applicant should provide an accurate EVM that depicts the location of any cover types identified in PFM Table 12.2 and one that meets the requirements of Zoning Ordinance, Chapter 112, Article 13 and all elements of PFM 12-0506 for the entire site including the Senior Center.

Response: This project is for a temporary use and the layout disturbs a small amount of the site with minimal impacts to existing trees as shown on the plan, existing survey plan showing the existing vegetation at the north, west and south sides will be provided at the time of site plan review.

5. **Comment:** The limits of clearing and grading as proposed jog in and out around the canopy of several trees located primarily offsite, which appears to be excessive and unnecessary. In addition, it will remove and compact existing soil where transitional screening is required, which will likely require soil remediation as proposed prior to planting.

Recommendation: The proposed limits of clearing and grading should be reduced and pulled inward to the edge of the asphalt track that will be removed on the northern, western, and eastern sides of the site.

Response: Acknowledged and will be addressed with site plan submission to LDS at the time of permit review by adjusting limit of clearing and grading inward as requested by UFMD during the consultation meeting with them.

We trust that the above responses adequately address UFMD comments for the review of the 2232 application. Please contact me at (703) 324-2474 if you should need further information.

Sincerely,

Gasim Elfaki, Project Manager
Public Private Partnerships Branch
Building Design and Construction Division

cc: Chris Caperton, Chief, Facilities Planning Branch, DPZ
Katayoon Shaya, Chief, Public Private Partnerships Branch, BDCD, DPWES

Attachment R

Va. Code Sec. 15.2-2232

§ 15.2-2232. Legal status of plan.

A. Whenever a local planning commission recommends a comprehensive plan or part thereof for the locality and such plan has been approved and adopted by the governing body, it shall control the general or approximate location, character and extent of each feature shown on the plan. Thereafter, unless a feature is already shown on the adopted master plan or part thereof or is deemed so under subsection D, no street or connection to an existing street, park or other public area, public building or public structure, public utility facility or public service corporation facility other than a railroad facility or an underground natural gas or underground electric distribution facility of a public utility as defined in subdivision (b) of § 56-265.1 within its certificated service territory, whether publicly or privately owned, shall be constructed, established or authorized, unless and until the general location or approximate location, character, and extent thereof has been submitted to and approved by the commission as being substantially in accord with the adopted comprehensive plan or part thereof. In connection with any such determination, the commission may, and at the direction of the governing body shall, hold a public hearing, after notice as required by § 15.2-2204. Following the adoption of the Statewide Transportation Plan by the Commonwealth Transportation Board pursuant to § 33.1-23.03 and written notification to the affected local governments, each local government through which one or more of the designated corridors of statewide significance traverses, shall, at a minimum, note such corridor or corridors on the transportation plan map included in its comprehensive plan for information purposes at the next regular update of the transportation plan map. Prior to the next regular update of the transportation plan map, the local government shall acknowledge the existence of corridors of statewide significance within its boundaries.

B. The commission shall communicate its findings to the governing body, indicating its approval or disapproval with written reasons therefor. The governing body may overrule the action of the commission by a vote of a majority of its membership. Failure of the commission to act within 60 days of a submission, unless the time is extended by the governing body, shall be deemed approval. The owner or owners or their agents may appeal the decision of the commission to the governing body within 10 days after the decision of the commission. The appeal shall be by written petition to the governing body setting forth the reasons for the appeal. The appeal shall be heard and determined within 60 days from its filing. A majority vote of the governing body shall overrule the commission.

C. Widening, narrowing, extension, enlargement, vacation or change of use of streets or public areas shall likewise be submitted for approval, but paving, repair, reconstruction, improvement, drainage or similar work and normal service extensions of public utilities or public service corporations shall not require approval unless such work involves a change in location or extent of a street or public area.

D. Any public area, facility or use as set forth in subsection A which is identified within, but not the entire subject of, a submission under either § 15.2-2258 for subdivision or subdivision A 8 of § 15.2-2286 for development or both may be deemed a feature already shown on the adopted master plan, and, therefore, excepted from the requirement for submittal to and approval by the commission or the governing body; provided, that the governing body has by ordinance or resolution defined standards governing the construction, establishment or authorization of such public area, facility or use or has approved it through acceptance of a proffer made pursuant to § 15.2-2303.

