



Chris B. Caperton
Chief, Facilities Planning Branch
Fairfax County Department of Planning and Zoning
12055 Government Center Parkway, Suite 730
Fairfax, VA 22035

Subject:
Mount Daniel Elementary School
Application Number: FS-D14-53
Planning Commission Additional Information

Dear Mr. Caperton:

In reference to the Planning Commission Public Hearing held June 24, 2015 for the Mount Daniel Elementary School, Application Number FS-D14-53, the following additional information is being provided as requested.

For clarity, the information listed below has been organized into separate attachments:

Attachment A – School History and Grade Configuration

Attachment B – Weekend and Community Use

Attachment C – Building Square Feet

Attachment D – Alternative Sites

Attachment E - ADA Compliance

Attachment F – HVAC Noise

Attachment G – CIP Budget Information

Attachment H – Building Massing

Attachment I – Construction Documents

Attachment J – ASAC Presentation

Attachment K – Temporary Trailers

ARCADIS
9861 Broken Land Parkway
Suite 254
Columbia
Maryland 21046
Tel 410.381.1990
Fax 410.381.0109
www.arcadis-us.com

PM/CM

Date:
July 1, 2015

Contact:
Robert E. Jones

Phone:
410.984.2459

Email:
robert.jones@arcadis-us.com

Our ref:

Attachment L – Signed Resolution

Attachment M – North Oak Street

There are a number of benefits to the surrounding community that will occur with the subject project at Mount Daniel Elementary Schools including:

- The expanded parking will further improve the “adequate” parking situation during the normal day to day operations of the school.
- The expanded parking will provide additional parking for the community during off-hours and the summer, particularly High Point Pool.
- The current Stormwater Management installed with the 2005 Addition will be greatly expanded to meet the new Fairfax County Stormwater Regulations. Stormwater detention will be expanded to capture a 10-year storm event. This can only help the reported flooding issues experienced by the community in the area.
- The Bus Loop which currently sheet flows rain runoff down North Oak Street will be regraded, and will re-direct the water to the stormwater detention facility. This will help alleviate the amount of water flowing down North Oak Street to a stormwater system that is currently overwhelmed during storms.
- The project will provide a fully sprinkled building which not only improves the safety of students and staff, but also Fire and Rescue personnel that may respond to the facility.
- During off-hours, the school playgrounds will continue to be open for community use and the building facility open for community meetings, such as the local homeowner’s association at no charge.

We trust that the additional information provided will show that the Mount Daniel Elementary School project is consistent with the comprehensive plan and warrants 2232 Application approval. Some key points regarding the approval include:

- The Mount Daniel Elementary School is a feature currently shown on the comprehensive plan.
- The FAR calculation remains below the FAR limit for the site
- The building footprint remains nearly the same as the current building footprint.
- Stormwater Management will be greatly upgraded to meet the new Fairfax County Stormwater regulations.

Mr. Chris Caperton
July 1, 2015

- It was determined that traffic will operate with an adequate level of service when Mount Daniel is at full capacity.
- The professional Fairfax County staff has performed due diligence well beyond that of a typical 2232 application, and has recommended approval of the project.

If you should have any questions, please contact me at 410-984-2459.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert E. Jones", with a long horizontal flourish extending to the right.

Robert E. Jones

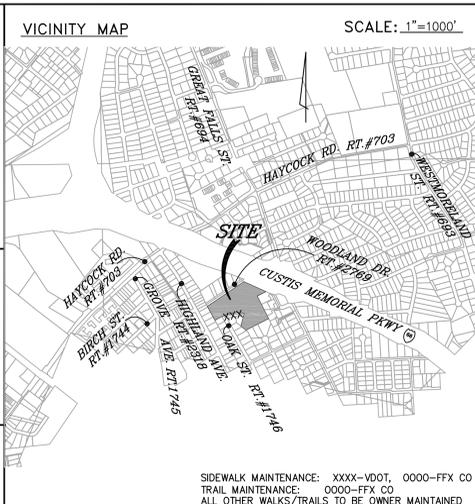
Cc: *Project File*

PLAN APPROVAL INFORMATION table with columns: RELATED INFORMATION, REQUIRED, NOT REQUIRED, COUNTY I.D. NUMBER, COMMENTS/SHEET NO.

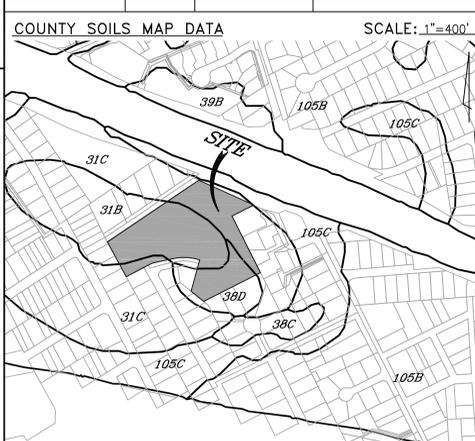
PROFESSIONAL SEAL AND SIGNATURE section for Mark D. Liberati, Lic. No. 21211

DESIGNATED PLANS EXAMINER (DPE) CERTIFICATE section with submission and approval dates

ZONING REQUIREMENTS section listing zoning R-4, lot area, height, and other specifications



TAX MAP REFERENCE NUMBER(S) table with columns: MAP PAGE #, DOUBLE CIRCLE #, BLOCK (SINGLE CIRCLE #), LOT/PARCEL(S) #



SOIL ID NUMBERS table with columns: SOIL ID NUMBERS, SOIL SERIES NAME, FOUNDATION SUPPORT, SOIL DRAINAGE, EROSION POTENTIAL, PROBLEM CLASS

IS THE SITE LOCATED WITHIN NATURALLY OCCURRING ASBESTOS SOILS? YES [] NO [X]

STORMWATER INFORMATION table with columns: FACILITY ID NO., FACILITY TYPE, PURPOSE, AREA TREATED (ACRES), etc.

ENGINEER'S/SURVEYOR'S CERTIFICATE: THIS PROPERTY IS IN THE NAME OF CITY OF FALLS CHURCH SCHOOL BOARD & CITY OF FALLS CHURCH

OWNER INFORMATION: CITY OF FALLS CHURCH SCHOOL BOARD & CITY OF FALLS CHURCH

DEVELOPER INFORMATION: CITY OF FALLS CHURCH SCHOOL BOARD

APPROVED section with table for DATE, RECOMMEND APPROVAL (SIGNATURE & PRINTED NAME)

CERTIFICATE OF NO CHANGE (FOR SUBMISSION OTHER THAN THE FIRST)

I HEREBY CERTIFY THAT NO CHANGES HAVE BEEN MADE THAT WOULD AFFECT PRIOR APPROVAL BY THE FIRE MARSHAL DATED...

SHEET INDEX table listing sheet numbers (C1-C35) and descriptions of content on each sheet

SOLID WASTE AND RECYCLING: ALL PROPERTIES ARE REQUIRED TO RECYCLE. DESIGNS FOR ALL PROPERTIES MUST PROVIDE ADEQUATE CONTAINERS/STRUCTURES...

SANITARY SEWER INFORMATION: WASTEWATER TREATMENT PLANT ALEXANDRIA & ARLINGTON

INFORMATION REGARDING ACTIVITIES IN A RESOURCE PROTECTION AREA table with columns: ACTIVITY, YES/NO

TREE PRESERVATION: TREE PRESERVATION TARGET DEVIATIONS OR MODIFICATIONS ARE BEING REQUESTED.

POTENTIAL FOR WETLANDS: IS THE DISTURBED AREA LOCATED IN A WETLANDS AREA DEPICTED ON THE NATIONAL WETLANDS INVENTORY MAP?

NOTES AND CONDITIONS: 1. THE APPROVAL OF THESE PLANS SHALL IN NO WAY RELIEVE THE DEVELOPER OR HIS AGENT OF ANY LEGAL RESPONSIBILITIES...

BC Consultants logo and contact information: 12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033

COUNTY NUMBER 0481-SP-002-1

PLAN REVIEWER: DRANESVILLE DISTRICT, FAIRFAX COUNTY, VIRGINIA



Mount Daniel Elementary School Addition & Renovation

2328 N Oak St., Falls Church, VA

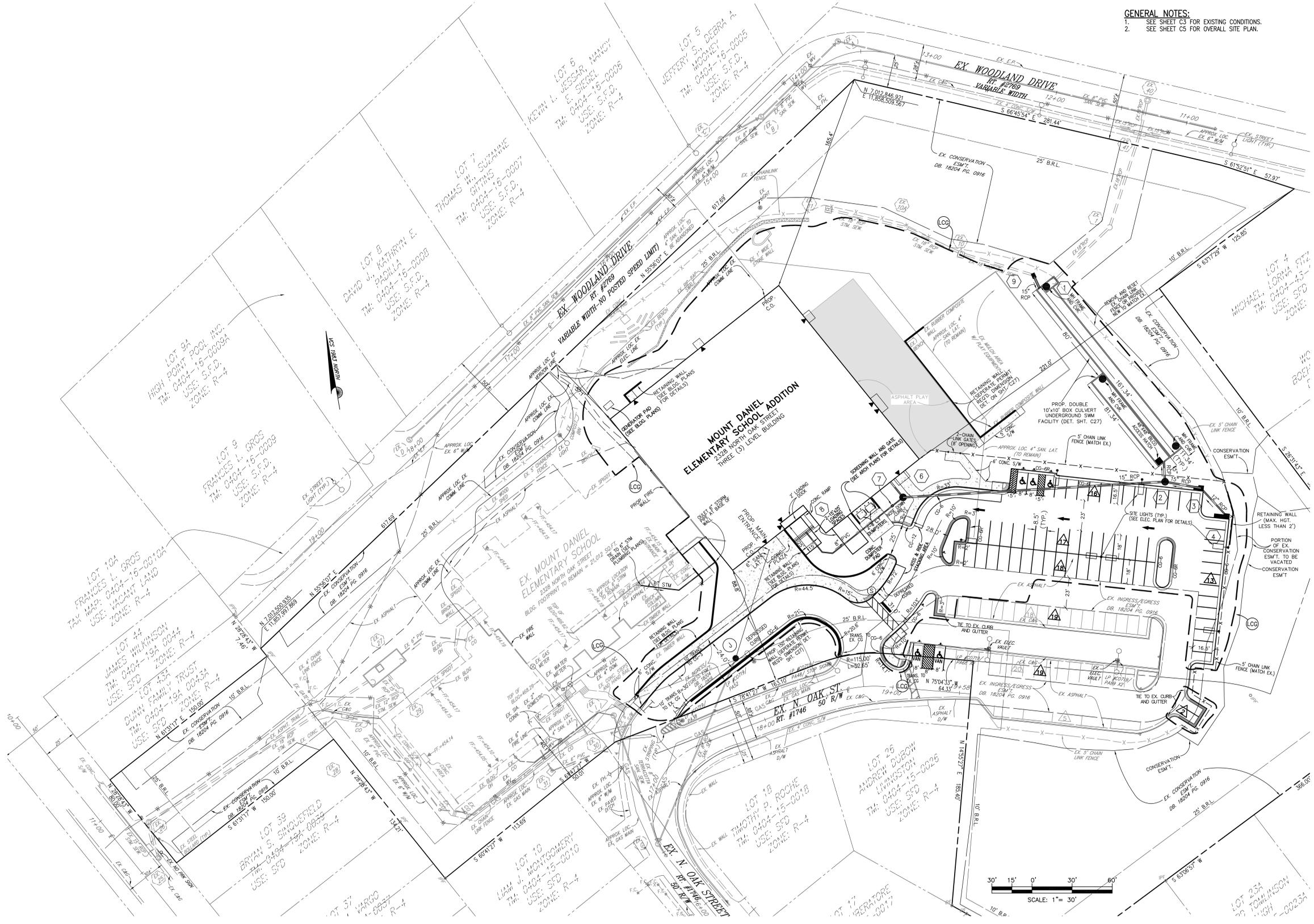
Revision Log table with columns: No., Description, Date

Current Revision Number: 9, Current Revision Date: 5/12/2015

COVER SHEET

BC Consultants logo and contact information: 12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033

GENERAL NOTES:
1. SEE SHEET C3 FOR EXISTING CONDITIONS.
2. SEE SHEET C5 FOR OVERALL SITE PLAN.



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3	Progress Set	1/26/2015
4	Progress Set	2/18/2015
5	95% Submission	2/25/2015
6	Final Set	3/11/2015
7	Remove Manuf. BMP Facilities	3/18/2015
8	95% Submission	4/10/2015
9	95% Submission	5/12/2015

Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 5/12/2015
Sheet Title:

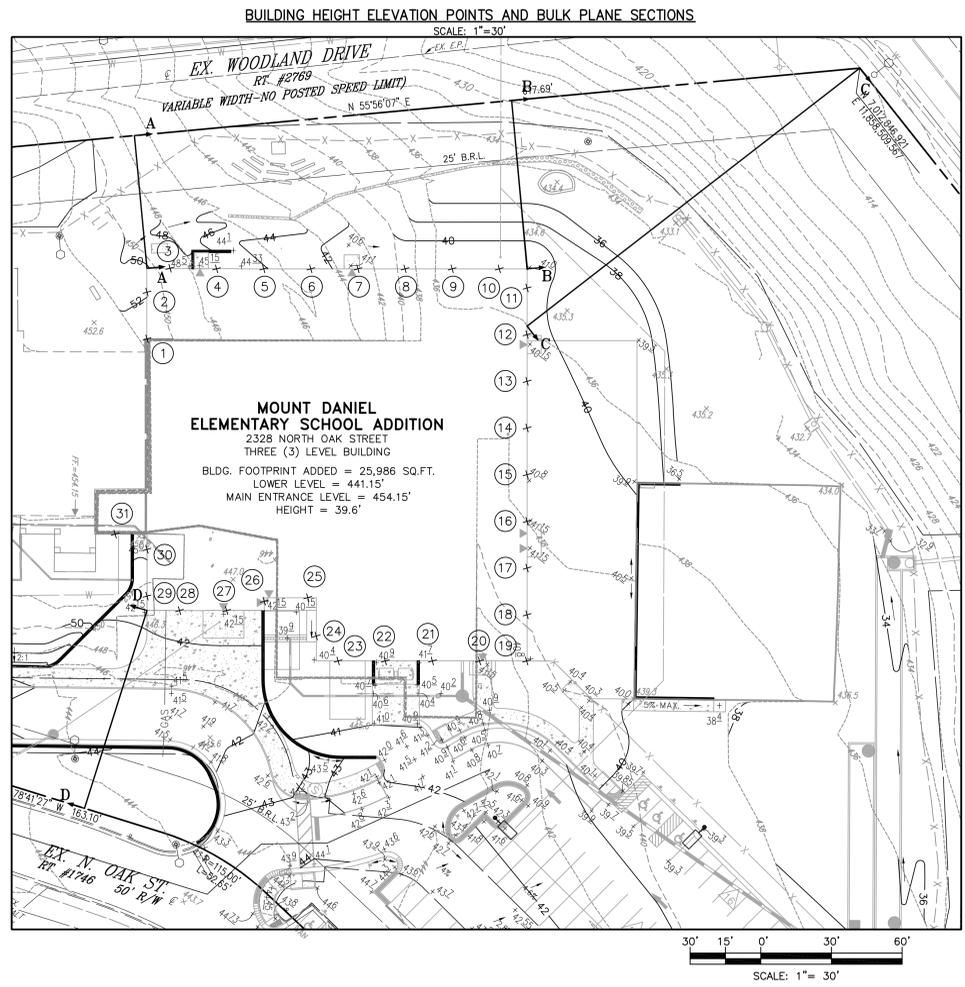
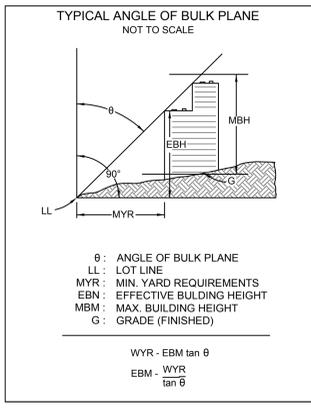
SITE PLAN

Sheet No. in Set: Total No. Sheets: C35

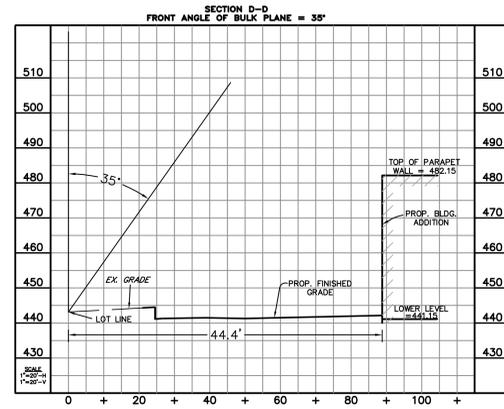
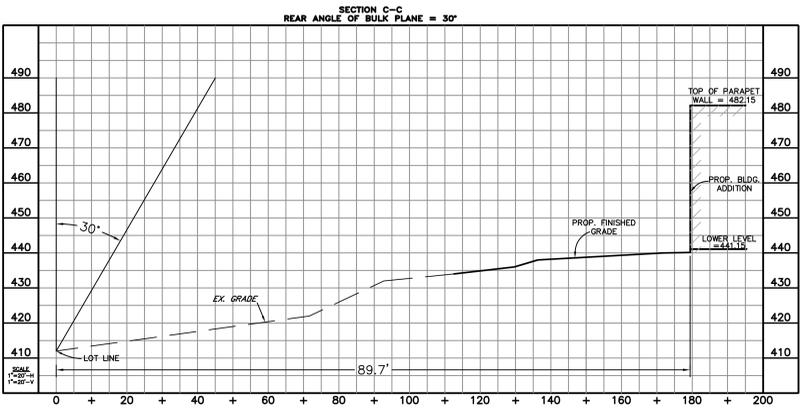
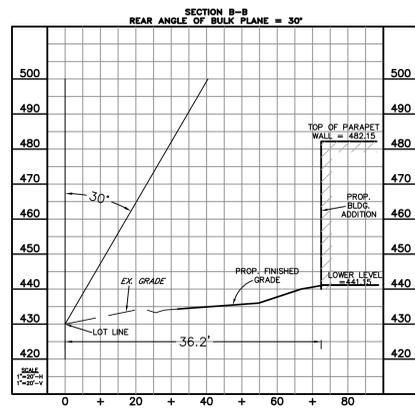
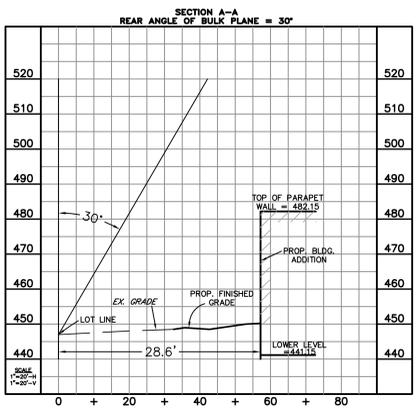
C6

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BC Project Number: 14511.02

Issue Date: 5/12/2015
Principal: MDL
Project Manager: DCC
Project Team: ATP/BWB
Project Number: ----



BULK PLANE CROSS SECTIONS



BUILDING HEIGHT COMPUTATIONS

MT. DANIEL ELEMENTARY SCHOOL			
Existing Grade		Proposed Grade	
Elevation 1	451.80	Elevation 1	452.60
Elevation 2	451.00	Elevation 2	451.90
Elevation 3	449.10	Elevation 3	449.00
Elevation 4	447.30	Elevation 4	445.00
Elevation 5	446.30	Elevation 5	441.50
Elevation 6	445.10	Elevation 6	444.10
Elevation 7	442.90	Elevation 7	441.10
Elevation 8	439.15	Elevation 8	441.10
Elevation 9	435.15	Elevation 9	441.10
Elevation 10	433.00	Elevation 10	441.00
Elevation 11	435.00	Elevation 11	441.00
Elevation 12	438.10	Elevation 12	440.20
Elevation 13	436.50	Elevation 13	440.30
Elevation 14	437.20	Elevation 14	440.50
Elevation 15	437.60	Elevation 15	440.90
Elevation 16	438.00	Elevation 16	441.15
Elevation 17	438.40	Elevation 17	441.15
Elevation 18	439.10	Elevation 18	441.00
Elevation 19	441.00	Elevation 19	440.80
Elevation 20	444.20	Elevation 20	441.15
Elevation 21	446.20	Elevation 21	441.15
Elevation 22	446.20	Elevation 22	440.95
Elevation 23	446.20	Elevation 23	440.40
Elevation 24	446.20	Elevation 24	440.40
Elevation 25	446.20	Elevation 25	442.15
Elevation 26	447.00	Elevation 26	442.15
Elevation 27	446.60	Elevation 27	442.15
Elevation 28	446.50	Elevation 28	442.15
Elevation 29	451.70	Elevation 29	442.50
Elevation 30	452.50	Elevation 30	442.80
Elevation 31	453.30	Elevation 31	443.00
Avg. Ex. Grade = 443.69		Avg. Grade = 442.58	
		Finished Floor = 441.15	
		Highest Roof Elevation = 482.15	
		Building Height = 39.6	



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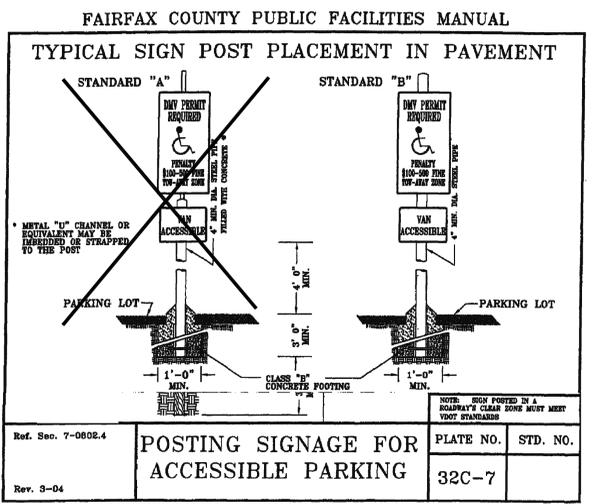
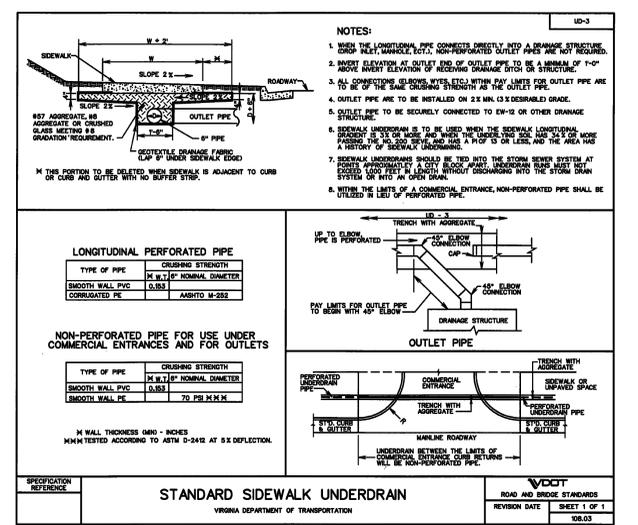
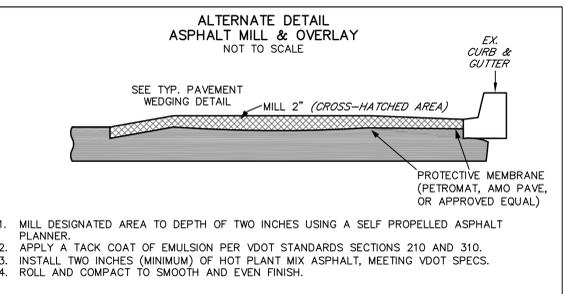
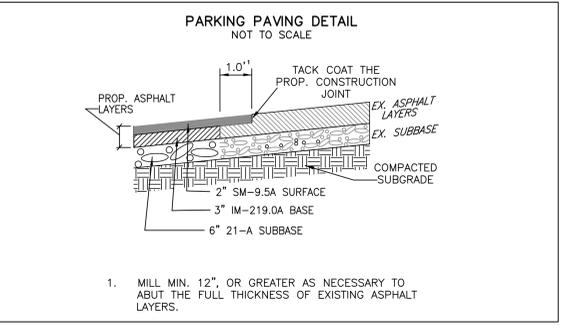
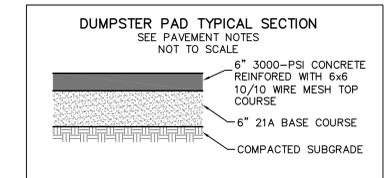
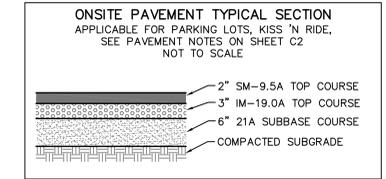
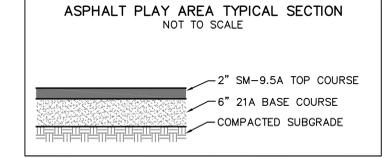
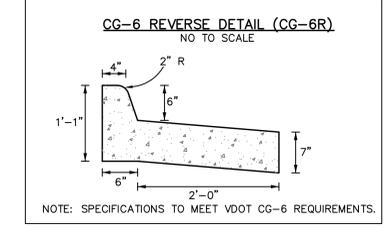
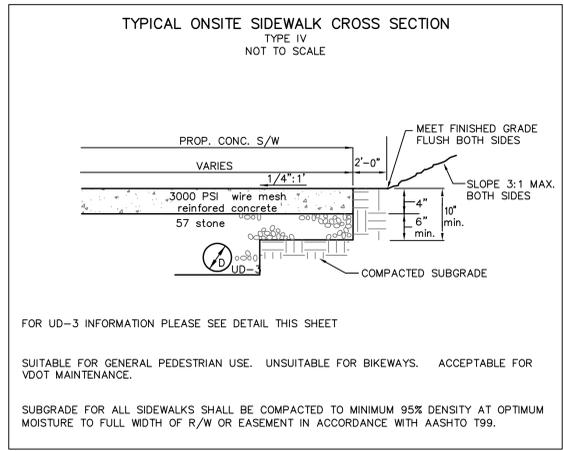
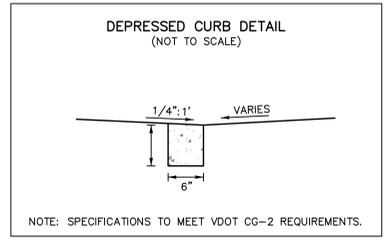
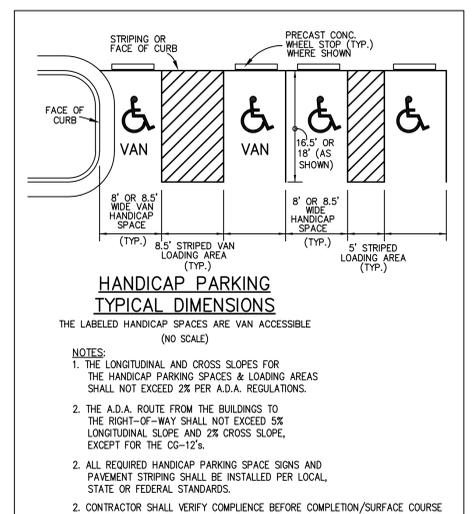
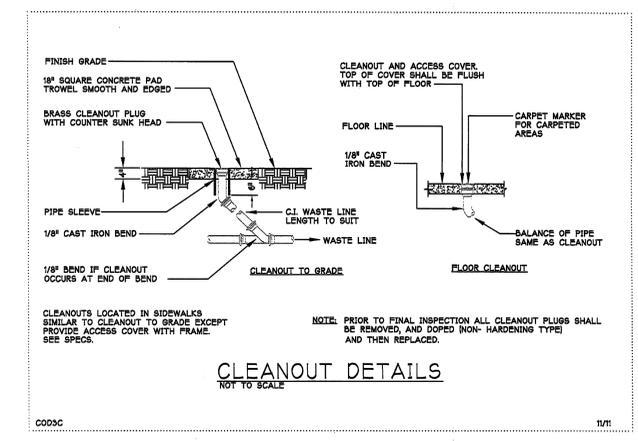
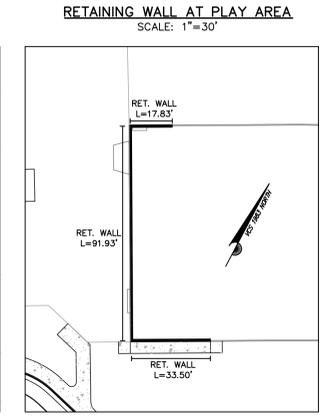
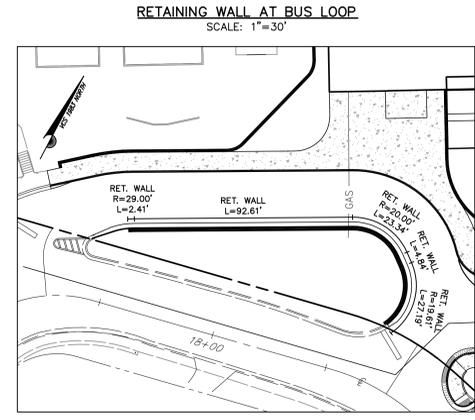
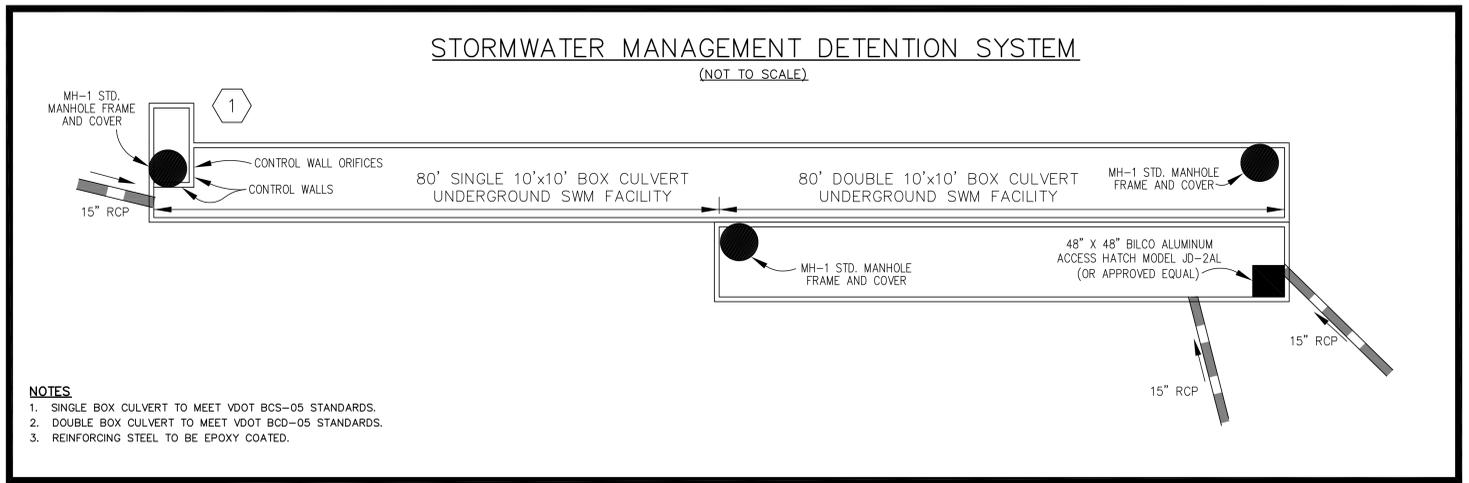
BUILDING HEIGHT COMPUTATIONS