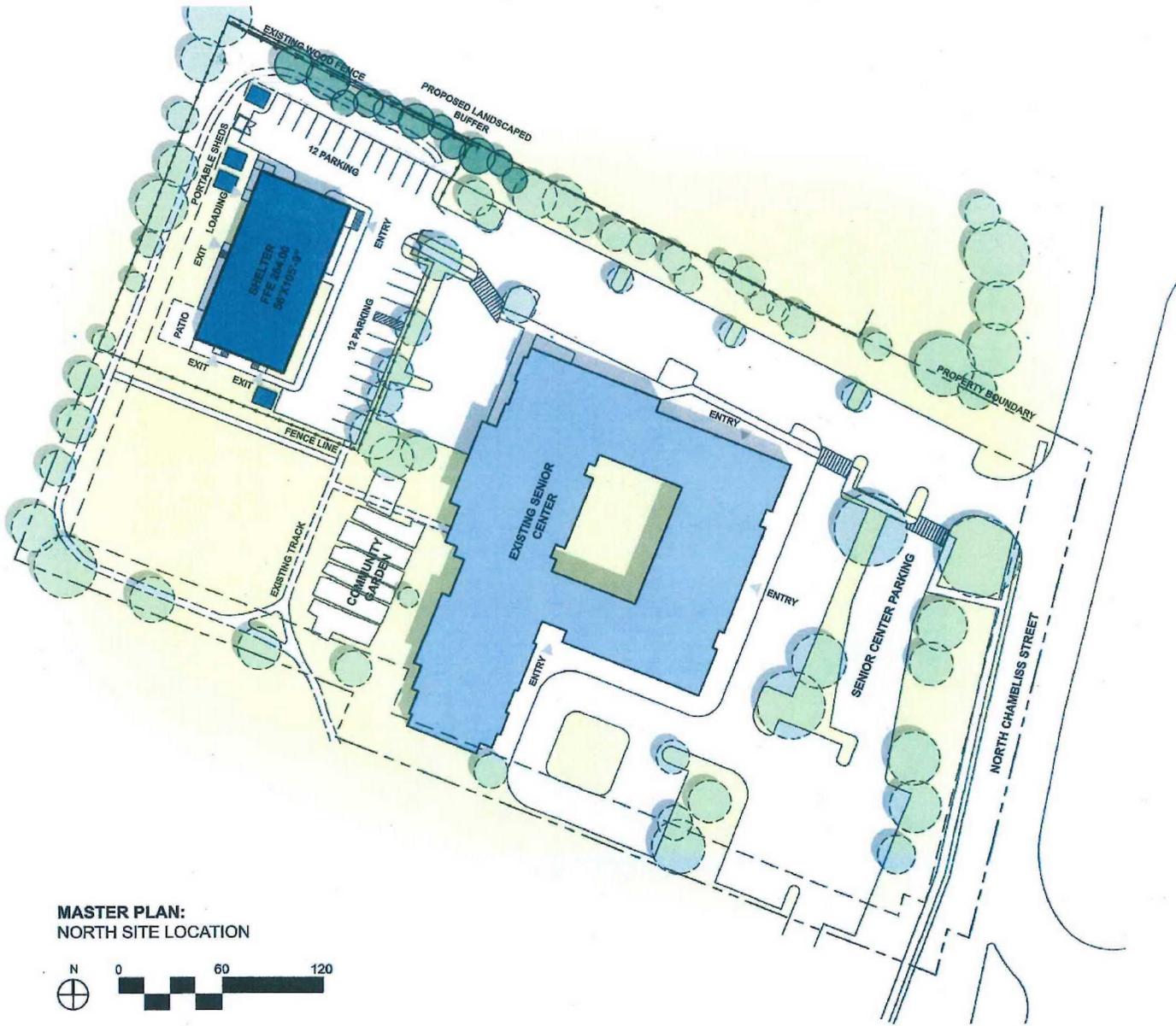
E. Approval and funding of a public telecommunications facility on or before July 1, 2012, by the Virginia Public Broadcasting Board pursuant to Article 12 (§ 2.2-2426 et seq.) of Chapter 24 of Title 2.2 or after July 1, 2012, by the Board of Education pursuant to § 22.1-20.1 shall be deemed to satisfy the requirements of this section and local zoning ordinances with respect to such facility with the exception of television and radio towers and structures not necessary to house electronic apparatus. The exemption provided for in this subsection shall not apply to facilities existing or approved by the Virginia Public Telecommunications Board prior to July 1, 1990. The Board of Education shall notify the governing body of the locality in advance of any meeting where approval of any such facility shall be acted upon.

F. On any application for a telecommunications facility, the commission's decision shall comply with the requirements of the Federal Telecommunications Act of 1996. Failure of the commission to act on any such application for a telecommunications facility under subsection A submitted on or after July 1, 1998, within 90 days of such submission shall be deemed approval of the application by the commission unless the governing body has authorized an extension of time for consideration or the applicant has agreed to an extension of time. The governing body may extend the time required for action by the local commission by no more than 60 additional days. If the commission has not acted on the application by the end of the extension, or by the end of such longer period as may be agreed to by the applicant, the application is deemed approved by the commission.

(Code 1950, §§ 15-909, 15-923, 15-964.10; 1958, c. 389; 1960, c. 567; 1962, c. 407, § 15.1-456; 1964, c. 528; 1966, c. 596; 1968, c. 290; 1975, c. 641; 1976, c. 291; 1978, c. 584; 1982, c. 39; 1987, c. 312; 1989, c. 532; 1990, c. 633; 1997, cc. 587, 858; 1998, c. 683; 2007, c. 801; 2009, cc. 670, 690; 2012, cc. 803, 835.)

Attachment S

Revised Master Plan showing the proposed fence between
Charleston Square and transitional screening



MASTER PLAN:
NORTH SITE LOCATION



FAIRFAX COUNTY
BOA TASK 022
AECOM Project No. 60480129

PHASE II
TEMPORARY BAILEY'S
CROSSROADS
COMMUNITY SHELTER



AECOM