Sheet No. in Set: Total No. Sheets: C35

C8

Issue Date: 5/12/2015
Principal: MDL
Project Manager: DGC
Project Team: ATP/BWB
Project Number: ---

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www.bcon.com
BC Project Number: 14511.02



No.	Description	Date
1	Schematic Submission	12/3/2014
2	Design Develop. Submission	12/19/2014
3	Progress Set	1/26/2015
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Current Revision Number: 9
 Current Revision: 5/12/2015
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 Sheet Title:

SITE DETAILS

Sheet No. in Set: Total No. Sheets: C35

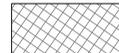
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C27

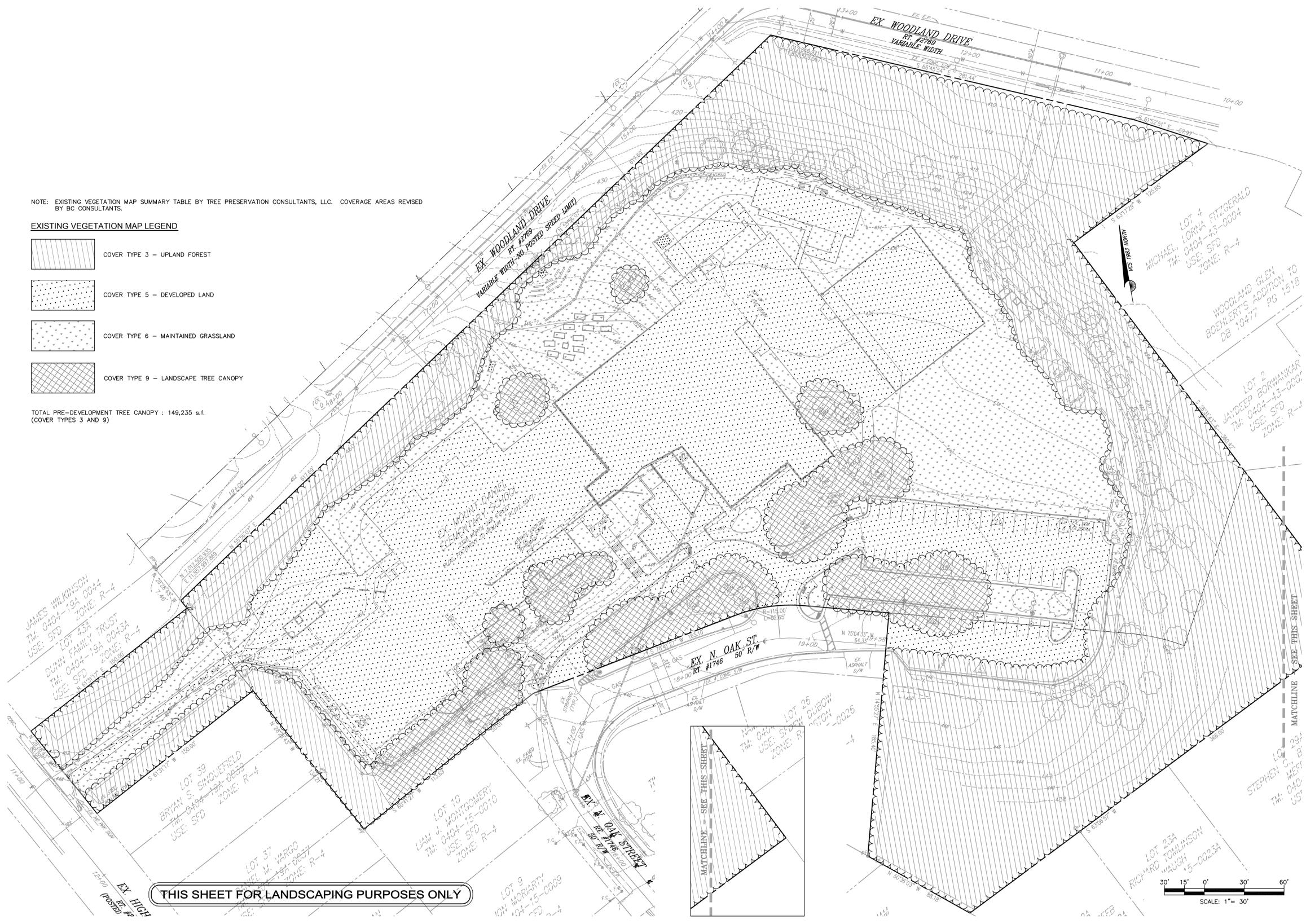
Issue Date: 5/12/2015
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NOTE: EXISTING VEGETATION MAP SUMMARY TABLE BY TREE PRESERVATION CONSULTANTS, LLC. COVERAGE AREAS REVISED BY BC CONSULTANTS.

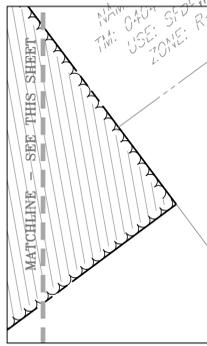
EXISTING VEGETATION MAP LEGEND

-  COVER TYPE 3 - UPLAND FOREST
-  COVER TYPE 5 - DEVELOPED LAND
-  COVER TYPE 6 - MAINTAINED GRASSLAND
-  COVER TYPE 9 - LANDSCAPE TREE CANOPY

TOTAL PRE-DEVELOPMENT TREE CANOPY : 149,235 s.f.
 (COVER TYPES 3 AND 9)



THIS SHEET FOR LANDSCAPING PURPOSES ONLY



**Mount Daniel
Elementary School
Addition &
Renovation**
 2328 N Oak St., Falls Church, VA

Revision Log

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**EXISTING
VEGETATION
MAP**

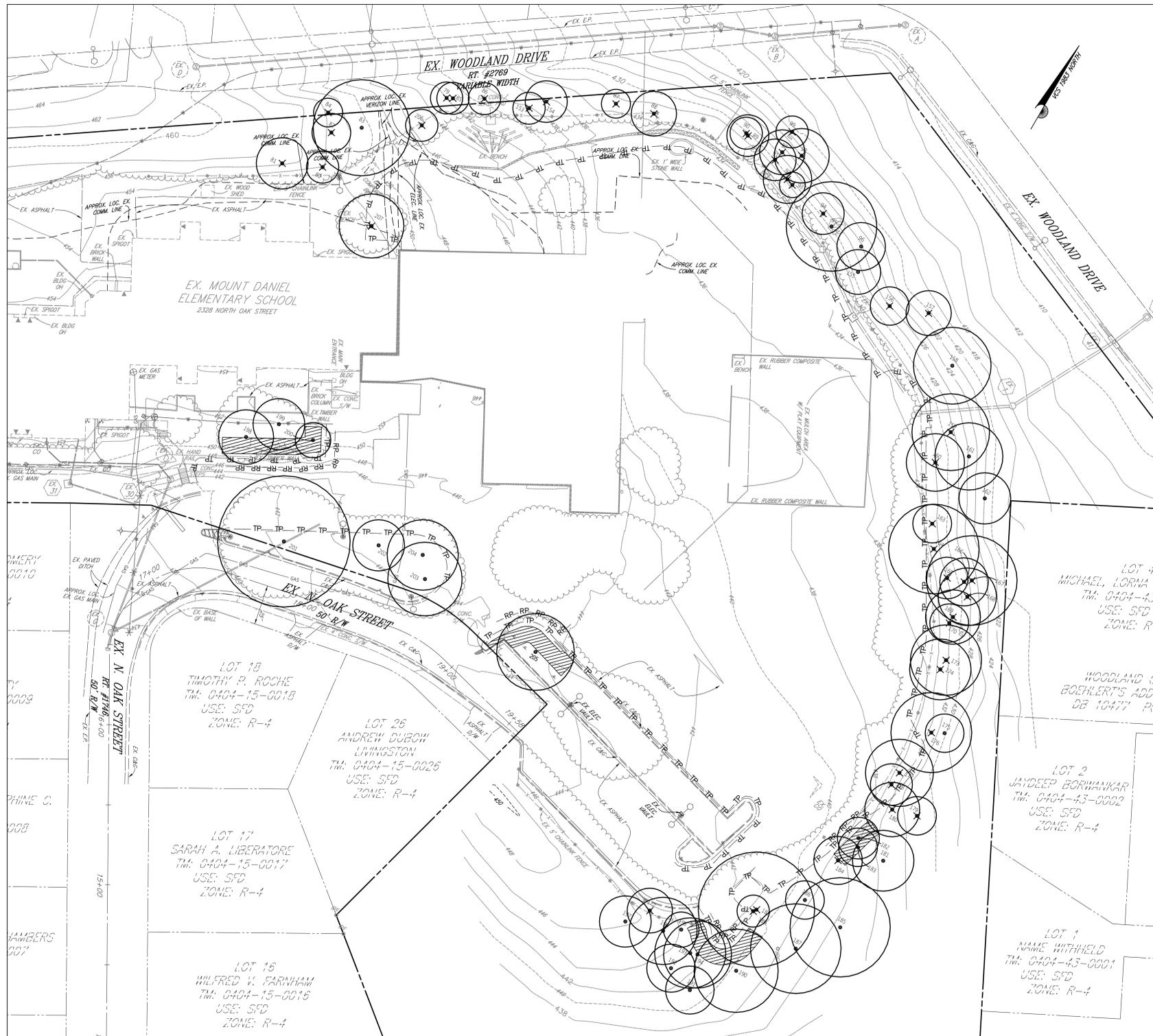
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C28

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TREE PRESERVATION PLAN



TREE CONSERVATION PLAN LEGEND

TREE TO BE PRESERVED, OUTER CIRCLE REPRESENTS TYPICAL ROOT ZONE

TREE TO BE REMOVED OR REMOVED WITH PERMISSION

ROOT PRUNING — RP— RP— RP— RP— RP— RP— RP—

TREE PROTECTION FENCE — TP— TP— TP— TP— TP— TP—

LIMITS OF DISTURBANCE ————

MULCHING AREA

TREE PRESERVATION CONSULTANTS, LLC
 (703) 349-6608 • (703) 431-4477 • (703) 652-2504
 61 CRICKETS LANE, LINDEN VA, 22642
 www.treepreservationconsultants.com



Mount Daniel Elementary School Addition & Renovation
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TREE PRESERVATION PLAN

Sheet No. in Set: Total No. Sheets: C35

C29

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 Project Number: ---

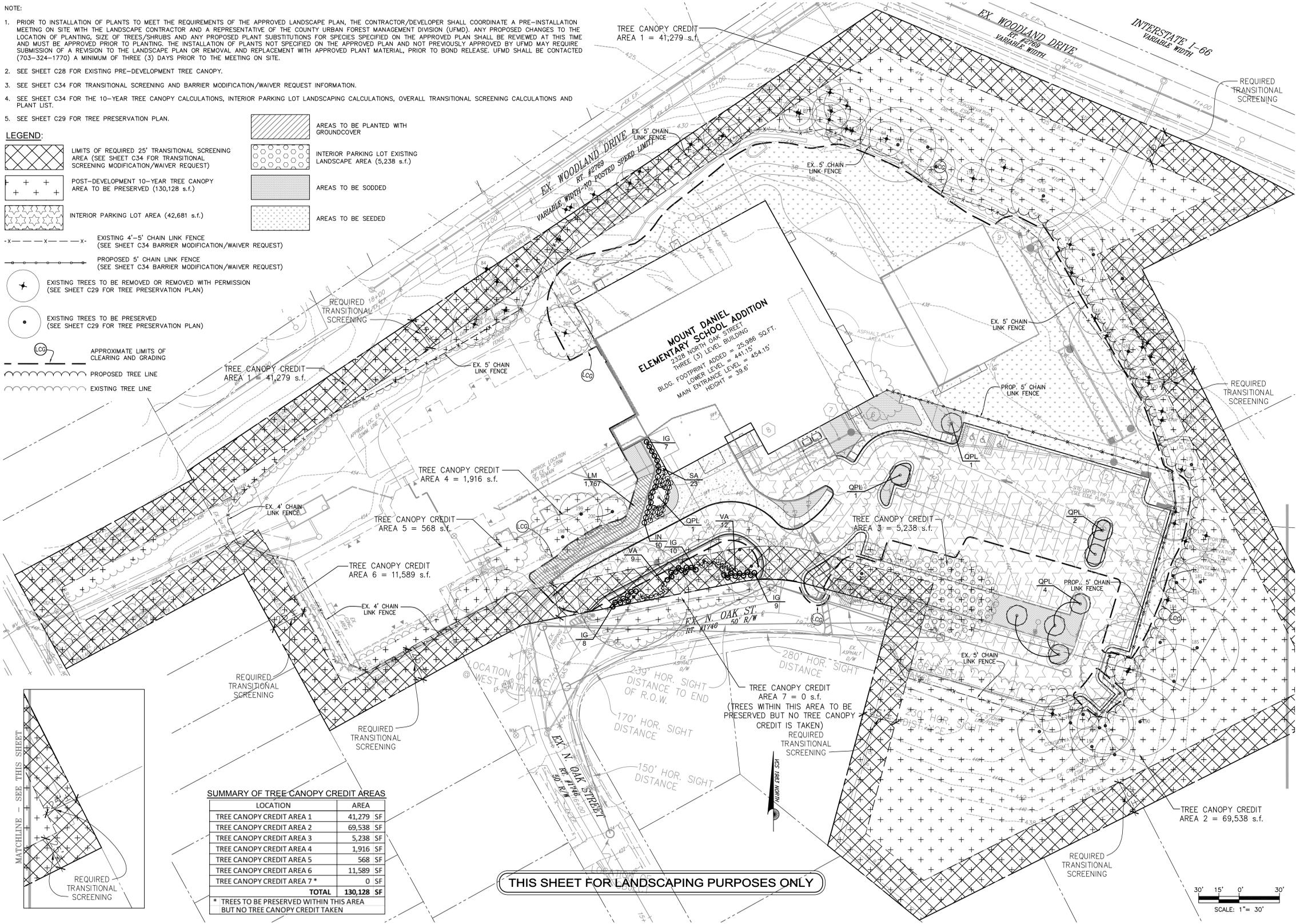
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 www.bccon.com
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NOTE:

1. PRIOR TO INSTALLATION OF PLANTS TO MEET THE REQUIREMENTS OF THE APPROVED LANDSCAPE PLAN, THE CONTRACTOR/DEVELOPER SHALL COORDINATE A PRE-INSTALLATION MEETING ON SITE WITH THE LANDSCAPE CONTRACTOR AND A REPRESENTATIVE OF THE COUNTY URBAN FOREST MANAGEMENT DIVISION (UFMD). ANY PROPOSED CHANGES TO THE LOCATION OF PLANTING, SIZE OF TREES/SHRUBS AND ANY PROPOSED PLANT SUBSTITUTIONS FOR SPECIES SPECIFIED ON THE APPROVED PLAN SHALL BE REVIEWED AT THIS TIME AND MUST BE APPROVED PRIOR TO PLANTING. THE INSTALLATION OF PLANTS NOT SPECIFIED ON THE APPROVED PLAN AND NOT PREVIOUSLY APPROVED BY UFMD MAY REQUIRE SUBMISSION OF A REVISION TO THE LANDSCAPE PLAN OR REMOVAL AND REPLACEMENT WITH APPROVED PLANT MATERIAL, PRIOR TO BOND RELEASE. UFMD SHALL BE CONTACTED (703-324-1770) A MINIMUM OF THREE (3) DAYS PRIOR TO THE MEETING ON SITE.
2. SEE SHEET C28 FOR EXISTING PRE-DEVELOPMENT TREE CANOPY.
3. SEE SHEET C34 FOR TRANSITIONAL SCREENING AND BARRIER MODIFICATION/WAIVER REQUEST INFORMATION.
4. SEE SHEET C34 FOR THE 10-YEAR TREE CANOPY CALCULATIONS, INTERIOR PARKING LOT LANDSCAPING CALCULATIONS, OVERALL TRANSITIONAL SCREENING CALCULATIONS AND PLANT LIST.
5. SEE SHEET C29 FOR TREE PRESERVATION PLAN.

LEGEND:

	LIMITS OF REQUIRED 25' TRANSITIONAL SCREENING AREA (SEE SHEET C34 FOR TRANSITIONAL SCREENING MODIFICATION/WAIVER REQUEST)		INTERIOR PARKING LOT EXISTING LANDSCAPE AREA (5,238 s.f.)
	POST-DEVELOPMENT 10-YEAR TREE CANOPY AREA TO BE PRESERVED (130,128 s.f.)		AREAS TO BE SODDED
	INTERIOR PARKING LOT AREA (42,681 s.f.)		AREAS TO BE SEEDED
	EXISTING 4'-5' CHAIN LINK FENCE (SEE SHEET C34 BARRIER MODIFICATION/WAIVER REQUEST)		
	PROPOSED 5' CHAIN LINK FENCE (SEE SHEET C34 BARRIER MODIFICATION/WAIVER REQUEST)		
	EXISTING TREES TO BE REMOVED OR REMOVED WITH PERMISSION (SEE SHEET C29 FOR TREE PRESERVATION PLAN)		
	EXISTING TREES TO BE PRESERVED (SEE SHEET C29 FOR TREE PRESERVATION PLAN)		
	APPROXIMATE LIMITS OF CLEARING AND GRADING		
	PROPOSED TREE LINE		
	EXISTING TREE LINE		

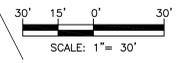


SUMMARY OF TREE CANOPY CREDIT AREAS

LOCATION	AREA
TREE CANOPY CREDIT AREA 1	41,279 SF
TREE CANOPY CREDIT AREA 2	69,538 SF
TREE CANOPY CREDIT AREA 3	5,238 SF
TREE CANOPY CREDIT AREA 4	1,916 SF
TREE CANOPY CREDIT AREA 5	568 SF
TREE CANOPY CREDIT AREA 6	11,589 SF
TREE CANOPY CREDIT AREA 7 *	0 SF
TOTAL	130,128 SF

* TREES TO BE PRESERVED WITHIN THIS AREA BUT NO TREE CANOPY CREDIT TAKEN

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LANDSCAPE PLAN

Sheet No. in Set: Total No. Sheets: C35

C33

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10-YEAR TREE CANOPY CALCULATIONS

TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT		Total (s.f.)
A1	Pre-development Area of Existing Tree Canopy	146,235
A2	Percentage of Gross Site Area Covered by Existing Tree Canopy (A1/B1)	48.9%
A3	Percentage of 10-year Tree Canopy Required for the Site (B6)	10%
A4	Percentage of the 10-Year Tree Canopy Requirement That Should be Met Through Tree Preservation	46.9%
A5	Proposed Percentage of Canopy Requirement That Will be Met Through Tree Preservation (C10/B7)	510.7%
A6	Has the Tree Preservation Target Minimum Been Met?	Yes
A7	If A6 is no, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in §12-0507.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation Target cannot be met. Provide sheet number where deviation request is located. The narrative shall be prepared in accordance with §12-0507.4.	N/A
B. TREE CANOPY REQUIREMENT		
B1	Identify Gross Area	318,556
B2	Subtract Areas Dedicated to Parks, and Road Frontage	0
B3	Subtract Areas of Exemption	0
B4	Adjusted Gross Site Area B1 - (B2 + B3)	318,556
B5	Identify Site's Zoning and/or Use	School
B6	Percentage of 10-Year Tree Canopy Required	10%
B7	Area of 10-Year Tree Canopy Required (B4xB6)	31,856
B8	Modification of 10-Year Tree Canopy Requirements Requested?	No
B9	If B8 is Yes, then List Plan Sheets Where Modification Request is Located	N/A
C. TREE CANOPY PRESERVATION		
C1	Tree Preservation Target Area (B7 x A4)	14,924
C2	Total Canopy Area Meeting Standards of §12-0200	130,128
C3	Total Canopy Area Meeting Standards of §12-0200 But Does Not Qualify for Bonus Multiplier	162,860
C3.1	Total Canopy Area Meeting Standards of §12-0200 But Does Not Qualify for Bonus Multiplier	0
C3.2	Total Canopy Area Meeting Standards of §12-0200 But Does Not Qualify for Bonus Multiplier	0
C4	Total Canopy Area Provided by Unique or Valuable Forest or Woodland Community	0
C5	Total Canopy Area Provided by "Heritage" Memorial "Specimen" or "Street Tree"	0
C6	Total Canopy Area Provided by "Heritage" Memorial "Specimen" or "Street Tree"	0
C7	Total Canopy Area Provided by "Heritage" Memorial "Specimen" or "Street Tree"	0
C8	Canopy Area of Trees Within Resource Protection Areas and 100-Year Floodplains	0
C9	Total Canopy Area Provided by Unique or Valuable Forest or Woodland Community	0
C10	Totals of C3, C3.1, C5, C7 and C9	162,860
D. TREE PLANTING		
D1	Area of Canopy to be Met Through Tree Planting (B7-C10) Note: If Area is Less than Zero then No Tree Planting is Necessary Unless Required by Other Ordinance. If Area is Greater than Zero then this Area Must be Met Through Tree Planting.	-130,807
D2	Area of Canopy Planted for Air Quality Benefits	0
D3	Area of Canopy Planted for Energy Conservation	0
D4	Area of Canopy Planted for Energy Conservation	0
D5	Area of Canopy Planted for Energy Conservation	0
D6	Area of Canopy Planted for Water Quality Benefits	0
D7	Area of Canopy Planted for Wildlife Benefits	0
D8	Area of Canopy Planted for Wildlife Benefits	0
D9	Area of Canopy Provided by Native Species	0
D10	Area of Canopy Provided by Native Species	0
D11	Area of Canopy Provided by Improved Cultivars and Varieties	0
D12	Area of Canopy Provided by Improved Cultivars and Varieties	0
D13	Area of Canopy Provided Through Tree Seeding	0
D14	Area of Canopy Provided Through Native Shrubs or Wood Seed Mix	0
D15	Area of Canopy Provided Through Native Shrubs or Wood Seed Mix	0
D16	Percentage of D14 Represented by D15 (D15/D14) Must not exceed 33% of D14	0
D16.1	Area of Canopy Planted With No Multiplier	1,800
D17	Total Canopy Area Provided Through Tree Planting (Totals of D3, D5, D7, D9, D11, D13, D14, D15, and D16.1)	1,800
D18	Is an Offsite Planting Relief Requested?	No
D19	Tree Bank or Tree Fund	N/A
D20	Canopy Area Requested to be Provided Through Offsite Banking or Tree Fund	0
D21	Amount to be Deposited into the Tree Preservation and Planting Fund	0
E. TOTAL OF 10-YEAR TREE CANOPY PROVIDED		
E1	Total of Canopy Area Provided Through Tree Preservation (C10)	162,860
E2	Total of Canopy Area Provided Through Tree Planting (D17)	1,800
E3	Total of Canopy Area Provided Through Offsite Mechanism (D20)	0
E4	Total of 10-Year Tree Canopy Provided (Totals of E1, E2 and E3)	164,660

URBAN FOREST MANAGEMENT LANDSCAPE IMPLEMENTATION POLICY

URBAN FOREST MANAGEMENT POLICY ON LANDSCAPE IMPLEMENTATION January 1, 2009

This compilation of selected portions of the Public Facilities Manual is intended to summarize and clarify regulations pertaining to the implementation of landscape plans on development sites subject to review and inspection by the County. Included are regulations governing the most common areas of noncompliance encountered by staff in the course of conducting landscape inspections, and a brief summary of the policy regarding seasonal landscape deferrals.

Tree Species and Size
1. Trees and shrubs that are planted shall be of the species and size specified on the approved plans. There shall be no deviations from the approved sites specified except as approved by Fairfax County Urban Forest Management (UFMD), (PFM 12-0705.1A).

2. All trees and shrubs shall meet the standards for sizes and quality specified in the American Association of Nurserymen's American Standard for Nursery Stock, (ANSI Z60.1-1996). See attachment #1. (PFM 12-0705.1B)

Species Substitutions

3. Species substitutions within the tree categories listed in Table 12.19 are generally accepted unless otherwise specified by proffered conditions, development conditions, special exceptions, or special permits. Any tree substitution shall also be in conformance with the following: (PFM 12-0705.1C)

- a. **Plant Diversity** - The use of substitutions shall not result in any species making up more than 10 percent of the total number of trees required to be planted on the site. (PFM 12-0705.1C)
- b. **Authorization** - A letter signed by the permittee shall be provided to UFMD acknowledging any proposed substitutions to trees and shrubs shown on the approved plans. (PFM 12-0705.1C2)
- c. **Substitution Outside of Tree Category** - Substitution of a tree shown on the approved plan from one tree category, as listed in PFM Table 2.19, with a tree from a different category shall require a revision to the approved plan. (PFM 12-0705.1C3)
- d. **Species Suitability** - Substituted species must be suited to the post-development conditions of the planting location for which it is intended. (PFM 12-0601.1E)
- e. **Additional Tree Cover Credit** - In cases where additional tree cover credit has been given, no tree substitutions shall be made except as approved by the Urban Forest Management. Examples of additional credit include the following: Air Quality, PFM 12-0509.4B(1); Energy Conservation, PFM 12-0509.4B(2); Water Quality, PFM 12-0509.4B(3); Wildlife Benefits, PFM 12-0509.4B(4); Native Trees, PFM 12-0509.4B(5)

Planting Locations

4. Planting locations of all trees on the site shall be in substantial conformance with the approved plan. UFMD acknowledges that not all trees may be optimally located, as shown on the plan, and encourage input from Permittees and their landscape professionals regarding proposed improvements that might be implemented. Any substantive deviations from the approved plan that are made in the field must be approved by UFMD and shall be in conformance with the following:

- a. **Planting Area** - At least the minimum size planting area shall be provided for each tree according to its projected 10-year tree cover area as found in Table 12.7. (PFM 12-0601.1B)
- b. **Environmental Conditions** - Light, moisture, and other conditions affecting the health and viability of the tree at the field location shall be suitable for the species. (PFM 12-0601.1E)
- c. **Compacted Soil** - If planting in areas that have been previously compacted, the soil shall be properly prepared (tilled and amended as needed based on soil samples) to a depth of 12 inches, prior to installation of landscape material. Soil within individual planting holes shall not be amended. (PFM 12-0705.3B)
- d. **Restrictive Barriers** - Trees shall be planted no closer than four feet from any restrictive barrier. (PFM 12-0509.4E2)
- e. **Spacing** - Trees shall be spaced so that the outer limit of their projected 10-year tree cover area, as indicated in Table 12.19, does not significantly overlap, or as determined appropriate by UFMD for site conditions and to promote long-term survival. (PFM 12-0509.4E3)
- f. **Encroachment** - Trees for tree cover credit shall not be planted within any existing or proposed public utility easement or within five feet of storm drainage easements that contain pipes. In addition, trees shall not be planted in an area that will interfere with existing or proposed utilities or with maintenance of the utility, as determined by the Director of DPWES. (PFM 12-0514.6B)

Staking and Guying

5. Staking and guying should only be implemented where site conditions warrant their use. Planted trees should be assessed individually and staking and guying installed only as required. Conditions where staking and guying may be necessary to ensure stability include: windy locations, steep slopes, or where vandalism may be a concern. All staking and guying material must be removed within one year of plant installation. (PFM 12-0705.3C)

Seasonal Landscape Deferrals

6. A Seasonal Landscape Deferral may be granted when seasonal or weather-related conditions, such as excessively wet soil, extended periods of drought, or frozen ground, substantially reduce the survivability of the plant material, as determined by the Urban Forest Management. A request for a landscape deferral will not be granted for landscaping required prior to the issuance of a RUP or Non-RUP when seasonal or weather-related conditions on the site plan do not preclude planting. Lack of species availability may justify the approval of a Seasonal Landscape Deferral when specific plant species are required by profiles or conditions.

7. The party responsible for the placement of the performance bond and conservation deposit for the project shall act as the Applicant for this seasonal deferral. Seasonal Landscape Deferral request forms can be obtained from the Environmental and Facilities Inspections Division or the Urban Forest Management.

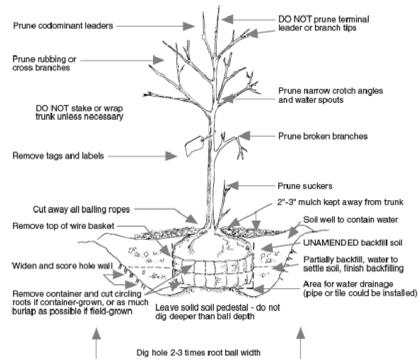
8. At the time of final inspection for release of performance bond and conservation deposit, all of the plant material is inspected. Plant material is inspected, as part of the process to release any deferral deposit that may have existed, is not exempt from this final inspection. All plant material must be healthy and in good condition.

Requirements Prior to Approval of RUP/Non-RUP

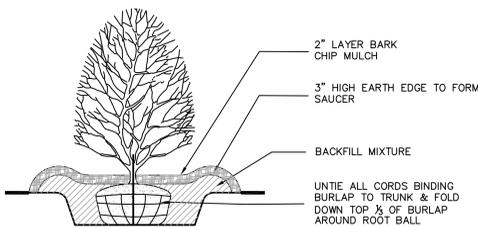
9. The landscaping and screening requirements of Article 13 or of any approved proffered condition, special permit, special exception or variance must be completed prior to approval of any Residential or Non-Residential Use Permit; provided, however, that completion of the requirements may be delayed when justification satisfactory to the Director is provided; such justification shall include an agreement and bond with surety satisfactory to the Director for completion in accordance with a firm schedule for timely completion. (ZO 18-764.3) See Seasonal Landscape Deferrals above.

NOTES:

1. ALL PRUNING SHALL BE DONE AFTER PLANTING.
2. IN SOIL CONDITION WHERE CLAY CONTENT EXCEEDS 50%, LOOSEN EARTH IN BOTTOM OF PIT BEFORE ADDING BACKFILL.
3. HOLE SHALL BE TWICE AS WIDE AS BALL DIAMETER



1 TREE PLANTING GUIDELINE NOT TO SCALE 12A-TYP-3983



2 SHRUB PLANTING GUIDELINE NOT TO SCALE 12A-TYP-3983

PLANT LIST

Key	Quantity	Botanical Name	Common Name	Stock Type	Size	10 yr. Tree Canopy per Tree (s.f.)	Total 10 Yr. Tree Canopy (s.f.)
QPL	9	Quercus phellos	Willow Oak	B & B	2" Cal	200	1800
IN	10	Ilex glabra 'Nigra'	Nigra Inkberry	Cont.	24"-30"	-	-
IG	34	Ilex meserveae 'Blue Girl TM'	Blue Girl Holly	Cont.	30"-36"	-	-
SA	23	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	Cont.	18"-24"	-	-
VA	21	Viburnum dentatum	Arrowwood Viburnum	Cont.	24"-30"	-	-
LM	1,767	Liriope muscari 'Big Blue'	Big Blue Liriope	Cont.	1 Qt	12" o.c. / Triangular	

INTERIOR PARKING LOT LANDSCAPING

INTERIOR PARKING LOT LANDSCAPING CALCULATIONS	
Total Parking Lot Area:	42,681 s.f.
Interior Parking Lot Landscaping Required (5% of Total Area):	2,134 s.f.
Interior Trees Provided:	0
Existing Tree Canopy Provided:	5,238 s.f.*
* Tree Canopy Credit Area 3. See Landscape Plan for Location.	

PERIPHERAL PARKING LOT LANDSCAPING NOT REQUIRED

TRANSITIONAL SCREENING AND BARRIER MODIFICATION /WAIVER REQUEST SUMMARY

A TRANSITIONAL SCREENING AND BARRIER MODIFICATION/WAIVER REQUEST APPLICATION WILL BE SUBMITTED UNDER SEPARATE COVER. REQUIRED TRANSITIONAL SCREENING AND BARRIERS ARE PROVIDED FOR REFERENCE ONLY.

EXISTING USE (SITE): ELEMENTARY SCHOOL (LAND USE 4).

EXISTING USE (ADJACENT ALL SIDES): RESIDENTIAL (LAND USE 1, (RESIDENTIAL) DWELLING, DETACHED)

REQUIRED TRANSITIONAL SCREENING: TYPE 1

REQUIRED BARRIER: TYPE D, E OR F

A TRANSITIONAL SCREENING AND BARRIER MODIFICATION/WAIVER (NO. 000481-WTSW-002-1 (027033)) AS SHOWN BELOW WAS PREVIOUSLY APPROVED FOR THIS SITE. THE MODIFICATION/WAIVER WAS GRANTED TO MODIFY THE REQUIRED TRANSITIONAL SCREENING AND BARRIERS TO USE EXISTING VEGETATION AND BARRIERS AS SHOWN ON PREVIOUSLY APPROVED SITE PLAN 0481-SP-01-1. A NEW TRANSITIONAL SCREENING AND BARRIER MODIFICATION/WAIVER REQUEST APPLICATION WILL BE SUBMITTED (UNDER SEPARATE COVER) WITH THIS SITE PLAN. THE NEW APPLICATION WILL REQUEST A MODIFICATION OF THE TRANSITIONAL SCREENING TO ALLOW THE USE OF EXISTING VEGETATION WITH SUPPLEMENTAL PLANTINGS WHERE SHOWN ON THE PLAN AND TO USE THE EXISTING VEGETATION ONLY ALONG THE REST OF THE PROPERTY BOUNDARY. THE APPLICATION WILL ALSO REQUEST A WAIVER OF THE BARRIER ALONG NORTH OAK STREET (THE FRONT OF THE SCHOOL) AND A MODIFICATION OF THE BARRIER TO USE EXISTING AND PROPOSED CHAIN LINK FENCES AS SHOWN ON THE PLAN. THE

TRANSITIONAL SCREENING CALCULATIONS HAVE BEEN PROVIDED BELOW FOR REFERENCE AND WILL BE INCLUDED IN THE NEW TRANSITIONAL SCREENING AND BARRIER MODIFICATION/WAIVER REQUEST APPLICATION.

PREVIOUSLY APPROVED TRANSITIONAL SCREENING AND BARRIER MODIFICATION/ WAIVER NO. 000481-WTSW-002-1 (027033)



FAIRFAX COUNTY

Department of Public Works and Environmental Services
Land Development Services
Environmental and Site Review Division
Urban Forest Management
12055 Government Center Parkway
Fairfax, Virginia 22035-5503
PHONE: 703-234-1770 FAX: 703-803-7769
TTY: 703-234-1877

June 16, 2005

Robert Brown, P.E.
Urban Engineering and Associates, Inc.
7712 Little River Turnpike
Annandale, Virginia 22003

RE: Transitional Screening Waiver/Modification No. 000481-WTSW-002-1 (027033), Project Name: Mount Daniel Elementary School Plan No. 0481-SP-01-1, Danesville District, Tax Map: 40-4-(1)-22, 40-4-(15)-A, and 40-4-(19)-A-41

Dear Mr. Brown:

Your request to modify the transitional screening and barrier requirements along all property boundaries has been carefully reviewed and is approved. This approval is based on the landscape plan stamped as received in the Urban Forest Management office on June 15, 2005.

This approval has been granted under the provision of Paragraph 14 of Section 13-304 of the Zoning Ordinance of Fairfax County for a period of 24 months only, unless a site plan substantially in conformance with the plan submitted with this modification has been approved by Fairfax County. This modification is subject to approval of that site plan and does not run with the land.

Additionally, it is noted that this approval has been coordinated with staff in the Department of Planning and Zoning as part of a 2232 zoning review and is in conformance with the approval issued for that review process.

If you have questions or require additional information, please contact Jessica Strother at 703-234-1770.

Sincerely,

Michael A. May
Urban Forest Management

cc: Environmental and Site Review Division, LDS
Environmental and Site Review Engineer, LDS
RA File

TRANSITIONAL SCREENING CALCULATION

OVERALL TRANSITIONAL SCREENING CALCULATIONS ALONG ENTIRE PROPERTY BOUNDARY (Adjacent Uses and Opposite N. Oak St., Highland Ave. and Woodland Drive/Interstate 66 - Single Family Detached)		
Screening Required:		
A1	Transitional Screening Length:	2,977 feet
A2	Transitional Screening Width:	25 feet
A3	Transitional Screening Area (A1 x A2):	74,431 s.f.
A4	10-Yr. Tree Canopy Required (A3 x 0.75):	55,823 s.f.
A5	Minimum 10-Yr. Tree Canopy Required by Large and Medium Evergreen Trees (A4 x 0.70):	39,076 s.f.
A6	Maximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0.30):	16,747 s.f.
A7	Evergreen and Deciduous Shrubs Required (3 x (A1/10)):	893 Shrubs
Screening Provided:		
B1	Total 10-Yr. Tree Canopy Provided (B2+B3+B4):	58,935 s.f.
B2	Existing 10-Yr. Tree Canopy:	58,135 s.f.
B3	10-Yr. Tree Canopy Provide by Large and Medium Evergreen Trees:	0 s.f.
B4	10-Yr. Tree Canopy Provide by Large and Medium Deciduous Trees:	800 s.f.
B6	Evergreen and Deciduous Shrubs Provided:	48 Shrubs



Mount Daniel Elementary School Addition & Renovation

2328 N Oak St., Falls Church, VA

No.	Description	Date
1	Schematic Submission	12/3/2014
2	Design Develop. Submission	12/19/2014
3	Progress Set	1/26/2015
4	Progress Set	2/18/2015
5	95% Submission	2/25/2015
6	Permit Set	3/11/2015
7	Remove Manuf. BMP Facilities	3/18/2015
8	95% Submission	4/10/2015
9	95% Submission	5/12/2015

Current Revision Number: 9
Current Revision: DCC
Current Revision Date: 5/12/2015
Sheet Title:

LANDSCAPE DETAILS AND TABULATIONS

Sheet No. in Set: Total No. Sheets: C35

BC Consultants
Planners • Engineers • Surveyors • Landscape Architects
12600 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703) 449-8100 (703) 449-8108 (Fax)
www.bcon.com
BC Project Number: 14511.02

C34

Issue Date: 5/12/2015
Principal: MDL
Project Manager: DCC
Project Team: ATP/BWB
Project Number: ----

ABBREVIATIONS	
A	A.B. ANCHOR BOLT ANGLE A.C. AIR CONDITIONING ADJ. ADJACENT A.F.F. ABOVE FINISHING FLOOR A.H.U. AIR HANDLING UNIT ALT. ALTERNATE ALUM. ALUMINUM ARCH. ARCHITECT/ARCHITECTURAL ASPH. ASPHALT A.W. ACCENT WALL @ AT
B	B.C. BRICK COURSE B.P.L. BEARING PLATE BITUM. BITUMINOUS BLDG. BUILDING BRG. BEARING BLKG. BLOCKING B.U.R. BUILT UP ROOFING
C	CAB. CABINET CD CEILING DIFFUSER CEM. CEMENT C.G. CORNER GUARD C.I. CAST IRON C.J. CONTROL JOINT CKBD. CHALKBOARD CL. CENTER LINE CLO. CLOSET CLG. CEILING CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT COL. COLUMN CONC. CONCRETE CONF. CONFERENCE CONT. CONTINUOUS CRS. COURSE (S) C.T. CERAMIC TILE C.W. COLD WATER
D	DBL. DOUBLE DEPT. DEPARTMENT D.F. DRINKING FOUNTAIN DIA. DIAMETER DIAG. DIAGONAL DIM. DIMENSION D.J. DOUBLE JOIST DN. DOWN D.S. DOWNSPOUT D.T. DRAIN TILE DTL. DETAIL
E	E. EAST E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRIC ENG. ENGINEER ENT. ENTRANCE E.O. ELECTRICAL OUTLET E.P. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT E.T.R. EXISTING TO REMAIN E.W. EACH WAY E.W.C. ELECTRIC WATER COOLER EXIST. EXISTING EXP. EXPANSION, EXPOSED EXT. EXTERIOR
F	F.B. FACE BRICK F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CABINET FIN. FINISH (ED) FIN. FL. FINISHED FLOOR FIN. GR. FINISHED GRADE FLO. FLOOR FLUOR. FLUORESCENT F.P. FIREPROOF FRT. FIRE RETARDANT TREATED FT. FOOT OR FEET F.V. FIELD VERIFY
G	G. GAS GA. GAUGE, GAGE G.C. GENERAL CONTRACTOR GL. GLASS GYP. BD. GYPSUM BOARD
H	H.B. HOSE BIBB HDW. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HT. HEIGHT H.W. HOT WATER H.W.H. HOT WATER HEATER
I	I.C. IN CONTRACT IND. INDICATED INSUL. INSULATION, INSULATE INT. INTERIOR
J	JAN. JANITOR J.C. JANITOR CLOSET JST. JOIST JT. JOINT
L	LAD. LADDER LAV. LAVATORY LAB. LABEL L.H. LEFT HAND LT. LIGHT LTL. LINTEL
M	MAS. MASONRY MAX. MAXIMUM MECH. MECHANICAL MANUF. MANUFACTURED, MANUFACTURER MIN. MINIMUM M.O. MASONRY OPENING MOV. MOVABLE M.R. MOP RECEPTOR MT. MOUNT MTL. METAL MULL. MULLION
N	N. NORTH N.A. NOT APPLICABLE N.I.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE
O	O.C. ON CENTER OPNG. OPENING OPP. OPPOSITE
P	PAR. PARALLEL PERP. PERPENDICULAR P.C. PIPE CHASE P.H. PAPER HOLDER PKG. PARKING PL. PLATE P.L. PROPERTY LINE PLUM. PLUMBING PNT. PAINT P.T. PRESERVATIVE TREATED PT. POINT PTD. PAINTED
Q	Q.T. QUARRY TILE
R	R. RADIUS/RISER R.A. RETURN AIR R.D. ROOF DRAIN REC. RECESS (ED) REINF. REINFORCED REQ. REQUIRED REV. REVISION, REVISED RM. ROOM
S	S. SOUTH S.C. SOLID CORE SCHED. SCHEDULE SEAL. SEALANT SECT. SECTION S.F. SQUARE FEET SHT. SHEET SIM. SIMILAR S.P. SOUND PROOF SPO. SPACE SPEC. SPECIFICATION STD. STANDARD STL. STEEL STO. STORAGE STRUCT. STRUCTURE SUSP. SUSPENDED SW. SWITCH
T	T. THREAD THR. THRESHOLD TKBD. TACKBOARD T.O.M. TOP OF MASONRY T.O.S. TOP OF STEEL TYP. TYPICAL
U	U.C. UNDERCUT UNF. UNFINISHED U.N.O. UNLESS NOTED OTHERWISE
V	V.B. VENETIAN BLINDS V.C.T. VINYL COMPOSITION TILE VERT. VERTICAL V.P. VENT PIPE V.T.R. VENT THROUGH ROOF
W	W. WEST WI. WITH W.C. WATER CLOSET WD. WOOD WO. WITHOUT W.W.F. WELDED WIRE FABRIC

SYMBOLS	
	DEMOLITION WORK NOTE
	NEW WORK NOTE
	PARTITION TYPE NOTE
	CASEWORK & EQUIPMENT NOTE
	HOLLOW METAL FRAME SYSTEM NOTE
	CEILING PLAN NOTE
	ALUMINUM WINDOW SYSTEM NOTE
	ALUMINUM CURTAIN WALL/STOREFRONT SYSTEM NOTE
	TOILET ACCESSORY NOTE
	DOOR EGRESS LOAD
	DOOR EGRESS CAPACITY
	CENTER LINE
	ROOM NAME
	ROOM NUMBER
	UNIT
	DETAIL NUMBER
	SHEET NO. WHERE DETAIL IS DRAWN
	NEW WORK SECTION NUMBER
	SHEET NO. WHERE SECTION IS DRAWN
	DEMOLITION SECTION NUMBER
	SHEET NO. WHERE SECTION IS DRAWN
	NUMBER INDICATES WALL/STAIR ELEVATION
	SHEET NO. WHERE ELEVATION IS DRAWN
	DOOR NUMBER
	UNIT OR ROOM NUMBER
	SPOT ELEVATION

TEXTURES	
	BRICK - PLAN
	C.M.U. - PLAN
	CONCRETE
	CRUSHED STONE
	PRE-CAST CONCRETE
	METAL STEEL
	FINISHED WOOD
	ROUGH WOOD
	RIGID INSULATION
	BATT INSULATION
	EARTH

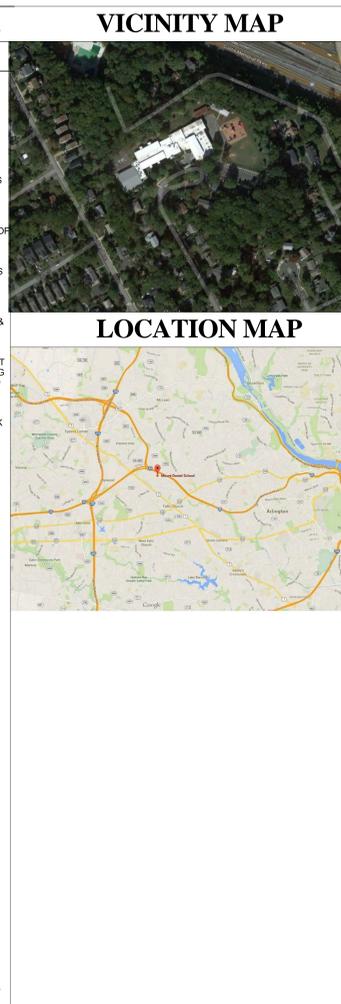
LINE TYPES

	MATCH LINE
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	NEW DOOR
	EXISTING WALL TO BE REMOVED

COMPONENTS

	DEMOLITION WORK NOTE
	NEW WORK NOTE
	PARTITION TYPE NOTE
	CASEWORK & EQUIPMENT NOTE
	HOLLOW METAL FRAME SYSTEM NOTE
	CEILING PLAN NOTE
	ALUMINUM WINDOW SYSTEM NOTE
	ALUMINUM CURTAIN WALL/STOREFRONT SYSTEM NOTE
	TOILET ACCESSORY NOTE
	DOOR EGRESS LOAD
	DOOR EGRESS CAPACITY
	CENTER LINE
	ROOM NAME
	ROOM NUMBER
	UNIT
	DETAIL NUMBER
	SHEET NO. WHERE DETAIL IS DRAWN
	NEW WORK SECTION NUMBER
	SHEET NO. WHERE SECTION IS DRAWN
	DEMOLITION SECTION NUMBER
	SHEET NO. WHERE SECTION IS DRAWN
	NUMBER INDICATES WALL/STAIR ELEVATION
	SHEET NO. WHERE ELEVATION IS DRAWN
	DOOR NUMBER
	UNIT OR ROOM NUMBER
	SPOT ELEVATION

GENERAL NOTES - NEW WORK	
GENERAL NOTES ARE NOT REFERENCED DIRECTLY ON PLAN. THESE NOTES ARE TYPICAL FOR ALL FLOOR PLANS.	
GN-1	ALL EXPOSED 90 DEGREE CORNERS ON INTERIOR CMU WALLS SHALL BE 1" BULLNOSE, U.N.O.
GN-2	ALL NEW INTERIOR GYPSUM WALL BOARD PARTITIONS ARE TYPE 'A4' UNLESS NOTED OTHERWISE. DETAILED OTHERWISE, OR INDICATED OTHERWISE WITH MATERIAL HATCH.
GN-3	ALL NEW INTERIOR CMU PARTITIONS ARE TYPE 'C9' UNLESS NOTED OTHERWISE. DETAILED OTHERWISE, OR INDICATED OTHERWISE WITH MATERIAL HATCH.
GN-4	SEE DETAILS FOR TYPICAL MASONRY CONTROL JOINTS, INDICATED 'C.J.' ON PLANS AND LITERATURE.
GN-5	PROVIDE HORIZONTAL LOUVER WINDOW BLINDS AT ALL LOCATIONS INDICATED BY 'V8' ON FLOOR PLANS. PROVIDE BLINDS AT BOTH SIDES OF PAIRED WINDOW OPENINGS WHERE OCCUR. FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION OF BLINDS. PROVIDE HORIZONTAL LOUVER WINDOW BLINDS AT ALL INTERIOR BORROW LITES.
GN-6	SEE FLOOR PLANS AND EQUIPMENT PLANS FOR ADDITIONAL TOILET ACCESSORIES OUTSIDE OF TOILET ROOMS.
GN-7	ALL REQUIRED CHASES AND PIPE ENCLOSURES ARE NOT INDICATED ON ARCHITECTURAL DRAWINGS. PROVIDE ALL PIPE ENCLOSURES REQUIRED TO CONCEAL ALL NEW & EXISTING PIPING BELOW CEILING, EXCEPT IN MECHANICAL & ELECTRICAL ROOMS. COORDINATE SIZE, LOCATION, CONFIGURATION, AND QUANTITY WITH M.P.E. DWGS.
GN-8	FIRE WALLS & FIRE BARRIERS SHALL BE CONTINUOUS FROM FLOOR SLAB UP TIGHT TO THE FLOOR OR ROOF DECK ABOVE. PACK TOPS OF WALLS WITH FIRESTOPPING INSULATION. SEAL ALL PENETRATIONS IN RATED CONSTRUCTION WITH APPROVED U.L. SYSTEM (INCLUDING, BUT NOT LIMITED TO STRUCTURAL MEMBERS AND MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS).
GN-9	COORDINATE ALL RECESSED CONCRETE SLABS WITH ARCHITECTURAL NEW WORK DRAWINGS AND STRUCTURAL FOUNDATION PLANS.
GN-10	WHETHER INDICATED OR NOT, PROVIDE FLOOR PATCHING & LEVELING AS REQUIRED FOR FLUSH INSTALLATION OF NEW FINISHES AS SCHEDULED AT ALL LOCATIONS WHERE EXISTING WALLS, FINISHES, PLUMBING, DUCTWORK, CONC. PADS, FLOOR MOUNTED EQUIPMENT, ETC. ARE REMOVED. NEW FLOOR PATCHING SHALL MATCH ADJACENT FLOOR ELEVATIONS UNLESS NOTED OTHERWISE.
GN-11	G.C. SHALL REMOVE COMPLETELY ANY EXISTING ADHESIVE ON EXISTING WALLS LEFT EXPOSED AFTER REMOVAL OF EXISTING TACKBOARDS, CHALKBOARDS, OR MARKERBOARDS. SURFACE AND TEXTURE OF EXPOSED PORTIONS AT LOCATIONS OF ADHESIVE SHALL MATCH EXISTING ADJACENT WALL SURFACES. DAMAGED WALL SURFACES SHALL BE REPAIRED TO MATCH EXISTING ADJACENT WALL SURFACES. AS REQUIRED, G.C. SHALL ADJUST LOCATION OF PROPOSED TACKBOARDS, OR MARKERBOARDS TO COVER EXISTING ADHESIVE WHERE FEASIBLE. ADJUSTMENTS MAY BE MADE A MAXIMUM OF 2'-0" TO THE RIGHT OR LEFT OF PROPOSED LOCATION INDICATED, WHERE FEASIBLE. THE LOCATION OF TACKBOARDS AND/OR MARKERBOARDS INDICATED IN PAIRS ON THE DRAWINGS SHALL NOT BE ADJUSTED IN A MANNER THAT WOULD SEPARATE THE PAIRS OR CONFLICT WITH ADJACENT EQUIPMENT.
GN-12	PROVIDE INTERIOR SIGNAGE FOR EACH PERMANENT ROOM AND SPACE, UTILITY ROOMS INCLUDING EXTERIOR DOORS ACCESSING UTILITY ROOMS, AND WHERE INDICATED ON DRAWINGS. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE AT ALL GANG TOILETS, INDIVIDUAL STAFF TOILETS, AND ACCESSIBLE ENTRY AND EGRESS DOORS. DOORS INTO ENCLOSED COURTYARDS SHALL READ "DOOR REMAIN UNLOCKED FROM COURTYARD DURING OCCUPIED HOURS". SIGNAGE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) INCLUDING BUT NOT LIMITED TO 1"2" HIGH RAISED LETTERS, NUMERALS AND GRADE 2 BRAILLE IN TYPE STYLE AND SIZES AS DEFINED BY ADA STANDARDS. SIGNAGE SHALL ALSO BE IN ACCORDANCE WITH ANSI 117.1-2003 CHAPTER 7.
GN-13	CONTRACTOR SHALL PROVIDE NEW WORK REQUIRED TO NEATLY INSTALL NEW ELECTRIC PANELS IN EXISTING OR NEW LOCATIONS. PATCH WALLS AT REMOVED PANEL TO MATCH EXISTING ADJACENT FINISH. TIGHT IN ANY REQUIRED NEW MASONRY.
GN-14	ALL DOOR FRAMES INSTALLED IN EXISTING OR NEW MASONRY WALLS SHALL BE GROUT FILLED. DOOR DRAMES INSTALLED IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN TO MATCH EXISTING BOND.
GN-15	SEE DRAWING SHEETS A8.1 - A8.10 FOR EQUIPMENT PLANS.
GN-16	UNLESS OTHERWISE INDICATED, SEE TYPICAL DETAILS FOR CONDITIONS WHERE NEW PARTITIONS MEET EXISTING.
GN-17	SEE DRAWING SHEET A9_ FOR CHASE AND PIPE ENCLOSURE DETAILS.
GN-18	PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING OR METAL STRAPPING AT ALL METAL STUD WALL SYSTEMS FOR CASEWORK, MOUNTING BLOCKS AND OTHER WALL MOUNTED ITEMS.
GN-19	ALL TACKBOARDS, AND MARKERBOARDS SHALL BE 4" HIGH AND MOUNTED 24" ABOVE FINISHED FLOOR, U.N.O.
GN-20	PROVIDE 3/4" FIRE TREATED PLYWOOD BACKBOARDS AT COMMUNICATION ROOMS AS SCHEDULED ON THE ELECTRICAL DRAWINGS



PROJECT NOTES	
GENERAL NOTES ARE NOT REFERENCED DIRECTLY ON PLAN. THESE NOTES ARE TYPICAL FOR THE ENTIRE PROJECT.	
P-1	OWNER REPRESENTATIVE: THE TERM "OWNER" AS REFERRED TO IN THE CONTRACT DOCUMENTS, SHALL MEAN THE AUTHORIZED REPRESENTATIVE OF FALLS CHURCH CITY PUBLIC SCHOOLS.
P-2	JURISDICTIONAL CODES: ALL WORK SHALL COMPLY WITH REQUIREMENTS OF THE VUSBC 2012 AND APPLICABLE STATE AND COUNTY CODES.
P-3	BARRIER FREE CODES: ALL CONSTRUCTION RELATING TO HANDICAPPED/BARRIER-FREE DESIGN SHALL COMPLY WITH HGCMANS 117.1-2006
P-4	CODE INTERPRETATION: THE CONTRACTOR SHALL CONFORM TO THE STRICTER INTERPRETATION OF JURISDICTIONAL BUILDING CODES WHERE THERE ARE CONFLICTS BETWEEN OR AMONG SEPARATE BUILDING CODES.
P-5	NON-COMBUSTIBLE CONSTRUCTION: NO COMBUSTIBLE MATERIALS OR KRAFT FACED INSULATION SHALL BE USED IN PLENUM CEILING.
P-6	ALL CONSTRUCTION AND MATERIALS SHALL BE NEW, UNLESS SPECIFICALLY INDICATED AS "EXISTING".
P-7	FIELD VERIFICATION: THE GENERAL CONTRACTOR SHALL FIELD INSPECT ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE INTENT OF NEW WORK REQUIRED.
P-8	PARTITION LAYOUT: THE CONTRACTOR SHALL LAY OUT ALL PARTITIONS PRIOR TO CONSTRUCTION OF ANY PARTITIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN SPACE LAYOUTS AND DIMENSIONS.
P-9	DIMENSIONS: ALL PARTITION DIMENSIONS SHOWN ARE NOMINAL FACE OF STUD TO FACE OF STUD, TO FACE OF MASONRY OR CONCRETE, OR TO FACE OF EXISTING SURFACE UNLESS NOTED OTHERWISE. DIMENSIONS FOLLOWED BY +/- SHALL BE FIELD VERIFIED. DIMENSIONS FOLLOWED BY "CLEAR" OR "CLR" SHALL BE FROM FACE OF FINISH SURFACE TO FACE OF FINISH SURFACE.
P-10	DRAWING SCALE: DO NOT SCALE DRAWINGS RELATED TO ARCHITECTURAL OR STRUCTURAL ELEMENTS.
P-11	MASONRY DIMENSIONS ARE NOMINAL.
P-12	WORK ACCESS: CONTRACTOR'S ACCESS TO WORK AREAS SHALL BE LIMITED TO ROUTES AND TIMES COORDINATED BY THE OWNER.
P-13	CONSTRUCTION DISPOSAL: THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS TO AN APPROVED DEBRIS SITE.
P-14	TEMPORARY PORTABLE CLASSROOMS: CONTRACTOR SHALL INSTALL PORTABLE CLASSROOMS PER THE APPROVED LAYOUT PRIOR TO COMMENCEMENT OF THE NEW SCHOOL YEAR.
P-15	CONSTRUCTION TRAILER: LOCATION OF CONSTRUCTION TRAILERS, STORAGE, STAGING AREAS, DUMPSTERS, ETC., SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
P-16	LANDSCAPING PROTECTION: CONTRACTOR SHALL PROTECT ALL EXISTING TREES, LANDSCAPING, AND PLANTINGS NOT INDICATED TO BE REMOVED.
P-17	INDOOR AIR QUALITY: IN OCCUPIED AREAS NEAR CONSTRUCTION ZONES SHALL BE MAINTAINED AT AN ACCEPTABLE LEVEL DURING CONSTRUCTION SO AS NOT TO CREATE A NUISANCE OR HAZARD TO OCCUPANTS. THE CONTRACTOR SHALL MONITOR THESE AREAS FOR ACCEPTABLE TEMPERATURE AND HUMIDITY LEVELS. THESE AREAS SHALL BE MAINTAINED FREE OF ABNORMAL LEVELS OF DUST, MOLD, AND POLLUTANTS. THE CONTRACTOR SHALL MAINTAIN AN ENVIRONMENT IN COMPLIANCE WITH THE CURRENT OSHA APPROVED STATE PLAN FOR INDOOR AIR QUALITY IN THE WORKPLACE. PROVIDE ALL MEANS NECESSARY TO MAINTAIN PROPER INDOOR AIR QUALITY, INCLUDING BUT NOT BE LIMITED TO REGULAR CLEANING OF WORK AREAS, PERFORMING OF CERTAIN TYPES OF WORK DURING UNOCCUPIED HOURS ONLY, PROVISION OF SEALED TEMPORARY PARTITIONS, PROVISION OF ADDITIONAL WEATHER PROTECTION, AND PROVISION OF TEMPORARY DEHUMIDIFICATION AND HVAC SYSTEMS, AS REQUIRED.
P-18	CRANE OPERATION: DO NOT OPERATE CRANES OR HOIST ITEMS OVER OCCUPIED AREAS.
P-19	MAINTAIN ALL REQUIRED MEANS OF EGRESS FOR AREAS OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY ILLUMINATED EXIT SIGNS AS REQUIRED BY APPLICABLE CODES DURING CONSTRUCTION.
P-20	MATERIAL HANDLING: THE CONTRACTOR SHALL TAKE CARE TO DISTRIBUTE LOADS CREATED BY CONSTRUCTION MATERIALS AND CONSTRUCTION ACTIVITIES IN THE BUILDING SO AS NOT TO CREATE AN EXCESSIVE STRUCTURAL POINT LOAD UPON THE EXISTING STRUCTURE.
P-21	FREEZE PROTECTION: THE EXISTING BUILDING INTERIOR MUST BE PROTECTED FROM PRECIPITATION AND FREEZING AT ALL TIMES.
P-22	UTILITY INTERRUPTION: DO NOT INTERRUPT BUILDING UTILITY SERVICES WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
P-23	PHASING REQUIREMENTS: ALL WORK IS AFFECTED BY PHASING REQUIREMENTS. SEE PHASING PLAN. DO NOT PERFORM WORK OUT OF SEQUENCE WITH PHASING PLAN UNLESS APPROVED BY OWNER'S REPRESENTATIVE.
P-24	TEMPORARY SHORING: G.C. SHALL BE RESPONSIBLE FOR MOVING, TEMPORARILY STORING AS DIRECTED BY OWNER'S REPRESENTATIVE, AND REPOSITIONING ALL LOOSE EQUIPMENT, FURNISHINGS, OR OTHER MATERIALS WHICH WOULD INTERFERE WITH CONSTRUCTION OPERATIONS.
P-25	PROTECTION OF EXISTING: THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING EQUIPMENT, CASEWORK, FINISHES, FURNISHINGS, AND OTHER BUILDING ELEMENTS TO REMAIN. CONTRACTOR SHALL REPAIR OR REPLACE (IN A MANNER ACCEPTABLE TO THE OWNER) ALL SUCH ITEMS DAMAGED DURING CONSTRUCTION. IF ANY EXISTING ITEMS HAVE ALREADY BEEN DAMAGED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT THESE ITEMS, AND DELIVER THE PHOTOGRAPHS AND DOCUMENTATION TO OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. THOSE DAMAGED ITEMS THAT ARE NOT INCLUDED IN SUCH DOCUMENTATION SHALL BE ASSUMED TO HAVE BEEN DAMAGED DURING CONSTRUCTION, AND SHALL BE PROMPTLY REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE IN A MANNER ACCEPTABLE TO THE OWNER.
P-26	ROOF PROTECTION: AREAS OF EXISTING ROOFING TO REMAIN MAY BE COVERED UNDER EXISTING ROOFING GUARANTEES. THE CONTRACTOR SHALL NOT PERFORM ANY CONSTRUCTION ACTIVITIES THAT WOULD VOID EXISTING ROOFING GUARANTEES.
P-27	ROOF WARRANTIES: THE CONTRACTOR SHALL PROVIDE ROOF PENETRATIONS USING ONLY APPROVED DETAILS AND METHODS IN CONFORMANCE WITH EXISTING ROOFING GUARANTEES.
P-28	OCCUPIED CONSTRUCTION: THE BUILDING WILL BE OCCUPIED DURING THE NORMAL SCHOOL YEAR. THE BUILDING WILL NOT BE OCCUPIED DURING SUMMER BREAK. ALL WORK WILL BE PERFORMED IN CONSTRUCTION PHASES. SEE PHASING DRAWINGS.
P-29	PROVIDE ALL SLEEVES, LINTELS, AND SEALANTS FOR ALL WALL AND FLOOR PENETRATIONS.
P-30	TRADE PERMITS: IT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS/TRADERS TO PROCESS OR SCHEDULE ALL OTHER REQUIRED APPLICATIONS, PERMITS, INSPECTIONS AND/OR APPROVALS AS REQUIRED BY LOCAL JURISDICTIONS.
P-31	CONTRACT INTERPRETATION: DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED COMPLEMENTARY. WHERE THERE ARE CONFLICTS BETWEEN THE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS, THE CONTRACTOR SHALL PROVIDE THE MAXIMUM QUANTITY INDICATED AND THE HIGHER QUALITY AND OR HIGHER PERFORMANCE PROPERTIES INDICATED.
P-32	FIELD VERIFICATION: THE GENERAL CONTRACTOR SHALL FIELD INSPECT ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ARCHITECT AND OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE INTENT OF NEW WORK REQUIRED.
P-33	CONTRACT WORK: ALL CONSTRUCTION WORK INDICATED ON THE DRAWINGS SHALL BE CONSIDERED NEW WORK, UNLESS SPECIFICALLY INDICATED AS "EXISTING". ALL NEW WORK SHALL BE INCLUDED IN THE CONTRACT WORK UNLESS SPECIFICALLY IDENTIFIED AS "NOT IN CONTRACT" N.I.C.

GENERAL NOTES - DEMOLITION WORK

GENERAL NOTES ARE NOT REFERENCED DIRECTLY ON PLAN. THESE NOTES ARE TYPICAL OF THE ARCHITECTURAL PLANS.	
D-1	ALL EXISTING SURFACES TO REMAIN SHALL BE PROTECTED, PATCHED IF DAMAGED, AND CLEANED PRIOR TO APPLICATION OF NEW FINISHES AS SCHEDULED. PROVIDE PROTECTIVE FILLS ON EXISTING CMU AS REQUIRED AT LOCATIONS OF REMOVED CASEWORK, WALL MOUNTED EQUIPMENT, ETC.
D-2	-
D-3	WHERE EXISTING TILE TO REMAIN RECEIVES NEW FLOOR FINISHES, TILE MUST BE FIRMLY ADHERED TO SUBSTRATE AND PATCHED AS REQUIRED TO ACHIEVE A SMOOTH, UNINTERRUPTED SURFACE FOR THE NEW FLOOR FINISHES.
D-4	REMOVE WIRELESS ACCESS EQUIPMENT, SECURITY CAMERAS, AND DOOR ACCESS EQUIPMENT FROM AREAS TO BE DEMOLISHED. REINSTALL IN NEW BUILDING.
D-5	DEMOLITION AND SUBSEQUENT CONSTRUCTION OF BUILDING COMPONENTS SHALL BE COMPLETE, LEAVING NO EXPOSED, UNFINISHED OR INOPERABLE ELEMENTS.
D-6	WHERE ITEMS ARE SCHEDULED TO BE INSTALLED IN EXISTING WALLS, WALLS SHALL BE CUT AND RECONSTRUCTED TO RESULT IN EVEN FINISHED SURFACES. PATCHING MATERIALS SHALL MATCH EXISTING ADJACENT MATERIALS, U.N.O.
D-7	CUT EXISTING WALKS, PAVEMENT AND GRASS AREAS AS REQUIRED FOR NEW CONSTRUCTION. CONCRETE WALK REMOVAL SHALL BE EXTENDED TO NEAREST CONTROL JOINT BEYOND THE REMOVAL LIMITS INDICATED.
D-8	THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AFFECTING BUILDING COMPONENTS PRIOR TO SUBMISSION OF SHOP DRAWINGS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, DOORS AND FRAMES, CASEWORK, STEEL, DUCTWORK, ETC.
D-9	WHERE FIXTURES OR BUILT-IN EQUIPMENT ARE SCHEDULED FOR REMOVAL, ALL RELATED PLUMBING, MECHANICAL, AND ELECTRICAL SHALL BE DISCONNECTED, REMOVED, AND/OR CAPPED IN ACCORDANCE WITH APPLICABLE CODES. SEE M.P.E. DRAWINGS FOR ADDITIONAL FIXTURES & EQUIPMENT TO BE REMOVED.
D-10	ALL DOOR FRAMES, OR OTHER BUILT-IN ITEMS SCHEDULED FOR REMOVAL SHALL BE REMOVED COMPLETELY, INCLUDING BUT NOT LIMITED TO FASTENERS, BRACKETS, BRACES, TIES, ETC.
D-11	REPAIR AND PATCH ALL EXISTING SURFACES (TO MATCH EXISTING ADJACENT SURFACES) DAMAGED BY REMOVAL OF EXISTING AND/OR INSTALLATION OF NEW ARCHITECTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING WORK. PATCHING INCLUDES (BUT IS NOT LIMITED TO) MASONRY WALLS, CONCRETE FLOORS, AND ANY M.P.E. OR STRUCTURAL WORK. COORDINATE WITH ARCHITECTURAL DEMOLITION, M.P.E., AND STRUCTURAL DRAWINGS. NOT ALL REQUIRED PATCHING IS INDICATED ON ARCHITECTURAL DRAWINGS.
D-12	NOT ALL FLOOR, WALL, AND ROOF PENETRATION DEMOLITION IS SHOWN ON ARCH DRAWINGS. FOR WALL, FLOOR, AND ROOF PENETRATIONS AND TRENCHING AT EXISTING FLOORS SEE M.P.E. DRAWINGS FOR EXTENT AND LOCATION OF WORK REQUIRED. PATCH AND REPAIR EXISTING

APPLICABLE CODES

2012	VIRGINIA UNIFORM STATEWIDE BUILDING CODE
2012	VIRGINIA CONSTRUCTION CODE
2012	INTERNATIONAL BUILDING CODE
2010	AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN

USE GROUPS	
BUILDING 1 (EXISTING) - BUILDING 2 (EXISTING) - BUILDING 3 (NEW) -	E (EDUCATIONAL) E (EDUCATIONAL) MIXED E (EDUCATIONAL) AND A-3 (ASSEMBLY)
CONSTRUCTION TYPES	
BUILDING 1 (EXISTING) - BUILDING 2 (EXISTING) - BUILDING 3 (NEW) -	IIIB (NON-COMBUSTIBLE, UNPROTECTED) IIIB (NON-COMBUSTIBLE, UNPROTECTED) IIIB (NON-COMBUSTIBLE, UNPROTECTED)
AUTOMATIC SPRINKLER SYSTEM	
BUILDING 1 (EXISTING) - BUILDING 2 (EXISTING) - BUILDING 3 (NEW) -	YES YES YES

BUILDING 3 (NEW) CODE INFO

ALLOWABLE AREA	
AREA PER TABLE 503:	9,500 SF
FRONTAGE INCREASE:	9,500 X (.88 - .25) = 5,985 SF
SPRINKLER INCREASE:	19,000 SF
TOTAL ALLOWABLE AREA:	34,485 SF (PER FLOOR)
ACTUAL AREA	
LOWER LEVEL:	25,843 SF
MAIN LEVEL:	22,975 SF
UPPER LEVEL:	21,111 SF
ALLOWABLE HEIGHT	
HEIGHT PER TABLE 503: 55 FT., TWO STORIES WITH SPRINKLER MODIFICATION: 75 FT., THREE STORIES	
ACTUAL HEIGHT	
THREE STORIES	41 FT
OCCUPANT LOAD	
LOWER LEVEL:	950
MAIN LEVEL:	705
UPPER LEVEL:	681
EGRESS CAPACITY	
LOWER LEVEL:	2076
MAIN LEVEL:	750
UPPER LEVEL:	750
MAXIMUM ALLOWABLE TRAVEL DISTANCE	
	250 FT

SAMAHA
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GRUNLEY
Building on Tradition



Mount Daniel Elementary School Addition & Renovation

2328 N Oak St., Falls Church, VA

No.	Description	Date
1	Schematic Submission	12/3/2014
2	Design Development Submission	12/19/2014
4	Progress Set	2/18/2015
5	65% Submission	2/25/2015
6	Permit Set	3/11/2015
8	95% Submission	04/10/2015
9	95% Submission	05/11/2015

Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:

SYMBOLS, TEXTURES, ABBREVIATIONS & PROJECT NOTES

Sheet No. in Set: Total No. Sheets: 140

A0.1

Issue Date: 12/22/2014
Principal: Paul H. Falkenberg AIA
Project Manager: Mark A. Maneth AIA
Project Team: Author
Project Number: ----

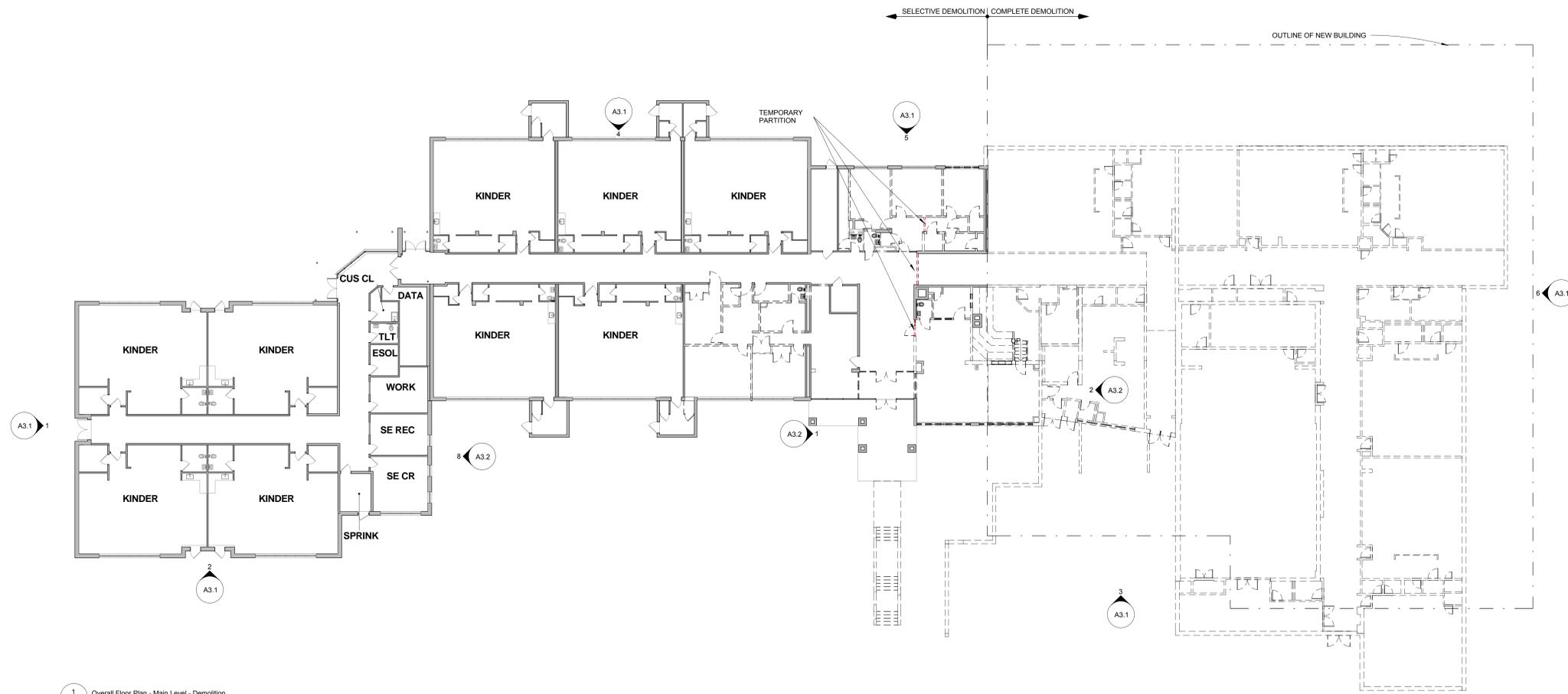
GENERAL NOTES - DEMOLITION WORK

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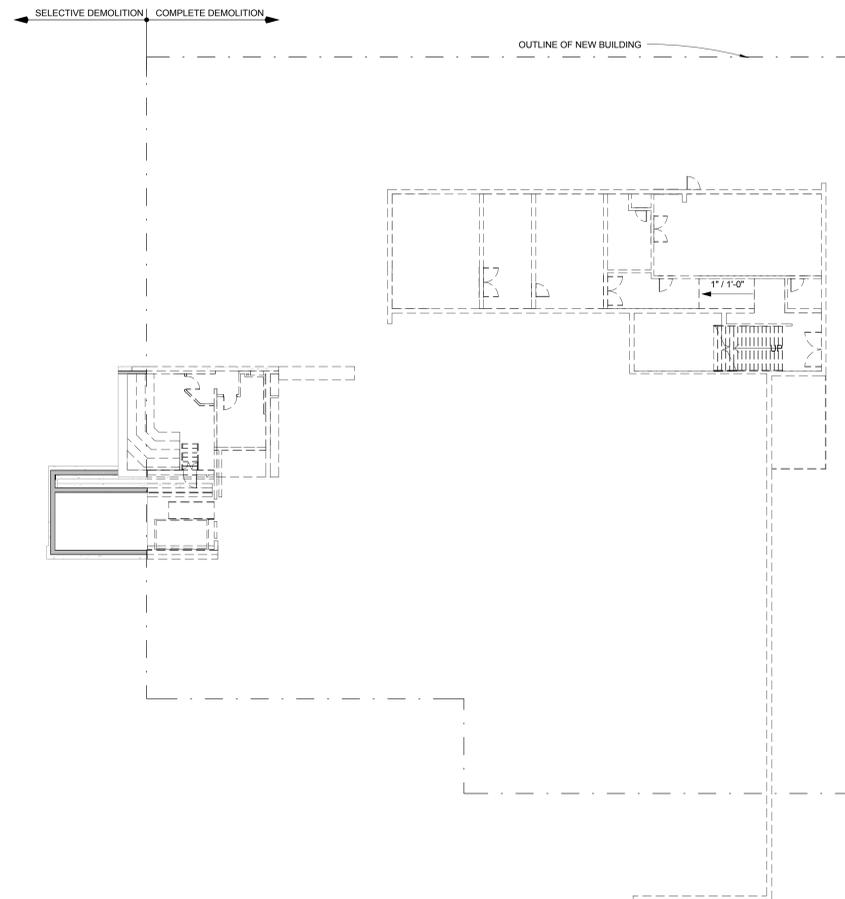
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- D-2 --
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- D-4 REMOVE WIRELESS ACCESS EQUIPMENT, SECURITY CAMERAS, AND DOOR ACCESS EQUIPMENT FROM AREAS TO BE DEMOLISHED. REINSTALL IN NEW BUILDINGS.
- D-5 DEMOLITION AND SUBSEQUENT CONSTRUCTION OF BUILDING COMPONENTS SHALL BE COMPLETE, LEAVING NO EXPOSED, UNFINISHED OR INOPERABLE ELEMENTS.
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- D-7 CUT EXISTING WALKS, PAVEMENT AND GRASS AREAS AS REQUIRED FOR NEW CONSTRUCTION. CONCRETE WALK REMOVAL SHALL BE EXTENDED TO NEAREST CONTROL JOINT BEYOND THE REMOVAL LIMITS INDICATED.
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1 Overall Floor Plan - Main Level - Demolition
1/16" = 1'-0"



2 Overall Floor Plan - Lower Level - Demolition
1/16" = 1'-0"



Mount Daniel Elementary School Addition & Renovation

2328 N Oak St., Falls Church, VA

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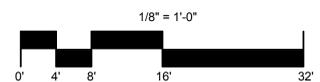
Current Revision Number: 9
Current Revision: 95% Submission
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Sheet Title:

OVERALL FLOOR PLAN - DEMOLITION

Sheet No. in Set: Total No. Sheets: 140

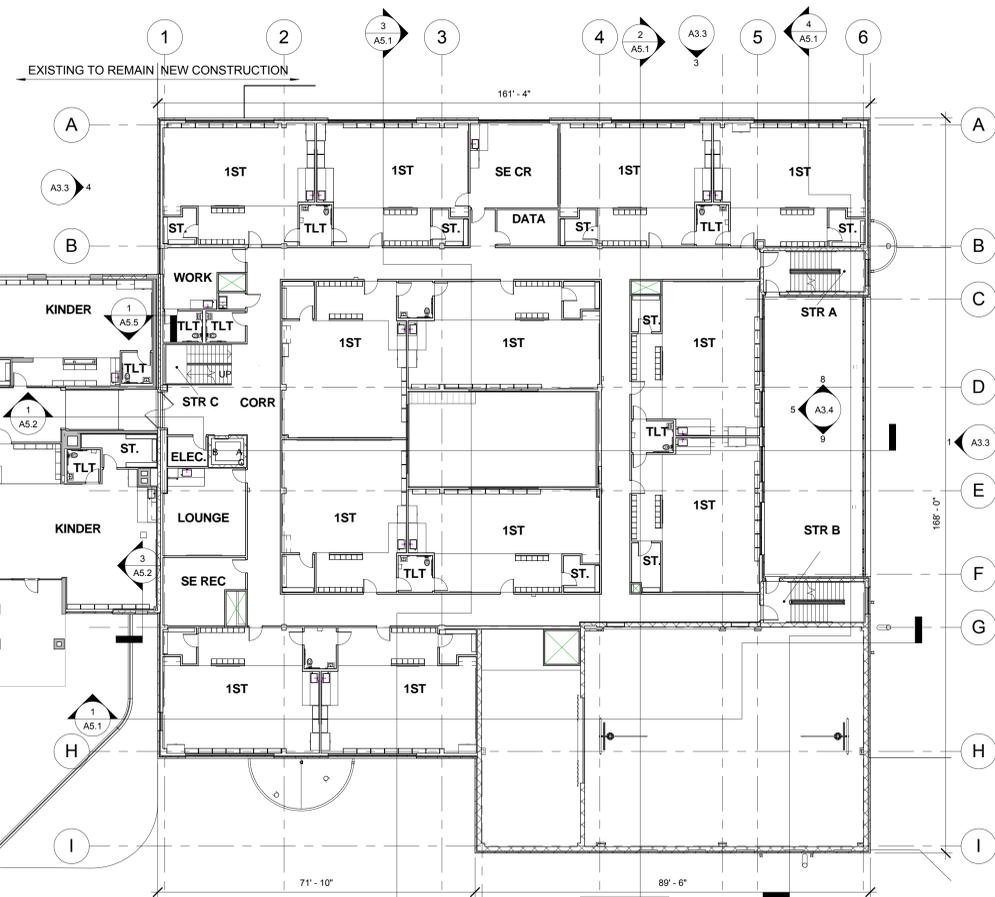
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Issue Date: 12/22/2014
Principal: Approver
Project Manager: Checker
Project Team: Author
Project Number: ----

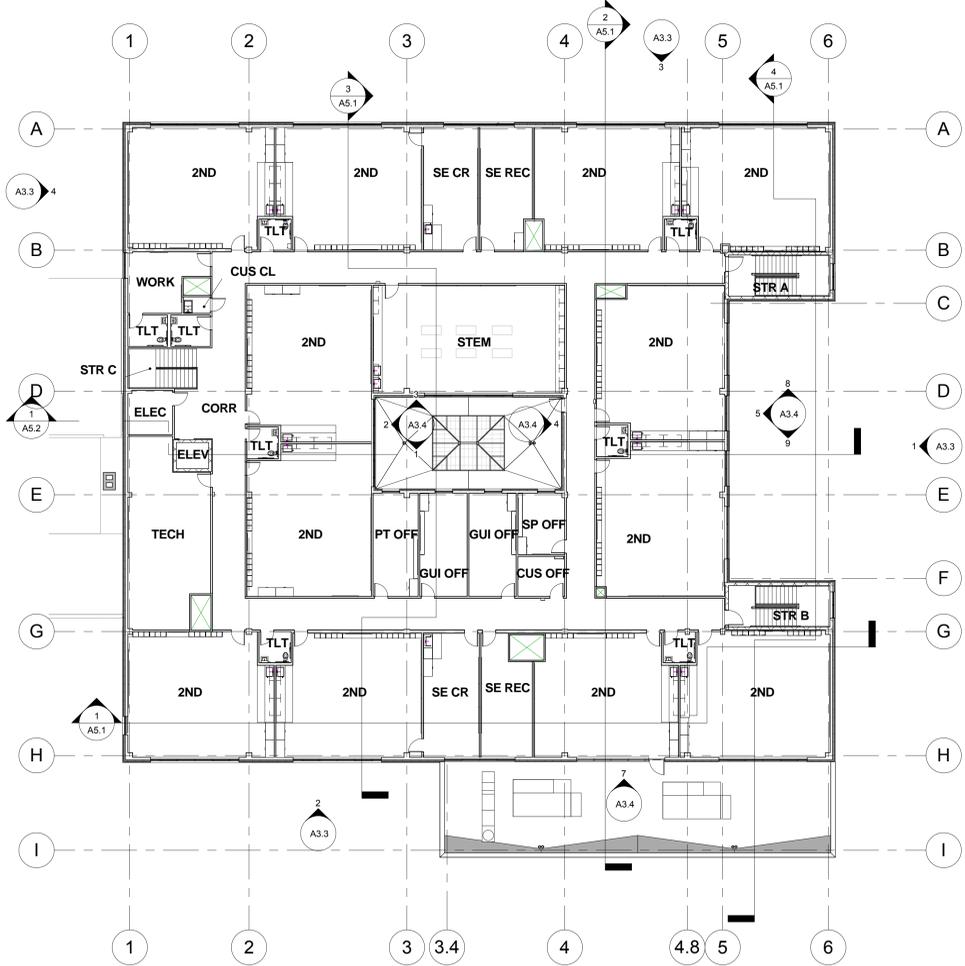


GENERAL NOTES - NEW WORK

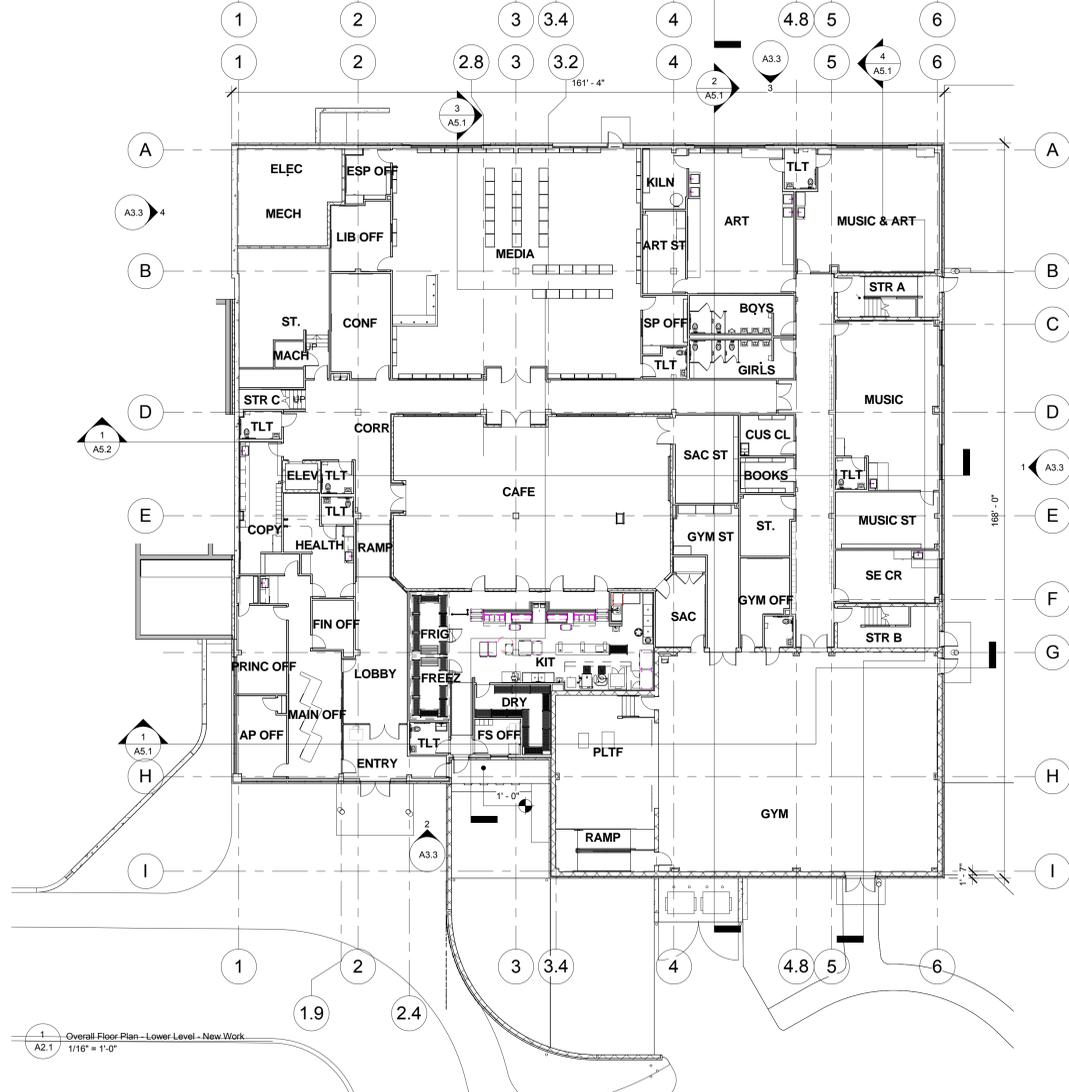
- GENERAL NOTES ARE NOT REFERENCED DIRECTLY ON PLAN. THESE NOTES ARE TYPICAL FOR ALL FLOOR PLANS.
- GN-1 ALL EXPOSED 90 DEGREE CORNERS ON INTERIOR CMU WALLS SHALL BE 1" BULLNOSE, U.N.O.
 - GN-2 ALL NEW INTERIOR GYPSUM WALL BOARD PARTITIONS ARE TYPE 'M4' UNLESS NOTED OTHERWISE, DETAILED OTHERWISE, OR INDICATED OTHERWISE WITH MATERIAL HATCH.
 - GN-3 ALL NEW INTERIOR CMU PARTITIONS ARE TYPE 'C6' UNLESS NOTED OTHERWISE, DETAILED OTHERWISE, OR INDICATED OTHERWISE WITH MATERIAL HATCH.
 - GN-4 SEE DETAILS FOR TYPICAL MASONRY CONTROL JOINTS, INDICATED 'C.J.' ON PLANS AND ELEVATIONS.
 - GN-5 PROVIDE HORIZONTAL LOUVER WINDOW BLINDS AT ALL LOCATIONS INDICATED BY 'VB' ON FLOOR PLANS. PROVIDE BLINDS AT BOTH SIDES OF PAIRED WINDOW OPENINGS WHERE OCCUR. FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION OF BLINDS. PROVIDE HORIZONTAL LOUVER WINDOW BLINDS AT ALL INTERIOR BORROW LITES.
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 - GN-7 ALL REQUIRED CHASES AND PIPE ENCLOSURES ARE NOT INDICATED ON ARCHITECTURAL DRAWINGS. PROVIDE ALL PIPE ENCLOSURES REQUIRED TO CONCEAL ALL NEW & EXISTING PIPING BELOW CEILING, EXCEPT IN MECHANICAL & ELECTRICAL ROOMS. COORDINATE SIZE, LOCATION, CONFIGURATION, AND QUANTITY WITH M.P.E. DWGS.
 - GN-8 FIRE WALLS & FIRE BARRIERS SHALL BE CONTINUOUS FROM FLOOR SLAB UP TIGHT TO THE FLOOR OR ROOF DECK ABOVE. PACK TOPS OF WALLS WITH FIRESTOPPING INSULATION. SEAL ALL PENETRATIONS IN RATED CONSTRUCTION WITH APPROVED U.L. SYSTEM (INCLUDING, BUT NOT LIMITED TO STRUCTURAL MEMBERS AND MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS).
 - GN-9 COORDINATE ALL RECESSED CONCRETE SLABS WITH ARCHITECTURAL NEW WORK DRAWINGS AND STRUCTURAL FOUNDATION PLANS.
 - GN-10 WHETHER INDICATED OR NOT, PROVIDE FLOOR PATCHING & LEVELING AS REQUIRED FOR FLUSH INSTALLATION OF NEW FINISHES AS SCHEDULED AT ALL LOCATIONS WHERE EXISTING WALLS, FINISHES, PLUMBING, DUCTWORK, CONC. PADS, FLOOR MOUNTED EQUIPMENT, ETC. ARE REMOVED. NEW FLOOR PATCHING SHALL MATCH ADJACENT FLOOR ELEVATIONS UNLESS NOTED OTHERWISE.
 - GN-11 G.C. SHALL REMOVE COMPLETELY ANY EXISTING ADHESIVE ON EXISTING WALLS LEFT EXPOSED AFTER REMOVAL OF EXISTING TACKBOARDS, CHALKBOARDS, OR MARKERBOARDS. SURFACE AND TEXTURE OF EXPOSED PORTIONS AT LOCATIONS OF ADHESIVE SHALL MATCH EXISTING ADJACENT WALL SURFACES. DAMAGED WALL SURFACES SHALL BE REPAIRED TO MATCH EXISTING ADJACENT WALL SURFACES, AS REQUIRED. G.C. SHALL ADJUST LOCATION OF PROPOSED TACKBOARDS, OR MARKERBOARDS TO COVER EXISTING ADHESIVE WHERE FEASIBLE. ADJUSTMENTS MAY BE MADE A MAXIMUM OF 2'-0" TO THE RIGHT OR LEFT OF PROPOSED LOCATION INDICATED, WHERE FEASIBLE. THE LOCATION OF TACKBOARDS AND/OR MARKERBOARDS INDICATED IN PAIRS ON THE DRAWINGS SHALL NOT BE ADJUSTED IN A MANNER THAT WOULD SEPARATE THE PAIRS OR CONFLICT WITH ADJACENT EQUIPMENT.
 - GN-12 PROVIDE INTERIOR SIGNAGE FOR EACH PERMANENT ROOM AND SPACE, UTILITY ROOMS INCLUDING EXTERIOR DOORS ACCESSING UTILITY ROOMS, AND WHERE INDICATED ON DRAWINGS. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE AT ALL GANG TOILETS, INDIVIDUAL STAFF TOILETS, AND ACCESSIBLE ENTRY AND EGRESS DOORS. DOORS INTO ENCLOSED COURTYARDS SHALL READ "DOOR REMAIN UNLOCKED FROM COURTYARD DURING OCCUPIED HOURS". SIGNAGE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) INCLUDING BUT NOT LIMITED TO 1/2" HIGH RAISED LETTERS, NUMERALS AND GRADE 2 BRAILLE IN TYPE STYLE AND SIZES AS DEFINED BY ADA STANDARDS. SIGNAGE SHALL ALSO BE IN ACCORDANCE WITH ANSI 117.1-2003 CHAPTER 7.
 - GN-13 CONTRACTOR SHALL PROVIDE NEW WORK REQUIRED TO NEATLY INSTALL NEW ELECTRIC PANELS IN EXISTING OR NEW LOCATIONS. PATCH WALLS AT REMOVED PANEL TO MATCH EXISTING ADJACENT FINISH. TOOTH IN ANY REQUIRED NEW MASONRY.
 - GN-14 ALL DOOR FRAMES INSTALLED IN EXISTING OR NEW MASONRY WALLS SHALL BE GROUT FILLED, DOOR FRAMES INSTALLED IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN TO MATCH EXISTING BOND.
 - GN-15 SEE DRAWING SHEETS A8.1 - A8.10 FOR EQUIPMENT PLANS.
 - GN-16 UNLESS OTHERWISE INDICATED, SEE TYPICAL DETAILS FOR CONDITIONS WHERE NEW PARTITIONS MEET EXISTING.
 - GN-17 SEE DRAWING SHEET A9.0 FOR CHASE AND PIPE ENCLOSURE DETAILS.
 - GN-18 PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING OR METAL STRAPPING AT ALL METAL STUD WALL SYSTEMS FOR CASEWORK, MOUNTING BLOCKS AND OTHER WALL MOUNTED ITEMS.
 - GN-19 ALL TACKBOARDS AND MARKERBOARDS SHALL BE 4" HIGH AND MOUNTED 24" ABOVE FINISHED FLOOR, U.N.O.
 - GN-20 PROVIDE 3/4" FIRE TREATED PLYWOOD BACKBOARDS AT COMMUNICATION ROOMS AS SCHEDULED ON THE ELECTRICAL DRAWINGS.



3 Overall Floor Plan - Main Level - New Work
1/16" = 1'-0"



2 Overall Floor Plan - Upper Level - New Work
1/16" = 1'-0"



1 Overall Floor Plan - Lower Level - New Work
1/16" = 1'-0"



Mount Daniel Elementary School Addition & Renovation
2328 N Oak St., Falls Church, VA

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9	95% Submission	05/11/2015

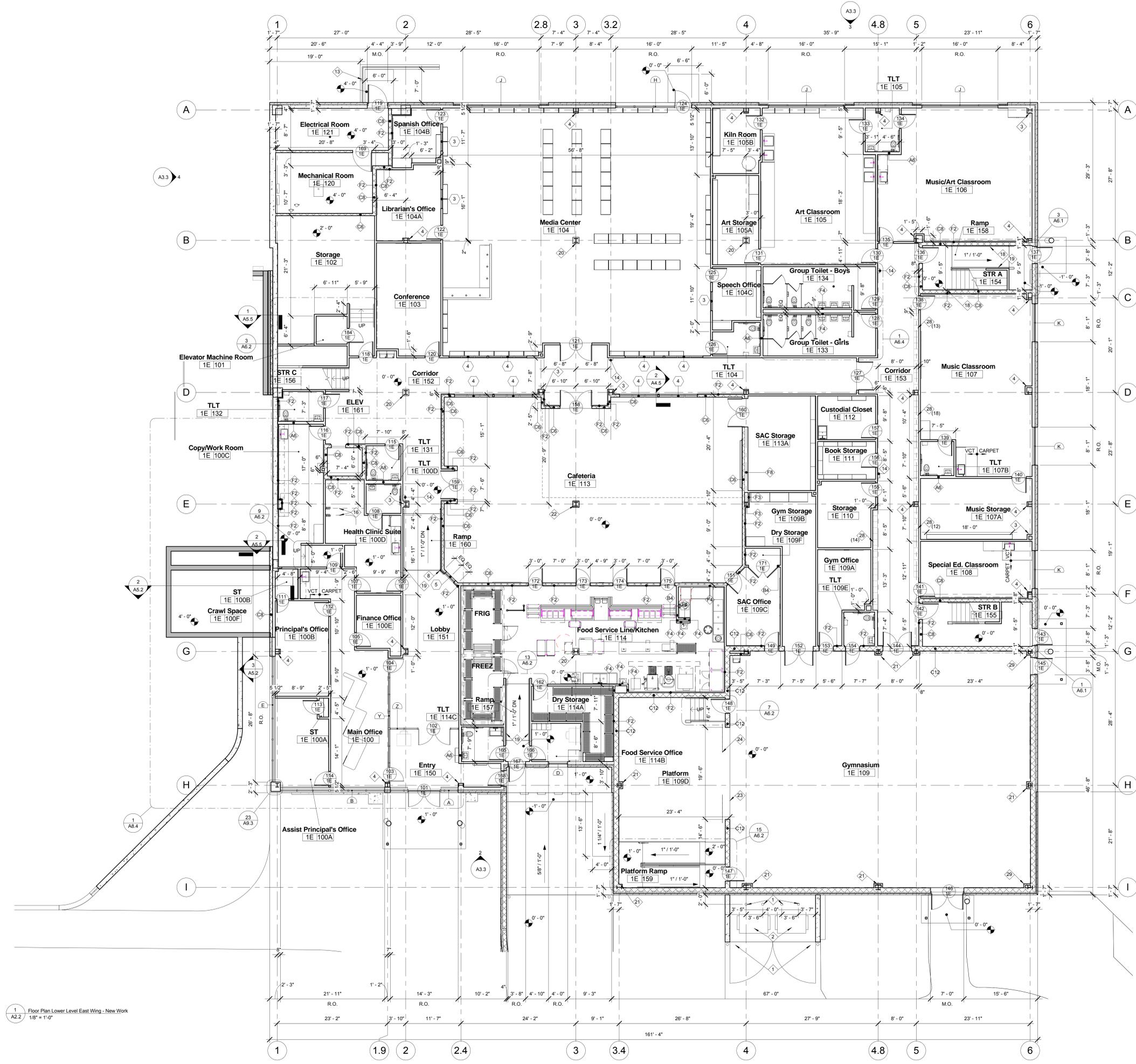
Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:

OVERALL FLOOR PLAN - NEW WORK

Sheet No. in Set: Total No. Sheets: 140

A2.1

Issue Date: 12/22/2014
Principal: Approver
Project Manager: Checker
Project Team: Author
Project Number: ----



SPECIFIC NOTES - NEW WORK

- SPECIFIC NEW WORK NOTES ARE SPECIFICALLY REFERENCED ON THIS DRAWING SHEET
- 1 EXTERIOR BOLLARDS: REFER TO DETAIL 1/A9.3 FOR EXTERIOR PIPE BOLLARD DETAIL.
 - 2 DUMPSTERS: NIC
 - 3 COLUMN COVER TYPE A: SEE DETAIL 6/A9.3
 - 4 COLUMN COVER TYPE B: SEE DETAIL 7/A9.3
 - 5 INFILL MASONRY OPENING AT REMOVED DOOR, WINDOW, LOUVER, OR EQUIP. TOOTH IN NEW MASONRY TO MATCH ALIGN. AND COURSE WITH EXISTING. PROVIDE THICKNESS OF MASONRY TO ALIGN WITH ALL EXPOSED FACES OF THE WALL
 - 6 ALIGN NEW MASONRY WALL OR NEW PARTITION SYSTEM WITH EXISTING ADJACENT FACE OF WALL OR COLUMN.
 - 7 CHAIN LINK FENCE GATE
 - 8 HANDRAIL, SEE DETAIL 17/A9.3
 - 9 VERTICAL METAL SIDING, TYP.
 - 10 METAL PANEL, TYP.
 - 11 PROVIDE NEW PAINT ON EXISTING WALLS
 - 12 GUARDRAIL, SEE DETAIL 4/A9.3
 - 13 GUARDRAIL, SEE DETAIL 5/A9.3
 - 14 SEMI-RECESSED FIRE EXTINGUISHER CABINET, SEE DETAIL 1/A9.3 & 2/A9.3
 - 15 KILN, SEE SPEC SECTION 11950
 - 16 CLINIC TRACK AND CURTAIN
 - 17 36" X 30" ROOF ACCESS HATCH, SEE DETAIL 7/A9.1
 - 18 HANDRAIL, SEE DETAIL 8/A9.3
 - 19 HANDRAIL, SEE DETAIL 9/A9.3
 - 20 COLUMN COVER TYPE C: SEE DETAIL 10/A9.3
 - 21 COLUMN COVER TYPE D: SEE DETAIL 11/A9.3
 - 22 COLUMN COVER TYPE E: SEE DETAIL 12/A9.3
 - 23 STAGE EDGE: SEE DETAIL 14/A9.3
 - 24 STAGE CURTAIN: SEE DETAIL 13/A9.3
 - 25 SKYLIGHT CURB, TYP: SEE DETAIL 8/A9.1
 - 26 HIP AND APEX DETAIL, TYP: SEE DETAIL 9/A9.1
 - 27 DOCK BUMPER: SEE DETAIL 15/9.3
 - 28 DOUBLE TIER LOCKERS 15"W x 12"D x 24"H
 - 29 CHASE TYPE F: SEE DETAIL --/--
 - 30 CONTROL JOINT: SEE DETAIL 4/A9.4
 - 31 CONTROL JOINT: SEE DETAIL 3/A9.4
 - 32 PLAZA ROOF PAVERS AND PEDESTAL SYSTEM. PROVIDE DEAD-FLAT INSTALLTION, WITH TOP OF PAVERS TO ALIGN WITH ADJACENT FINISH FLOOR.

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**FALLS CHURCH CITY
 PUBLIC SCHOOLS**

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9	95% Submission	05/11/2015

Current Revision Number: 9
 Current Revision: 95% Submission
 Current Revision Date: 05/11/2015
 Sheet Title:

**EAST WING LOWER
 LEVEL FLOOR PLAN -
 NEW WORK**

Sheet No. in Set: Total No. Sheets: 140

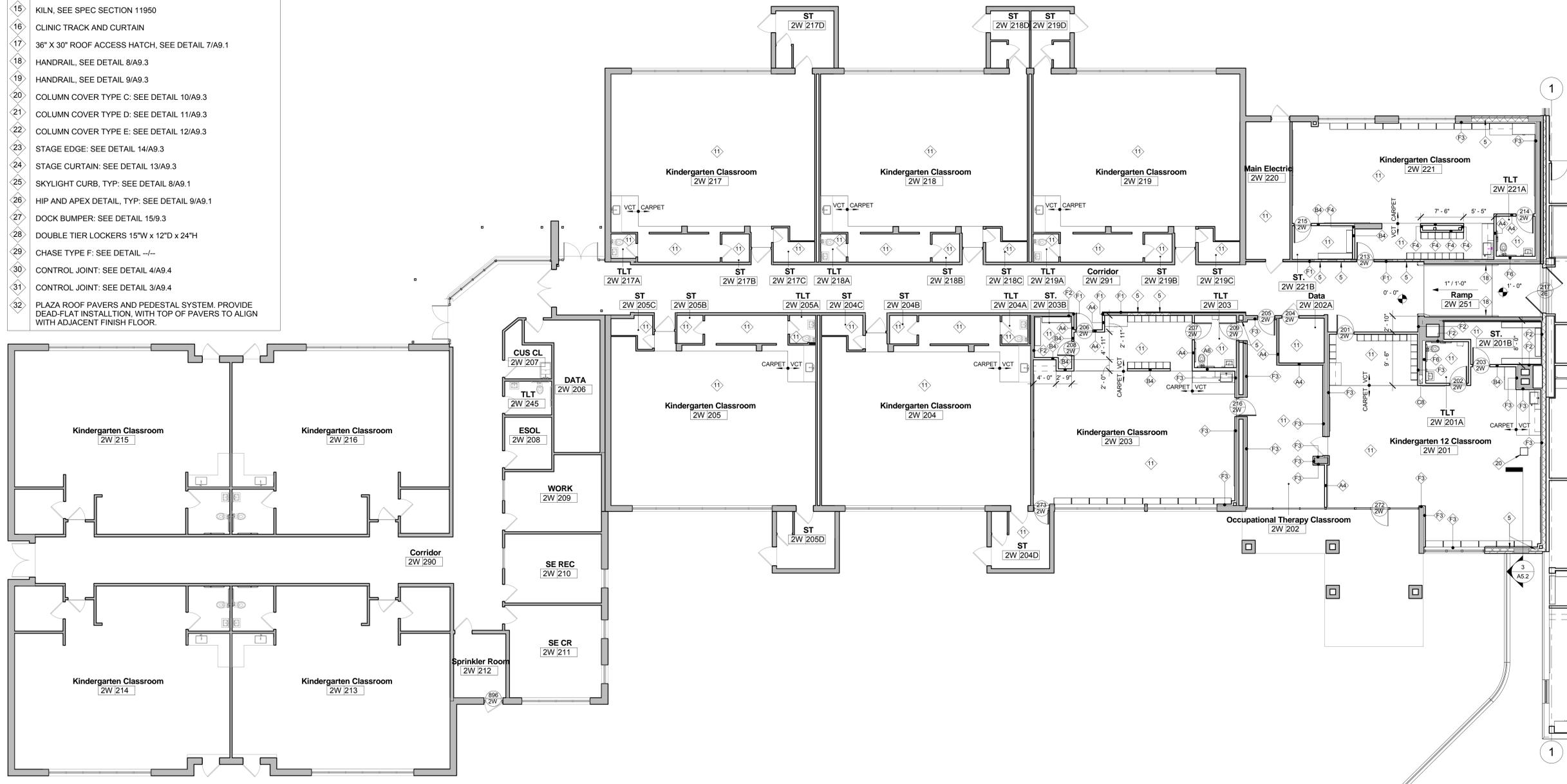
A2.2

Issue Date: 12/22/2014
 Principal: Approver
 Project Manager: Checker
 Project Team: Author
 Project Number: ---

1 Floor Plan Lower Level East Wing - New Work
 A2.2
 1/8" = 1'-0"

SPECIFIC NOTES - NEW WORK

- SPECIFIC NEW WORK NOTES ARE SPECIFICALLY REFERENCED ON THIS DRAWING SHEET
- 1 EXTERIOR BOLLARDS: REFER TO DETAIL 1/A9.3 FOR EXTERIOR PIPE BOLLARD DETAIL.
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 - 22 COLUMN COVER TYPE E: SEE DETAIL 12/A9.3
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 - 24 STAGE CURTAIN: SEE DETAIL 13/A9.3
 - 25 SKYLIGHT CURB, TYP: SEE DETAIL 8/A9.1
 - 26 HIP AND APEX DETAIL, TYP: SEE DETAIL 9/A9.1
 - 27 DOCK BUMPER: SEE DETAIL 15/9.3
 - 28 DOUBLE TIER LOCKERS 15"W x 12"D x 24"H
 - 29 CHASE TYPE F: SEE DETAIL --/--
 - 30 CONTROL JOINT: SEE DETAIL 4/A9.4
 - 31 CONTROL JOINT: SEE DETAIL 3/A9.4
 - 32 PLAZA ROOF PAVERS AND PEDESTAL SYSTEM. PROVIDE DEAD-FLAT INSTALLATION WITH TOP OF PAVERS TO ALIGN WITH ADJACENT FINISH FLOOR.



2 Floor Plan Main Level West Wing - New Work B
A2.3 1/8" = 1'-0"



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9	95% Submission	05/11/2015

Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:

**WEST WING MAIN
LEVEL FLOOR PLAN -
NEW WORK**

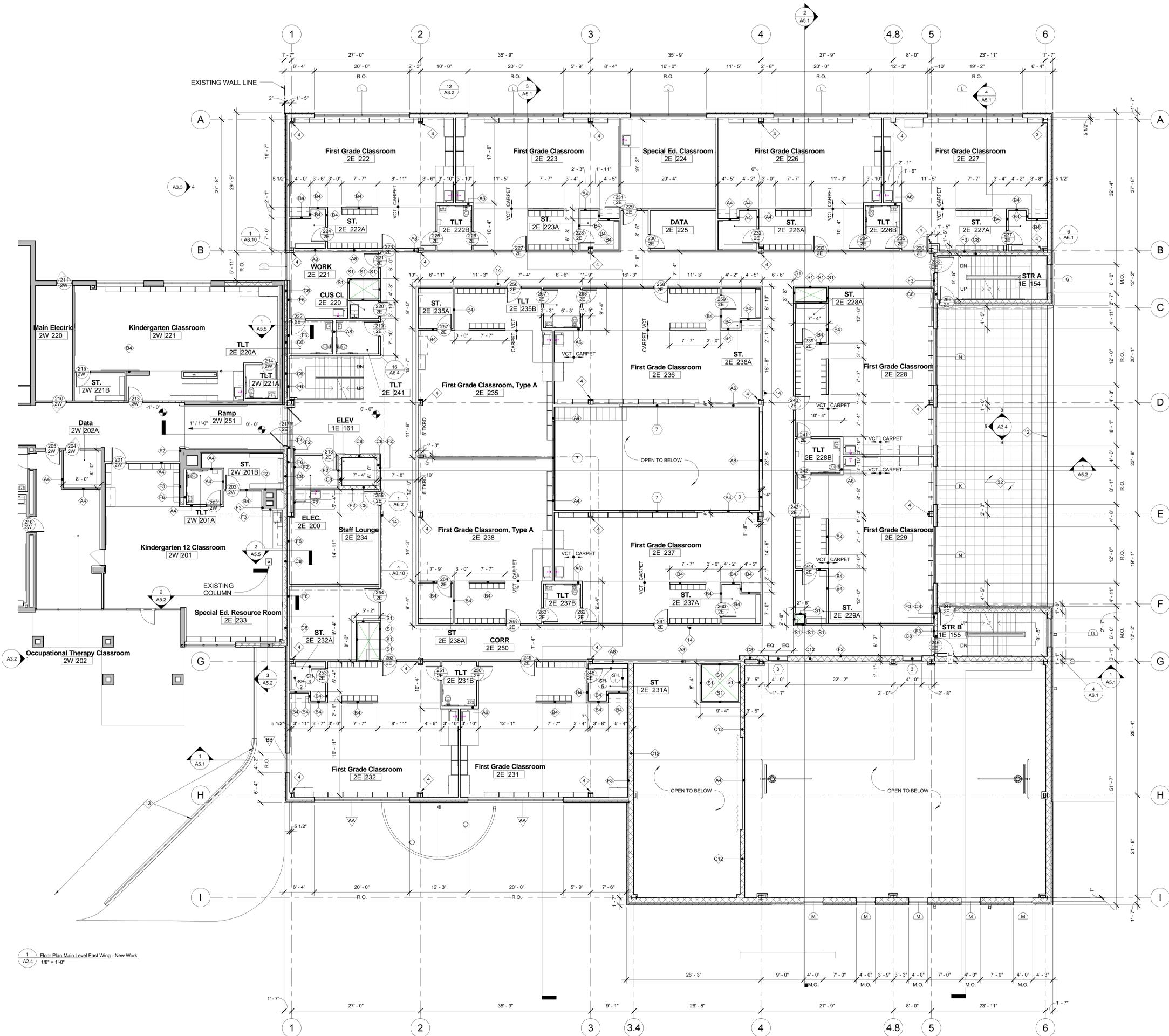
Sheet No. in Set: Total No. Sheets: 140

A2.3

Issue Date: 12/22/2014
Principal: Approver
Project Manager: Checker
Project Team: Author
Project Number: ---

SPECIFIC NOTES - NEW WORK

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 - 22 COLUMN COVER TYPE E: SEE DETAIL 12/A9.3
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 - 27 DOCK BUMPER: SEE DETAIL 15/9.3
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 - 29 CHASE TYPE F: SEE DETAIL --/--
 - 30 CONTROL JOINT: SEE DETAIL 4/A9.4
 - 31 CONTROL JOINT: SEE DETAIL 3/A9.4
 - 32 PLAZA ROOF PAVERS AND PEDESTAL SYSTEM. PROVIDE DEAD-FLAT INSTALLATION, WITH TOP OF PAVERS TO ALIGN WITH ADJACENT FINISH FLOOR.



1 Floor Plan Main Level East Wing - New Work
A2.4
1/8" = 1'-0"



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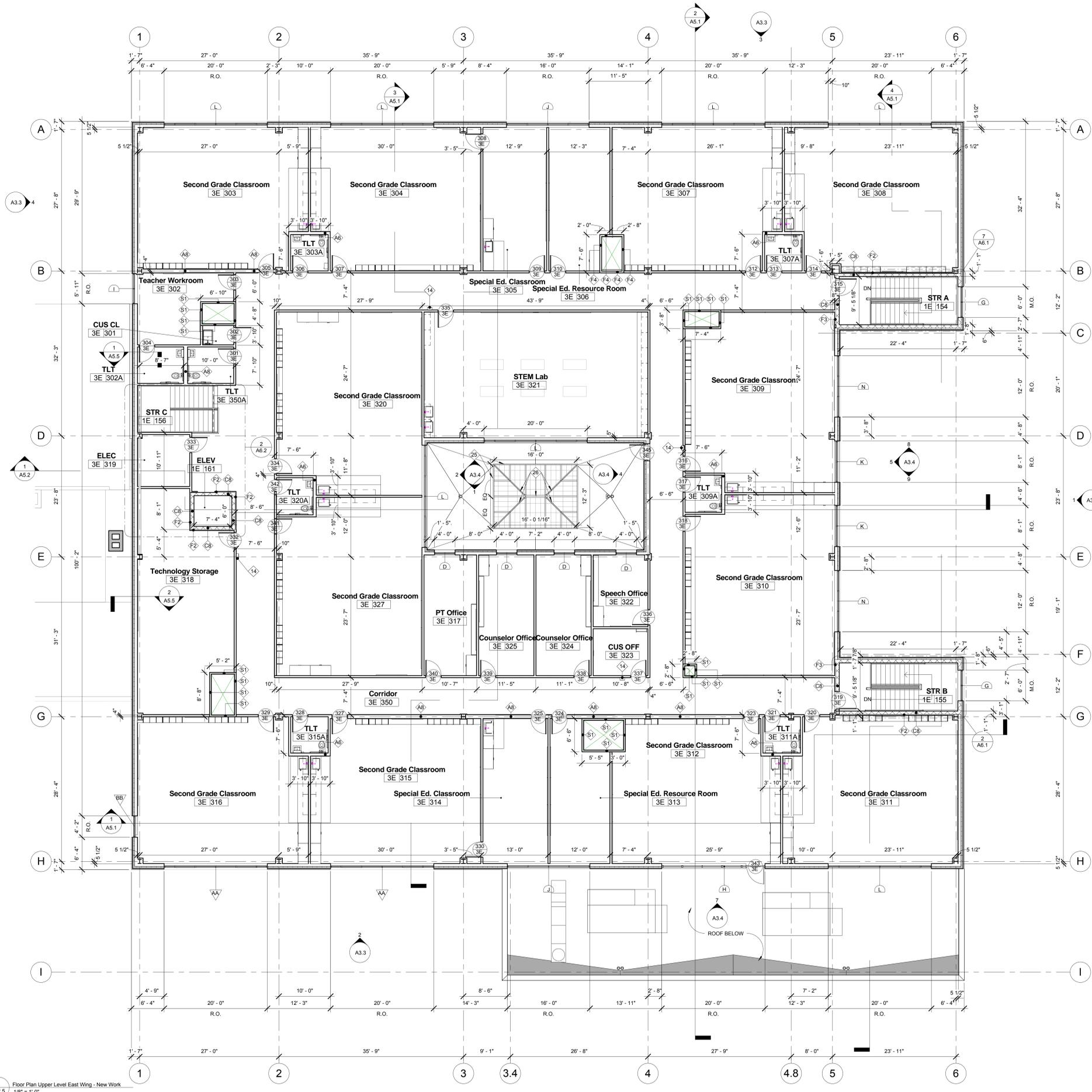
Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:

**EAST WING MAIN
LEVEL FLOOR PLAN -
NEW WORK**

Sheet No. in Set: Total No. Sheets: 140

A2.4

Issue Date: 12/22/2014
Principal: Approver
Project Manager: Checker
Project Team: Author
Project Number: ---



1 Floor Plan Upper Level East Wing - New Work
1/8" = 1'-0"

SPECIFIC NOTES - NEW WORK

- SPECIFIC NEW WORK NOTES ARE SPECIFICALLY REFERENCED ON THIS DRAWING SHEET
- 1 EXTERIOR BOLLARDS: REFER TO DETAIL 1/A9.3 FOR EXTERIOR PIPE BOLLARD DETAIL.
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 - 19 HANDRAIL, SEE DETAIL 9/A9.3
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 - 30 CONTROL JOINT: SEE DETAIL 4/A9.4
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 - 32 PLAZA ROOF PAVERS AND PEDESTAL SYSTEM. PROVIDE DEAD-FLAT INSTALLATION WITH TOP OF PAVERS TO ALIGN WITH ADJACENT FINISH FLOOR.

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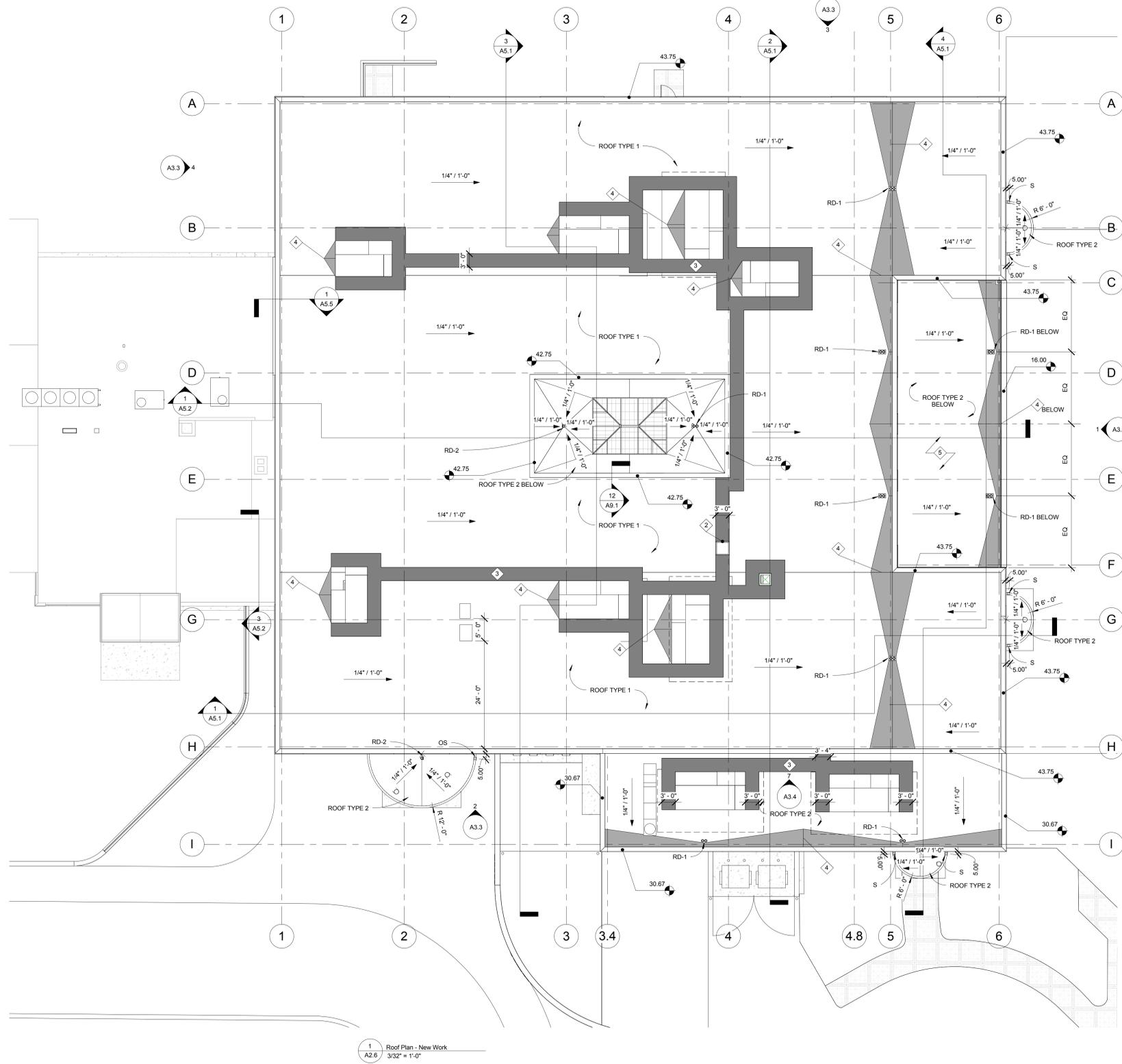
Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:

EAST WING UPPER LEVEL FLOOR PLAN - NEW WORK

Sheet No. in Set: Total No. Sheets: 140

A2.5

Issue Date: 12/22/2014
Principal: _____ Approver: _____
Project Manager: _____ Checker: _____
Project Team: _____ Author: _____
Project Number: _____



GENERAL ROOF NOTES

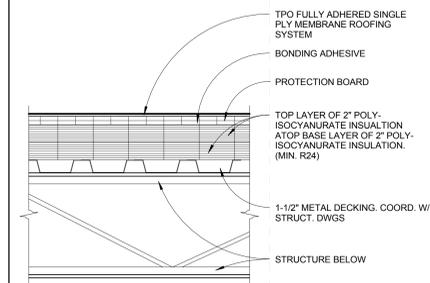
- GENERAL NOTES ARE NOT REFERENCED DIRECTLY ON PLAN. THESE NOTES ARE TYPICAL.
- R-1 DETAILS INDICATED ARE TYPICAL FOR ALL SIMILAR ROOFING CONDITIONS UNLESS OTHERWISE INDICATED.
 - R-2 FINISHES: ALL ROOFTOP EQUIPMENT EXCLUDING PRE-FINISHED ITEMS SHALL BE PAINTED.
 - R-3 ROOF MOUNTED EQUIPMENT: DO NOT INSTALL MECHANICAL ITEMS - EXHAUST FANS, GRAVITY VENTS, ETC. CLOSER THAN 10' TO ROOF EDGE. NOT ALL ROOFTOP EQUIPMENT IS SHOWN ON THIS DRAWING. COORDINATE W/ MECHANICAL DRAWINGS FOR LOCATIONS OF ROOFTOP EQUIPMENT.

SPECIFIC ROOF NOTES

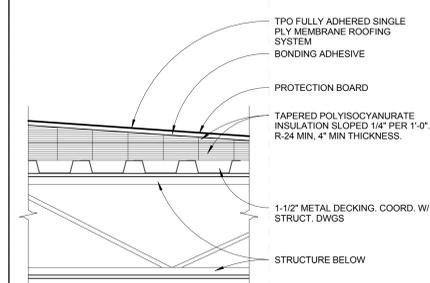
- GENERAL NOTES ARE REFERENCED DIRECTLY ON PLAN.
- 1 VENT THROUGH ROOF. SEE ROOF DETAILS ON SHEET A9.1.
 - 2 3'-0" X 2'-6" ROOF ACCESS HATCH. SEE DETAILS 7/A9.1.
 - 3 ROOF WALKWAY PADS. SEE DETAIL 5/9.1.
 - 4 ROOF CRICKET, TAPERED INSUL.
 - 5 ROOF PAVER/PEDESTAL SYSTEM OVER ROOF TYPE 2

ROOF SYMBOLS

- RD-1 ROOF DRAIN TYPE 1: COMBINATION ROOF & OVERFLOW ROOF DRAIN SYSTEM. COORDINATE WITH PLUMBING DRAWINGS. DAY LIGHT OVERFLOW ROOF DRAIN TO WITHIN 3'-0" OF GRADE.
- RD-2 ROOF DRAIN TYPE 2: ROOF DRAIN SYSTEM. COORDINATE WITH PLUMBING DRAWINGS.
- OS OVERFLOW SCUPPER SYSTEM. SEE DETAILS ON SHEET A9.1.
- S SCUPPER SYSTEM. SEE DETAILS ON SHEET A9.1.
- 1/12" ROOF SLOPE DOWN



2 Roof Type 1
A2.6 1 1/2" = 1'-0"



3 Roof Type 2
A2.6 1 1/2" = 1'-0"

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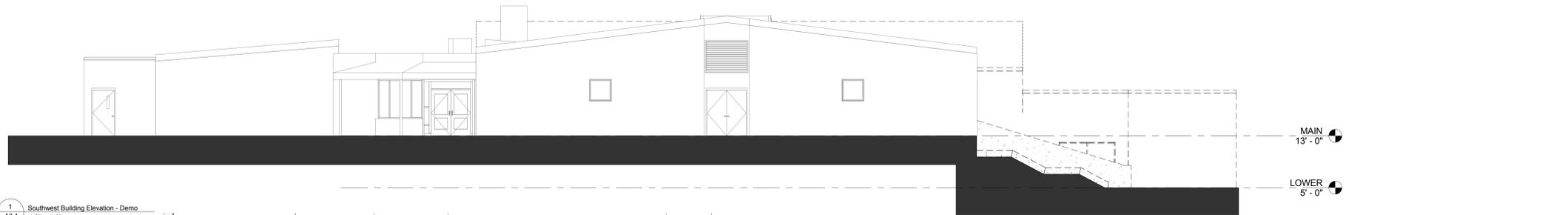
Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:

ROOF PLAN - NEW WORK

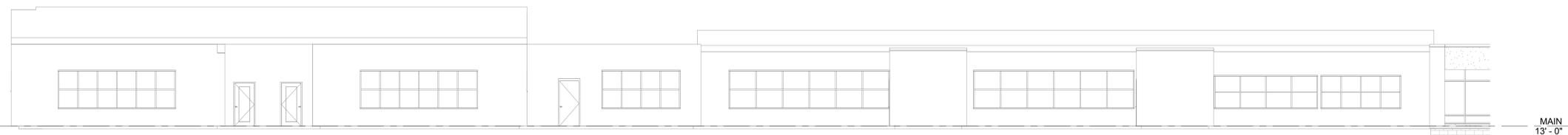
Sheet No. in Set: Total No. Sheets: 140

A2.6

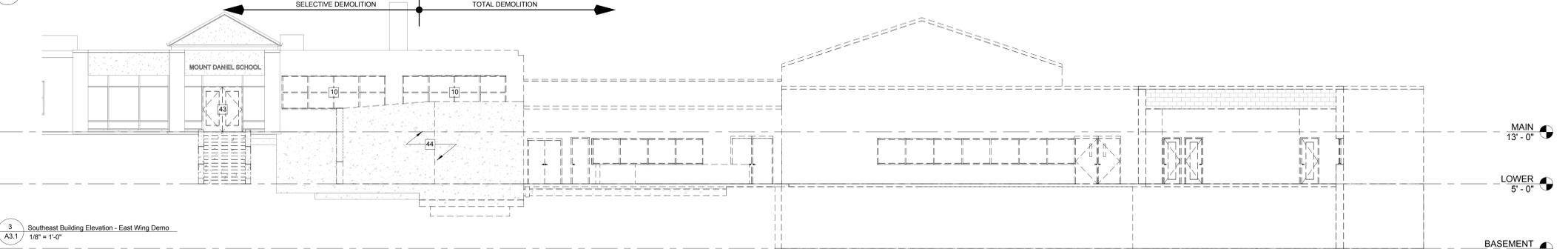
Issue Date: 12/22/2014
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Project Number: _____



1 Southwest Building Elevation - Demo
A3.1
1/8" = 1'-0"



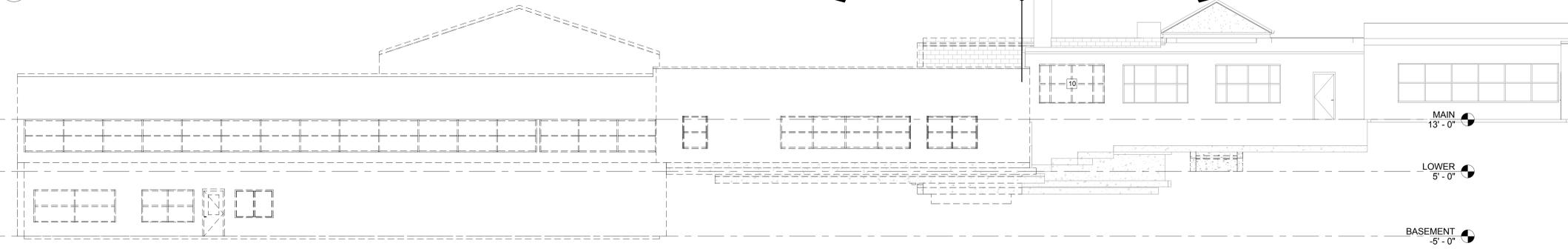
2 Southeast Building Elevation - West Wing Demo
A3.1
1/8" = 1'-0"



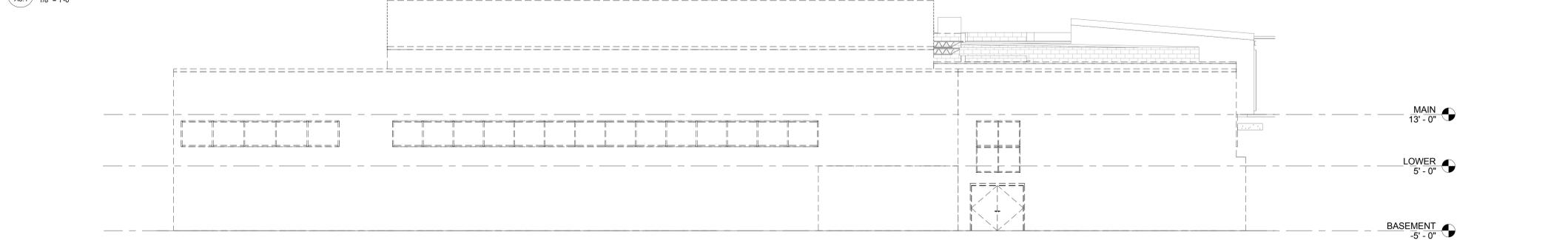
3 Southeast Building Elevation - East Wing Demo
A3.1
1/8" = 1'-0"



4 Northwest Building Elevation - East Wing Demo
A3.1
1/8" = 1'-0"



5 Northwest Building Elevation - West Wing Demo
A3.1
1/8" = 1'-0"



6 Northwest Building Elevation - Demo
A3.1
1/8" = 1'-0"

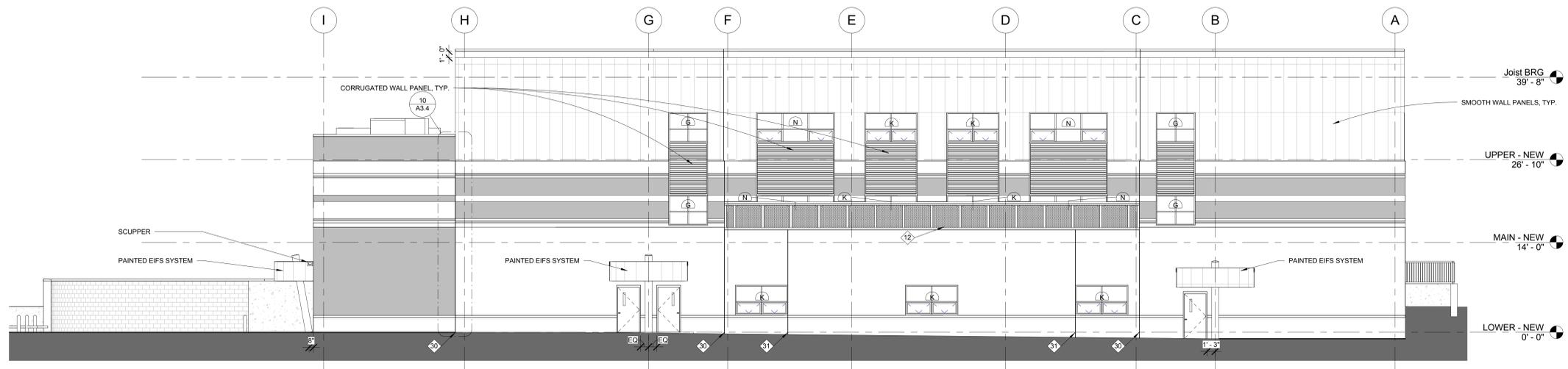
SPECIFIC NOTES - DEMOLITION WORK

- SPECIFIC NOTES ARE REFERENCED DIRECTLY ON PLAN. COORDINATE WITH GENERAL DEMOLITION NOTES FOR EXTENT OF WORK.
- 1 CUT AND REMOVE THE FOLLOWING EXISTING ITEMS THROUGHOUT AREA: FLOOR SLAB, EXTERIOR WALLS, BEAMS, COLUMNS, ROOF STRUCTURE, STAIRS, AND INTERIOR WALLS. REMOVE PORTION OF EXISTING FOOTINGS AS REQUIRED FOR INSTALLATION OF NEW WORK. COORDINATE NEW WORK DRAWINGS FOR EXTENT OF DEMOLITION.
 - 2 REMOVE THE FOLLOWING INTERIOR EXISTING ITEMS THROUGHOUT AREA: PARTITIONS, DOORS & FRAMES, CASEWORK, MILLWORK, FLOOR FINISHES, WALL BASE, CEILINGS, LOCKERS, SHELVING, EQUIPMENT, MARKERBOARDS, TACKBOARDS, AND WALL MOUNTED ACCESSORIES. EXISTING EXTERIOR WALLS, ROOF DECK, AND STRUCTURAL ITEMS SHALL REMAIN AND BE PROTECTED. UNDO PROVIDE FLOOR FINISHING AND LEVELING AS REQUIRED FOR FLUSH INSTALLATION OF NEW FLOOR FINISHES AS SCHEDULED.
 - 3 -
 - 4 REMOVE EXISTING MASONRY WALL BEGINNING AT THE TOP OF SLAB COMPLETE. EXISTING STRUCTURAL ITEMS SHALL REMAIN. COORDINATE WITH NEW WORK DRAWINGS FOR EXTENT OF DEMOLITION. PATCH FLOOR AND ADJACENT WALLS AS REQUIRED TO PROVIDE FLUSH INSTALLATION OF NEW FINISHES AS SCHEDULED.
 - 5 CUT NEW OPENING IN EXISTING MASONRY WALL AS REQUIRED TO INSTALL NEW DOOR OR WINDOW FRAME AND LINTEL. EXISTING STRUCTURE SHALL REMAIN. PROVIDE SHORING OF EXISTING MASONRY TO REMAIN, AS REQUIRED. COORDINATE WITH NEW WORK DRAWINGS FOR EXTENT OF DEMOLITION.
 - 6 DEMO EXISTING FLOOR SLAB AS REQUIRED FOR UNDER SLAB PLUMBING
 - 7 REMOVE PORTION OF EXIST. CONC. SLAB ON GRADE. COORD. W/ STRUCT. DWGS.
 - 8 REMOVE EXISTING SINGLE OR DOUBLE HOLLOW METAL DOOR FRAME AND ASSOCIATED WOOD OR METAL DOOR SYSTEM COMPLETE INCLUDING ALL APURTENANCES, HARDWARE, ANCHORS AND FASTENERS. SECURITY SYSTEMS TO BE REUSED IN NEW CONSTRUCTION.
 - 9 REMOVE EXISTING DOOR & HARDWARE. EXISTING FRAME TO REMAIN
 - 10 REMOVE EXISTING WINDOW SYSTEM COMPLETE, INCLUDING FRAMES, ANCHORS, HARDWARE, TRIM, AND BLINDS WHERE THEY OCCUR. REMOVE EXISTING MASONRY BELOW OPENING AND PATCH MASONRY AT JAMBS AS REQD. COORDINATE WITH NEW WORK DRAWINGS FOR EXTENT OF DEMOLITION.
 - 11 REMOVE EXISTING STAIR, HANDRAILS, AND TRIM, COMPLETE. COORDINATE W/ NEW WORK DRAWINGS FOR EXTENT OF DEMOLITION.
 - 12 REMOVE EXISTING WOOD FRAME RISERS
 - 13 REMOVE EXISTING RAMP AND HANDRAIL
 - 14 REMOVE EXISTING INTERIOR GYPSUM WALL BOARD ON LIGHT GAUGE FRAMING PARTITION SYSTEM COMPLETE FROM FLOOR TO THE TERMINATION OF THE PARTITION SYSTEM ABOVE. COORDINATE WITH NEW CONSTRUCTION FOR EXTENT OF DEMOLITION WORK.
 - 15 REMOVE EXISTING RETAINING WALL COMPLETE
 - 16 REMOVE EXISTING EXTERIOR ALUMINUM STOREFRONT ENTRANCE SYSTEM INCLUDING DOOR HARDWARE SYSTEMS
 - 17 FLAG POLE TO BE RELOCATED
 - 18 -
 - 19 -
 - 20 REMOVE EXISTING CARPET, TRIM, AND BASE
 - 21 REMOVE EXISTING CEILING COMPLETE INCLUDING SUSPENSION SYSTEM
 - 22 REMOVE EXISTING CEILING TILE, EXIST. CEILING GRID TO REMAIN
 - 23 REMOVE AND REINSTALL IN NEW KITCHEN, REACH-IN REFRIGERATOR
 - 24 REMOVE AND REINSTALL IN NEW KITCHEN, DELI SLICER
 - 25 REMOVE AND REINSTALL IN NEW KITCHEN, CONVECTION STEAMER
 - 26 REMOVE AND REINSTALL IN NEW KITCHEN, REACH-IN FREEZER
 - 27 REMOVE AND REINSTALL IN NEW KITCHEN, REACH-IN REFRIGERATOR, MOBILE
 - 28 REMOVE AND REINSTALL IN NEW KITCHEN, 3 SINK KITCHEN COUNTER-
 - 29 REMOVE AND REINSTALL IN NEW KITCHEN, MICROWAVE
 - 30 REMOVE AND REINSTALL IN NEW KITCHEN, STAINLESS STEEL TABLE
 - 31 REMOVE EXISTING CEMENT PLASTER PANELS AND COPING, SUPPORTING STRUCT TO REMAIN
 - 32 REMOVE EXISTING CEMENT PLASTER PANELS, COPING, AND STRUCT
 - 33 REMOVE EXISTING CANOPY COMPLETE
 - 34 -
 - 35 REMOVE EXISTING MASONRY COLUMN BEGINNING AT THE TOP OF SLAB COMPLETE. COORDINATE WITH NEW WORK DRAWINGS FOR EXTENT OF DEMOLITION. PATCH FLOOR AND ADJACENT WALLS AS REQUIRED.

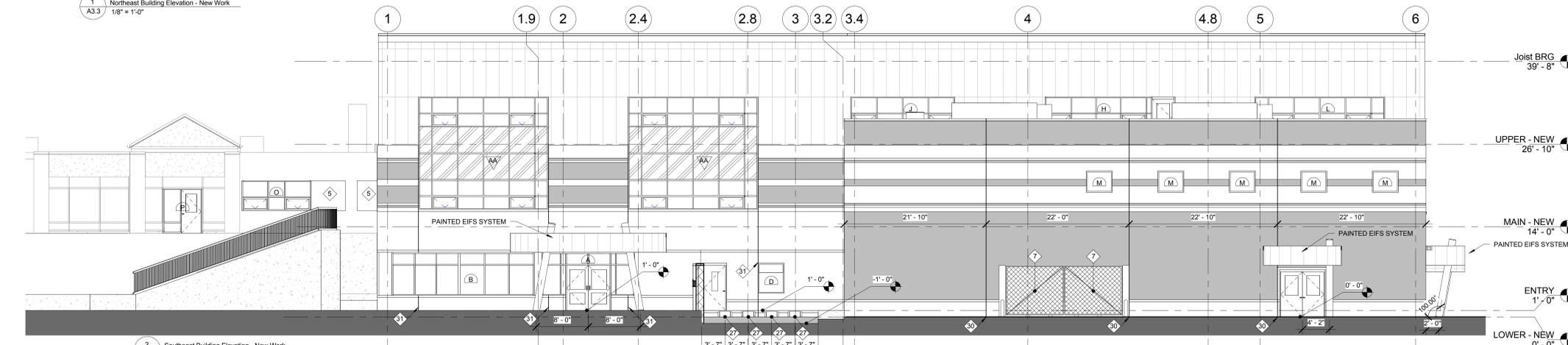
Revision Log

No.	Description	Date
1	Schematic Submission	12/3/2014
2	Design Development Submission	12/19/2014
3	Progress Set	01/26/2015
4	Progress Set	2/19/2015
5	65% Submission	2/25/2015
6	Permit Set	3/11/2015
8	95% Submission	04/10/2015
9	95% Submission	05/11/2015

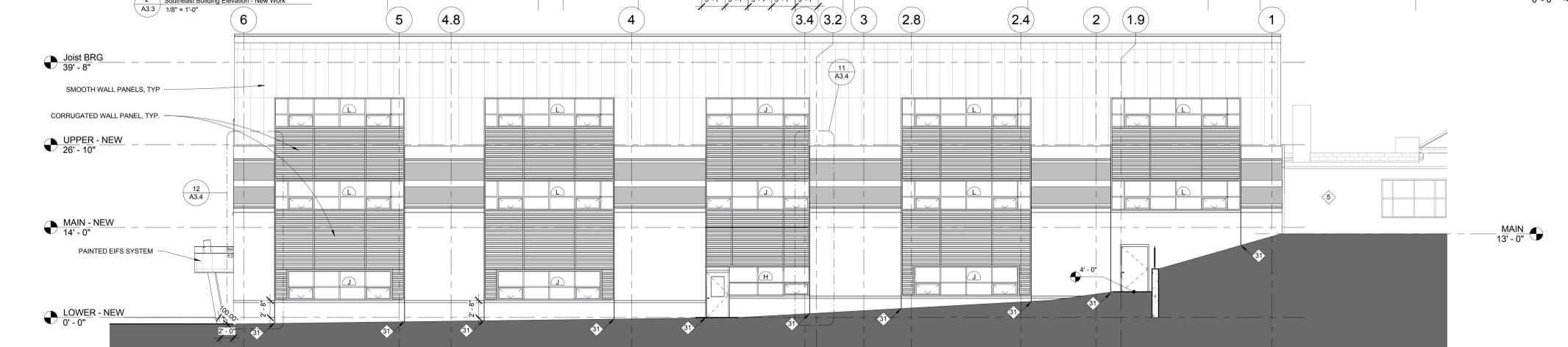
Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:



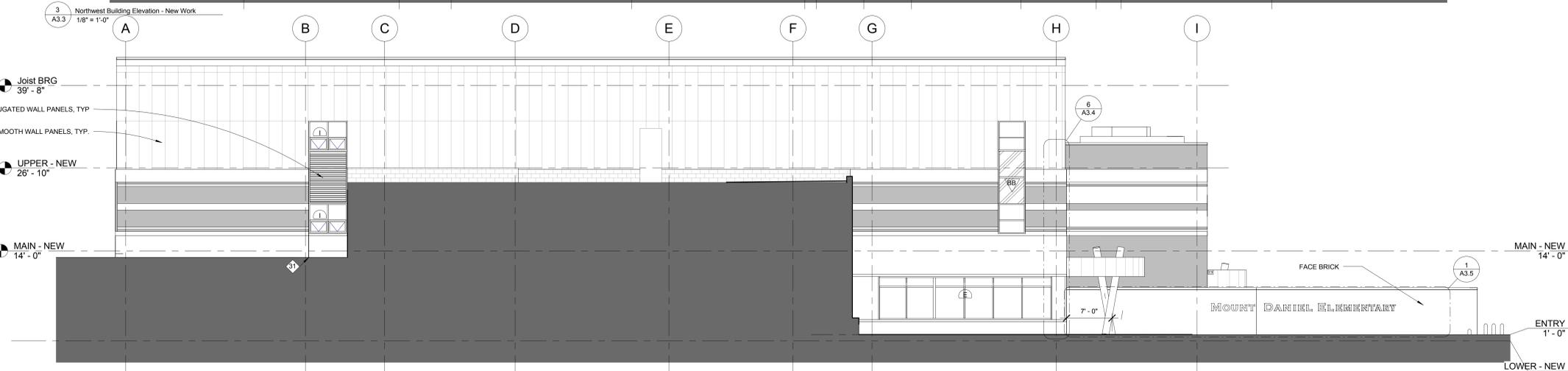
1 Northeast Building Elevation - New Work
A3.3
1/8" = 1'-0"



2 Southeast Building Elevation - New Work
A3.3
1/8" = 1'-0"



3 Northwest Building Elevation - New Work
A3.3
1/8" = 1'-0"



4 Southwest Building Elevation - New Work
A3.3
1/8" = 1'-0"

SPECIFIC NOTES - NEW WORK

- SPECIFIC NEW WORK NOTES ARE SPECIFICALLY REFERENCED ON THIS DRAWING SHEET
- 1 EXTERIOR BOLLARDS: REFER TO DETAIL 1/A9.3 FOR EXTERIOR PIPE BOLLARD DETAIL.
 - 2 DUMPSTERS: NIC
 - 3 COLUMN COVER TYPE A: SEE DETAIL 6/A9.3
 - 4 COLUMN COVER TYPE B: SEE DETAIL 7/A9.3
 - 5 INFILL MASONRY OPENING AT REMOVED DOOR, WINDOW, LOUVER, OR EQUIP. TOOTH IN NEW MASONRY TO MATCH ALIGN. AND COURSE WITH EXISTING. PROVIDE THICKNESS OF MASONRY TO ALIGN WITH ALL EXPOSED FACES OF THE WALL
 - 6 ALIGN NEW MASONRY WALL OR NEW PARTITION SYSTEM WITH EXISTING ADJACENT FACE OF WALL OR COLUMN.
 - 7 CHAIN LINK FENCE GATE
 - 8 HANDRAIL, SEE DETAIL 17/A9.3
 - 9 VERTICAL METAL SIDING, TYP.
 - 10 METAL PANEL, TYP.
 - 11 PROVIDE NEW PAINT ON EXISTING WALLS
 - 12 GUARDRAIL, SEE DETAIL 4/A9.3
 - 13 GUARDRAIL, SEE DETAIL 5/A9.3
 - 14 SEMI-RECESSED FIRE EXTINGUISHER CABINET, SEE DETAIL 1/A9.3 & 2/A9.3
 - 15 KILN, SEE SPEC SECTION 11950
 - 16 CLINIC TRACK AND CURTAIN
 - 17 36" X 30" ROOF ACCESS HATCH, SEE DETAIL 7/A9.1
 - 18 HANDRAIL, SEE DETAIL 8/A9.3
 - 19 HANDRAIL, SEE DETAIL 9/A9.3
 - 20 COLUMN COVER TYPE C: SEE DETAIL 10/A9.3
 - 21 COLUMN COVER TYPE D: SEE DETAIL 11/A9.3
 - 22 COLUMN COVER TYPE E: SEE DETAIL 12/A9.3
 - 23 STAGE EDGE: SEE DETAIL 14/A9.3
 - 24 STAGE CURTAIN: SEE DETAIL 13/A9.3
 - 25 SKYLIGHT CURB, TYP: SEE DETAIL 8/A9.1
 - 26 HIP AND APEX DETAIL, TYP: SEE DETAIL 9/A9.1
 - 27 DOCK BUMPER: SEE DETAIL 15/9.3
 - 28 DOUBLE TIER LOCKERS 15"W x 12"D x 24"H
 - 29 CHASE TYPE F: SEE DETAIL --/--
 - 30 CONTROL JOINT: SEE DETAIL 4/A9.4
 - 31 CONTROL JOINT: SEE DETAIL 3/A9.4
 - 32 PLAZA ROOF PAVERS AND PEDESTAL SYSTEM. PROVIDE DEAD-FLAT INSTALLATION. WITH TOP OF PAVERS TO ALIGN WITH ADJACENT FINISH FLOOR.

Revision Log

No.	Description	Date
1	Schematic Submission	12/3/2014
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9	95% Submission	05/11/2015

Current Revision Number: 9
Current Revision: 95% Submission
Current Revision Date: 05/11/2015
Sheet Title:

ATTACHMENT A – SCHOOL HISTORY AND GRADES

HISTORY

Fairfax County and the City of Falls Church have a long standing history of working together on facilities. Attached is a one page historical overview which provides the basis for why Mount Daniel is located in Fairfax County. As the City of Falls Church became an independent City and school system in 1949, the County and Falls Church worked to share facilities during the transition to avoid disruption to students . Mount Daniel was constructed to ease overcrowding in the area for both school systems, as both were faced with overcrowding issues which mirror closely to what we are seeing today. Once the City purchased the Oak Street Elementary School (Thomas Jefferson Elementary School) from the County in 1955, the exchange program was phased out.

GRADE CONFIGURATION

The Mount Daniel Elementary School was designed to enroll first, second, and third grades. The history of Mount Daniel has always accommodated three grade levels. While those configurations have changed through the years according to enrollment pressures and needs, three grade levels have been customary since the opening of Mount Daniel in 1952.

ENROLLMENT – The following is a projection of student enrollment comparing the variable of Preschool vs. Second Grade at Mount Daniel:

School Year	PK – K – 1	K – 1 – 2	Difference	
2014-2015	409			
2015-2016	397			
2016-2017	429	534	105	24.4%
2017-2018	431	551	120	27.8%
2018-2019	436	561	125	28.6%
2019-2020	441	568	127	28.8%
2020-2021	446	581	135	30.2%
2021-2022	450	589	139	30.8%
2022-2023	454	599	145	31.9%
2023-2024	458	609	151	32.9%
2024-2025	460	628	168	36.5%
2025-2026	470	638	168	35.7%
2026-2027	473	647	174	36.8%
2027-2028	476	656	180	37.8%
2028-2029	482	665	183	37.9%
2029-2030	490	675	185	37.7%
2030-2031	492	677	185	37.6%
2031-2032	500	685	185	37.0%
2032-2033	502	687	185	36.8%
2033-2034	512	690	178	34.7%

The most urgent problem now facing the Board was the critical shortage of facilities. The court settlement dividing the community's school buildings only conveyed title of the Madison School and the aging Jefferson School to the city. The Oak Street Elementary School (now Thomas Jefferson Elementary School) and the Falls Church High School (later named the Whittier School on Hillwood Avenue) remained under the control of Fairfax County even though the Falls Church School Board made every effort to purchase them. The settlement left the city with no high school and badly overcrowded and outdated facilities for elementary students.

Because of space shortages, Falls Church and Fairfax County resorted to several temporary arrangements. Without a high school building of its own, Falls Church had no choice but to continue to send its high school pupils to Falls Church High School, owned and administered by Fairfax County. The County was also facing an acute shortage of elementary school space in the Falls Church area. These shortages prompted the City and County school administrations to agree, for the time being, to a plan providing the least possible disruption to the students. The city continued to allow County children who had previously attended Madison and Jefferson schools to remain in those schools,

and the county took City students into Street School and Falls Church High Scho

Later, this situation was eased somewhat with the completion of Falls Church's Mt. Daniel Elementary School, which opened on January 7, 1952. By the 1952-53 school year, an exchange with the Fairfax County program limited to grades one through three and administered so the numbers of City and County students would be equal, thus caring out need for tuition payments. In 1955 the City purchased Oak Street School and the exchange program was phased out.

Planning For New Schools

The School Board conducted a special census in 1949 to determine the future needs for facilities. This revealed that the number of school children exceeded the number of school-age children, indicating increased future educational needs. In addition, the population in the area was growing rapidly. Faced with this situation, the School Board asked the City Council to call for a referendum to authorize bonds to finance construction of new buildings. On November 17, 1949, the voters approved a \$700,000 bond issue. Two school sites were

14



1952

George Mason Junior/Senior High School is dedicated

1953

Two rooms added to Mt. Daniel Elementary School.

First class graduates from George Mason

George Mason
High School
Dedication



Thompson House

ATTACHMENT B – WEEKEND AND COMMUNITY USE

WEEKEND USE

Mount Daniel is not utilized for church activities or other renters on the weekend. This practice at Mount Daniel was discontinued. There may, at times, be minimal use by Falls Church City Park and Recreation for activities which involve 5-6 year old children. Currently, there are none of these activities taking place. The athletic facilities provided now, and in the future, are not adequate for anything other than small children. These programs are also open to Fairfax County children, and they do participate in Falls Church programs. Both Fairfax and Falls Church Youth Programs support the efforts of one another in both space and availability.



The school is not rented on the weekends for community use. However, on June 27th, 2015 the parking lot was full. It is noted that FCCPS allows people to park at the school and walk across to neighbors' homes, swing parking for neighborhood events, and from May through September the parking lot is heavily utilized by High Point Pool at no cost. High Point Pool is a Fairfax County facility which is located behind Mount Daniel. The pool is utilized by both Fairfax County and Falls Church residents. Please note both Fairfax County school emblems and FCCPS emblems on the cars. It is shared space which is valuable for use when the school is not in session. Perhaps this use is what the residents are assuming is Falls Church school use.

ATTACHMENT C – BUILDING SQUARE FEET

EXISTING BUILDING

Existing Building	35,842 SF
2005 Addition	<u>7,929 SF</u>
Subtotal Building	43,771 SF
Classroom Trailers	<u>2,592 SF</u>
Total Facility SF	46,363 SF

EXISTING BUILDING DEMOLITION

Building Demolition	22,498 SF
Remove Trailers	<u>2,592 SF</u>
Total SF Removed	25,090 SF

TOTAL BUILDING

Lower Level	25,843 SF	- Support Spaces (Gym, Media, Cafeteria, etc.)
Main Level	22,975 SF	- First Grade
Upper Level	21,111 SF	- Second Grade
Existing to Remain	<u>21,273 SF</u>	- Kindergarten
Total Building	91,202 SF	

ATTACHMENT D – ALTERNATIVE SITES

ALTERNATIVE SITES CONSIDERED

In 2009 FCCPS contracted with Dewberry for a complex facility study (Master Plan). At that time, all school property was examined for best use. The study resulted in FCCPS pursuing a strategy at all school sites for renovation and expansion instead of a complete demolition plan.

Falls Church City Public Schools follows the same frame of thought as Fairfax County and believes that elementary schools are best located in and around residential areas (Fairfax Comprehensive Plan Objective 9, Policy c, Locate elementary, intermediate and high schools in relation to residential areas, the road network and traffic to optimize the resulting safety and convenience for students, residents, and commuters. **When possible, elementary schools should be located in, or on the periphery of, residential areas to ensure proximity and convenience for students and the local community**). FCCPS owns a parcel of land which is adjacent to Interstate 66, Route 7, and the West Metro. Given that the property is boxed in on three sides with heavy vehicle and pedestrian traffic an elementary school would not be best suited on such a parcel. Especially since young children require outdoor play space where they are often outside and can be in harm's way with close proximity to pedestrians. In addition, the current parcel is 34.6 acres and it is a co-location site for both the FCCPS high school and FCCPS middle school with enrollment projections that exceed 2,500 students on the co-located campus. The Falls Church City School Board considered the viability of locating an elementary school on the site and it was quickly deemed not appropriate for young children primarily due to safety, but also due to the current compacted use of the site requirements for both a middle school and a high school.

In October 2012 a further study on Mount Daniel was commissioned for feasibility. The Feasibility Study was commissioned with Lukmire Architecture and Engineering. FCCPS examined all aspects of the building, including the ADA Compliance renovation approach as mentioned in Attachment E. It was determined that to move Mount Daniel inside the City a parcel of approximately 5 acres would need to be found. FCCPS worked with a local realtor and City Planning to search for a parcel inside the City. There were no suitable sites available.

While FCCPS did not have an alternate site within the City that would be suitable for an Elementary School, through the PPEA process, a land swap with a Private Entity (Developer) is possible. In January 2014, FCCPS issued a Request for Proposal that encouraged developers to propose alternate sites for Mount Daniel Elementary School. It was thought that a developer may have access to property within the City and would be willing to swap the Mount Daniel site due to its proximity to a Metro Station. In order to further incentivize the land swap, FCCPS was open to a mixed use development on the new Elementary School site. The development community was also unable to find a parcel of land to purchase in exchange for the Mount Daniel Site. The following is the language from the RFP:

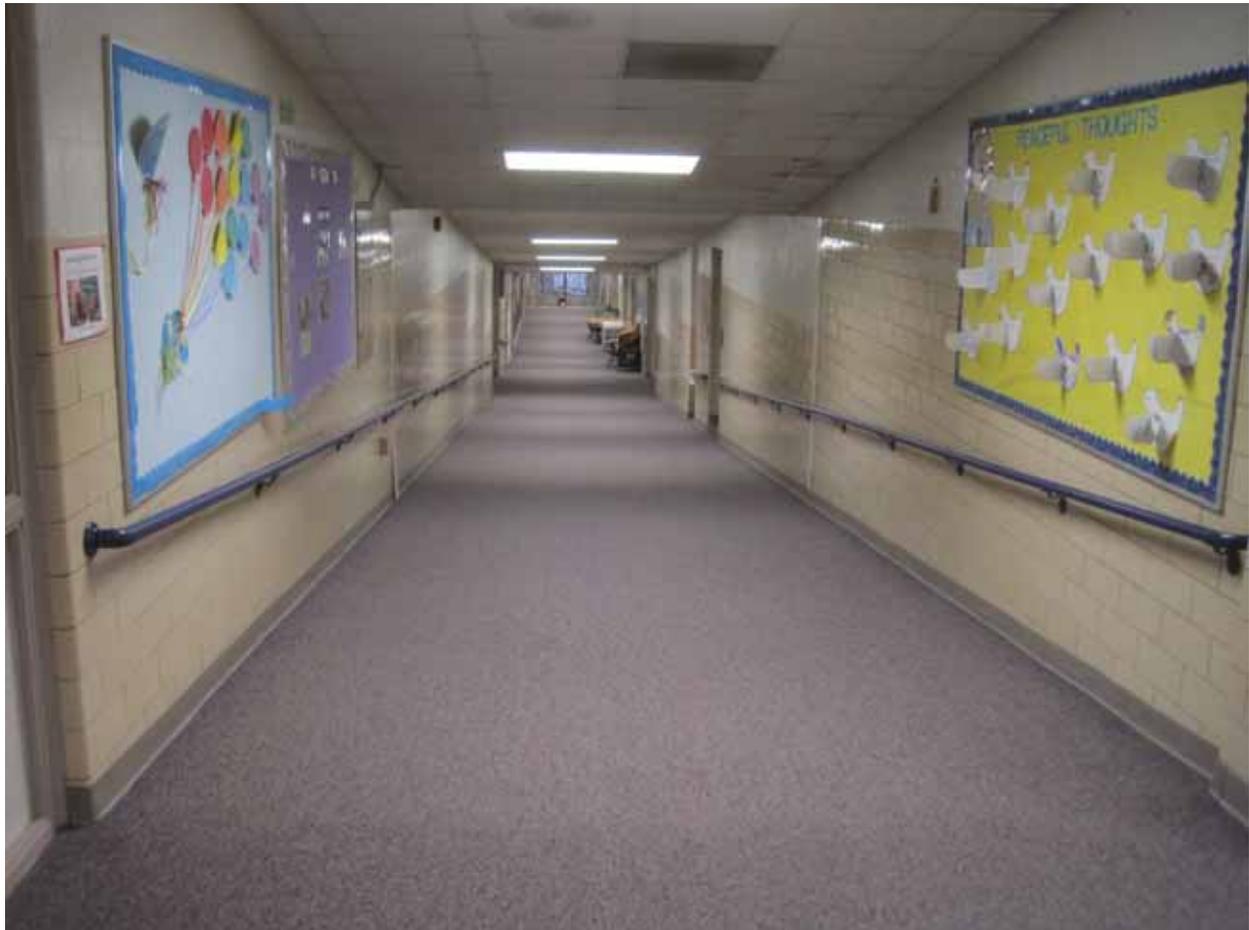
1. INTRODUCTION/SUMMARY

- 1.1. The City of Falls Church (“City”) and Falls Church City Public Schools (“FCCPS”) (herein collectively described as “Owner”) desires to contract with an experienced and qualified Private Entity under the Public Private Education Facilities and Infrastructure Act (PPEA) for the design and construction of additions and renovations for the existing Mount Daniel Elementary School located at 2328 North Oak Street, Falls Church, VA 22046 and/or the design and construction of a new school building on an alternate site (herein referred to as “Project”). The Project is described in this Request for Proposals document (herein referred to as “RFP”). See Section 10 for proposal submission requirements.
- 1.2. The Project includes the design and construction services to meet the Building Program and requirements contained in the Education Specification, Requirements for K-2 Elementary School, Mount Daniel Elementary School (Attachment E) and Level of Quality and Guide Specifications (Attachment F) with an available budget of fifteen million dollars (\$15,000,000.00). All proposed alternatives will include associated utilities, storm drain, landscaping, tree preservation, floodplain verification, parking/paving, and other site improvements to meet permit requirements. The following alternatives are acceptable to meet program requirements, are listed in no order of preference, and may be combined to satisfy program requirements (i.e. move one grade to an alternate site):
 - 1.2.1 Construct a new Mount Daniel Elementary School (which may include renovations to an existing facility) on an alternate site within the City of Falls Church. The alternate site may include a non-school use compatible with the school facility. The existing Mount Daniel Elementary School site will be transferred to the Private Entity.
 - 1.2.2 Construct a new Mount Daniel Elementary School (which may include renovations to an existing facility) on an alternate site within one mile of the City of Falls Church city limits. The alternate site may include a non-school use compatible with the school facility. The existing Mount Daniel Elementary School site will be transferred to the Private Entity.
 - 1.2.3 Demolish a significant portion of the existing Mount Daniel Elementary School and construct a new addition. Include relocation of students disrupted by construction work, code required ADA improvements, and other improvements to the existing facility based on the addition scope.
 - 1.2.4 Construct a new addition for the existing Mount Daniel Elementary School. Include code required ADA improvements and other improvements to the existing facility based on the addition scope.

ATTACHMENT E – ADA COMPLIANCE

ADA COMPLIANCE

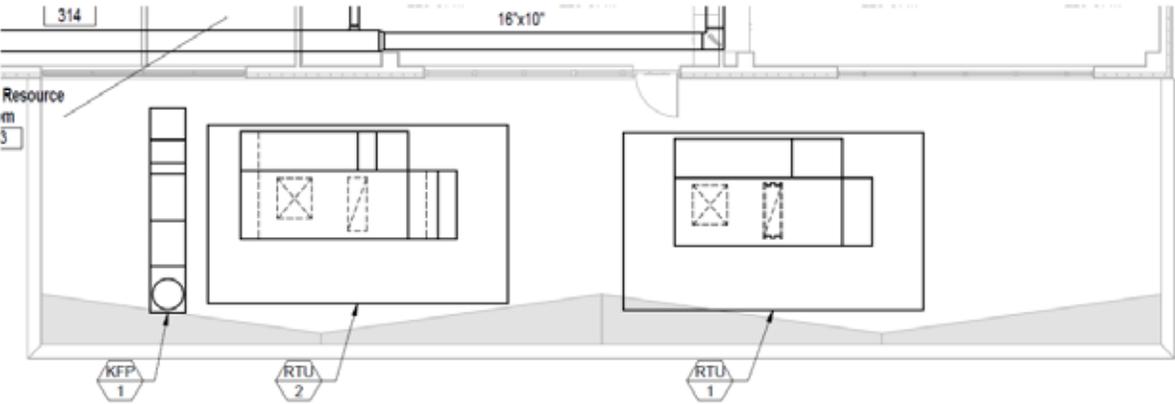
Mount Daniel provides a very inefficient building design. The entire East end (right from main entrance) of the building has a long ramping corridor which follows the grade of the land.



The ramp poses a danger to children in wheelchairs, and also to young children in strollers who are visiting the school. Falls Church City Public Schools contracted with Lukmire Architects for school modeling to see what could be done to correct this major ADA fault. It was determined that the only way to correct the situation was a full demolition of that portion of the building. There was not enough length to provide the required slope and landings to make the ramp compliant and doors along the ramp (with step-ups into the room) further complicate the situation. The ramp is just one of a number of ADA issues existing at the school.

ATTACHMENT F – HVAC NOISE

The Gymnasium Roof HVAC Equipment is in close proximity to the windows of Second Grade Classrooms that overlook the Gym Roof. The HVAC noise has been evaluated by the design team due to this proximity. Noise considerations and assessment was done to determine that there would be no disruption to the classroom environment. Hence, the homes in the area are a much greater distance from the Roof Top Units than the classrooms which have been assessed for noise.



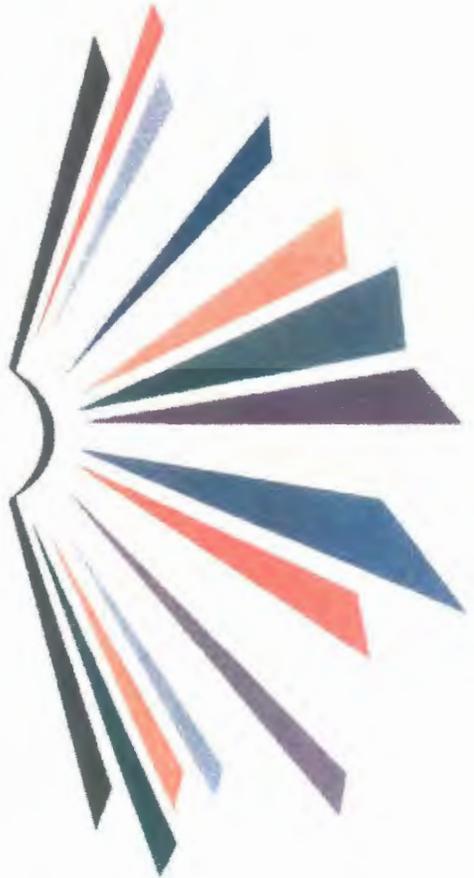
The Gym Roof Top equipment is screened by the gym parapet wall.

ATTACHMENT G – CIP BUDGET

The following documents are the Falls Church City Public Schools FY 2016 CIP and the City of Falls Church Long Range Master Facility Plan dated February 2014.

FALLS CHURCH
CITY PUBLIC
SCHOOLS

FY 16 CIP



Toni Jones, Superintendent

FCCPS 'Design-Build-Occupy' PROCESS
Policy: 4.30.1 Facilities Planning Sequence

SB Approves Scope of Work and Approves ASAC Committee as recommended by Staff

***Reviews and approves Architect/Engineer from Selection Process if current
PPEA is not Utilized**

Staff Review and Approve Program Requirements

Architect and Engineers Develop Schematic Design and City Required Assessments

ASAC Reviews and Makes Recommendations on Schematic Design

Schematic Design Presented to the SB for Briefing

ASAC Holds Larger Meetings for Community and Staff Input and Feedback (PTA, Staff Meetings, SB Work Session)

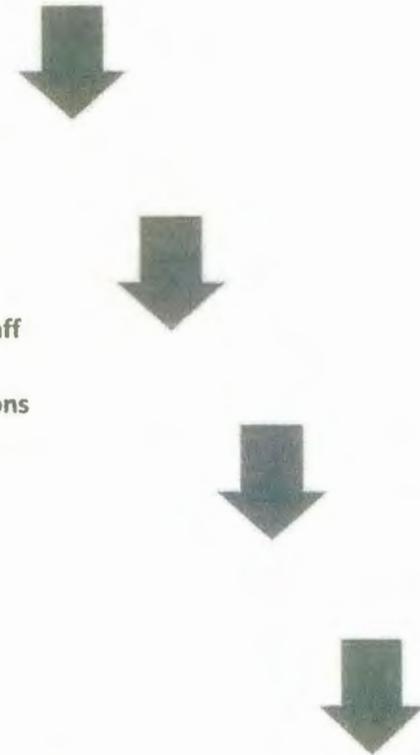
Review of 65% Drawings ...makes adjustments, then 95% Drawings and specifications

School Board approves final drawings and specifications

**Final Drawings Submitted- ASAC Provides periodic input and updates
to staff, PTA, and Broader Community (To Include Web updates)**

Construction Begins (On-going dialogue with ASAC, Administration, and SB)

Debriefing 90 Days after Occupancy



YEARLY TOTALS	FY14	FY15	FY16	FY17	FY 18	FY 19
Project Title And Cost	Thackrey Street Property Renovation- Construction	George Mason YR 1 Steering Committee Initial Planning Funds	George Mason YR 2 Steering Committee Initial Planning Funds	George Mason Construction Funding		
	\$2,400,000 Addendum #1	\$250,000	\$250,000	School Construction \$99,500,000		
	----- Mount Daniel Initial Project Funds Year 1 \$1,000,000	----- Mount Daniel \$14,600,000 Addendum #2	----- Football/Soccer/Track Turf Replacement \$450,000 \$222,00 *Total Cost \$672,000 Addendum #3	MEH Wing \$5,000,000 Addendum #6		
			----- Systems Renewal To Include TJ HVAC \$2,000,000 Addendum #4	----- Systems Replacement, Renewal and Modernization *TBD \$400,000		
			----- 2 Buses for Aging Fleet \$200,000 Addendum #5	#Addendum #7		

<p>Project Conformity with Comprehensive Plan</p> <p>All Projects</p>	<p>Schools</p> <p>Environmental Goal 1: The Falls Church City Public Schools will be safe, healthy and comfortable environments for students, staff and the community.</p> <p>Community</p> <p>Community Facilities 1-D: Ensure that the CIP and the operating budget provide sufficient funds to support an appropriate level of maintenance for City facilities and service.</p> <p>Community Facilities 3-A: Ensure that all public buildings and facilities are in compliance with the American with Disabilities Act (ADA)</p> <p>Community Facilities 4-A: Determine whether existing public facilities require renovation, expansion or elimination.</p> <p>Community Facilities 5-A: Continue to review population projections for schools to prepare for future demand levels.</p> <p>Community Facilities 5-B: Maintain the current educational infrastructure.</p>
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CIP FY 16

10-Year Master Plan

Falls Church City Public Schools Master Planning Schedule

Phase	Project	2009-2011	2011-2012	2012-2013	2013-2014	2014-2015	2015-2016	2016-2017	2017-2018	2018-2019	2019-2020
Phase 1	Thomas Jefferson	Two Year Master Planning Process	Design	Build	Occupy						
	Thackrey Pre-School		Site Evaluation	Design	Build	Occupy					
	Mount Daniel				RFP Issued	Design	Build	Occupy Oct. 2016			
Phase 2	George Mason			Steering Committee Formulated	SC Projects: Site Test Fits and Visioning	RFP	Design	Build	Build	Occupy	
Phase 3	Mary Ellen Henderson					RFP	Design	Build	Build	Occupy	

Phase 1: Reconfiguration of Elementary and Preschool Site Development

Phase 2: George Mason High School Planning and Construction

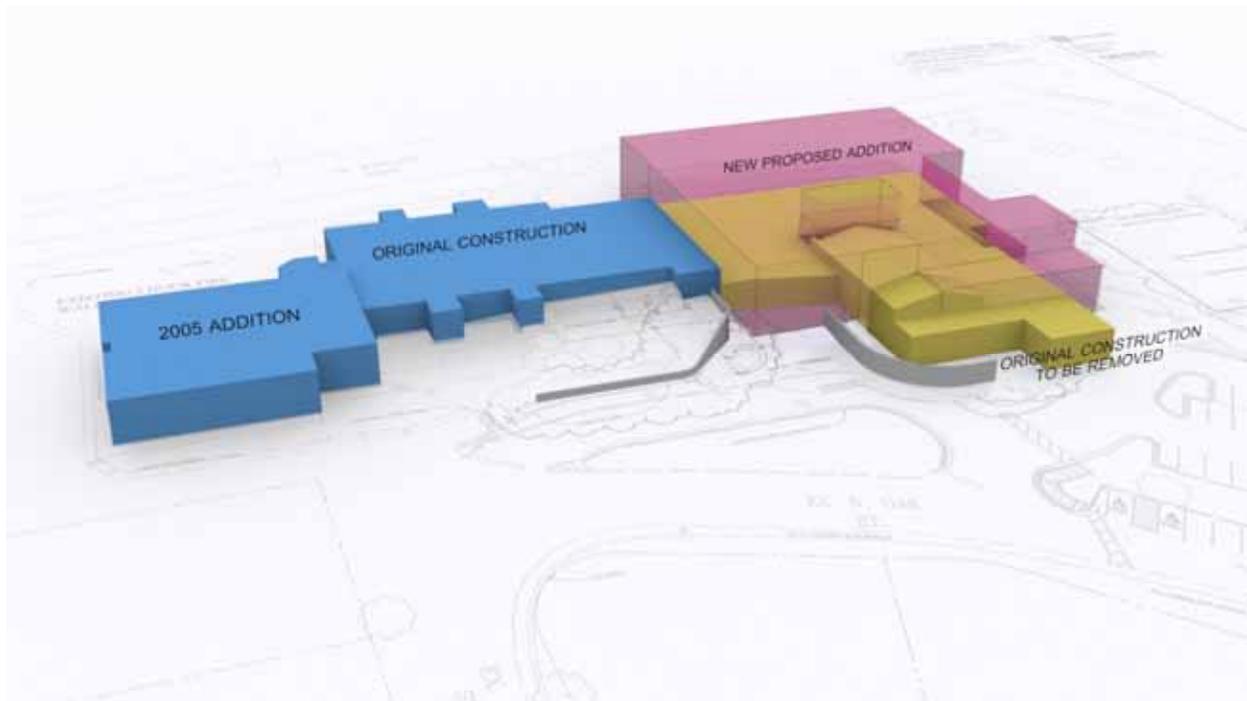
Phase 3: Mary Ellen Henderson Expansion for Growth

City of Falls Church Long Range Master Facility Plan (February 2014)

	Adopted Prior \$	Adopted CIP	Adopted CIP	School Board/ MRSPL Board of Trustees Adopted and General Govt. Department Proposed					Projections	Projections	Projections	Totals
	FY12	FY13	FY14	FY15	FY16	FY17	FY18	FY19	FY20-24	FY25-29	FY30-34	
Enterprise Projects												
FCCPS												
School Replacement/Modernization	\$100K	\$485K					\$400K					\$1.418M
Thomas Jefferson ES	\$5.95M	\$4M			\$2M				Reserve: \$TBD-FY17	Reserve: \$TBD-FY17	Reserve: \$TBD-FY17	\$11.95M
Cherry St. Pre-school			\$2.4M					\$2.4M				
Mt. Daniel ES			\$1M	\$8M	\$6.6M			\$15.6M				
George Mason HS					\$99.5M			\$99.5M				
Mary Ellen Henderson ES						\$5M		\$5M				
General Government												
Facility Systems Reinvestment (HVAC/Roof/Elevator)	\$100K	\$220K	\$305K	\$502K	\$350K	\$350K	\$350K	\$350K	Reserve: \$1.7M (340K/yr.) (start funding in FY16 annually) Policy: 2.5% Replacement 3.75% Repair/Maintenance Facilities: 1-Systems Reinvestment 2-Property Yard 3-Farmhse/Barn 4-Aurora House	Reserve: \$1.7M (340K/yr.) Policy: 2.5% Replacement 3.75% Repair/Maintenance Facilities: 1-Systems Reinvest. 2-Library 3- Comm Ctr	Reserve: \$1.7M (340K/yr.) Policy: 2.5% Replacement 3.75% Repair/Maintenance Facilities: 1-Systems Reinvest. 2-Gage House 3-Fire Station (City Hall repeats next 5-year cycle)	\$2.527M
City Hall/ Public Safety Critical Renovations	\$1M	\$796K	\$2.604M									\$4.4M
City Hall/Public Safety Front Expansion	\$300K	\$1.3M										\$1.6M
City Hall Campus Parking		\$1.2M										\$1.2M
City Hall/ Public Safety Rear Expansion		\$675K	\$3.825M									\$4.5M
MRSP Library Expansion		\$100K			\$1.5M	\$1M	\$11.69M	\$4.5M				\$18.79M
Fire Station 6 System Renovations (HVAC/Doors/Windows)			\$538K	\$250K								\$788K
Cherry Hill Farmhouse/ Barn Renovations & Accessibility												
Community Center Renovations/ Expansion												
Property Yard Accessibility & Renovations												
Aurora House Renovations & Accessibility												
Library Renovations												
TOTALS (in FY14 dollars)	\$7.450M	\$9.210M	\$10.672M	\$8.752M	\$110M	\$6.35M	\$12.44M	\$4.85M	\$1.7M	\$1.7M	\$1.7M	\$175M

ATTACHMENT H – BUILDING MASSING

The image below and attached illustrates the difference between the mass of the existing building and the proposed addition. To keep the impact on the site low, the footprint of the new addition was kept in close proximity to the portion of the existing building that is to be removed. To reduce the impact of the increased height on the one side of the building facing residential homes, the front façade of the addition was pulled back by 24'-6" and steps up incrementally with the use of a screen wall and a gymnasium roof that is lower than the rest of the building. The walls of the addition are further broken up by a change in building material as well as brick patterns. The change in material and pattern divides the façade into multiple layers instead of one monolithic mass. To decrease the building height, the entire new addition sits 4' lower at ground floor elevation than the existing building, to further nestle the building into the existing site.



The footprint of the building to be demolished is 22,498 square feet while the new addition lower level is 25,843 square feet. Therefore, the net increase in building footprint is 3,345 square feet.



EXTENT

The team has worked diligently to provide information as requested which may be helpful to understand the proposed school expansion is similar in extent as many school sites located in close proximity in Fairfax County. Staying in line with the Fairfax Comprehensive Plan (which was acknowledge in 2012 planning for Falls Church City Public Schools)

- The 19 homeowners who reside on Oak Street – and in the surrounding neighborhood zoned for Fairfax schools- send their children to Haycock Elementary. This particular elementary is within our same zone of proximity, and it currently has 879 students on a 10 acre parcel. This is current enrollment for 2014-2015. (87.9 students per acre)
- Spring Hill Elementary is located in the Dranesville District (McLean) and it currently has 955 students located on a 10 acre parcel. (99.5 students per acre)
- Glen Forest Elementary has 1,042 students and it is located on a 10.2 acre parcel in the greater Fairfax region of Falls Church. (102 students per acre)
- Dranesville Elementary sits on a 5 acre parcel and currently enrolls 770 students. (154 students per acre)
- One of the larger elementary schools is Greenbriar West Elementary which sits on 10 acres and enrolls 1,138 students in the Chantilly area. (113 students per acre)
- Proposed Mount Daniel Expansion- Total of 8.733 acres and would enroll 534 students in 2016-2017 (61 students per acre)

*Actual planned enrollment in 15 years would be 665 students (76 students per acre)

*Actual planned enrollment for 20 years would be 690 students (79 students per acre)

There are 52 Fairfax elementary schools which range from a current enrollment of 752 to 1,234 students as of today. The above listed elementary schools are in the same regional area as the proposed Mount Daniel school.

As an objective of the Comprehensive Plan, Mount Daniel is located on the periphery of a residential area in that Mount Daniel School is primarily visible to 4 homes. The school sits in a cul-de-sac and is out of view for the variety of homeowners on Oak street. The back of the school is minimally visible to a few homes due to the wooded nature of the site.

EXISTING SCHOOL BUILDING

At the end of the school proposed to be demolished for the new addition, the school is already a two story building.



The lower level will continue to be cut into the bank as shown to help mask the look of the buildings overall height.



At the front of the building, the cafeteria/gym is nearly a two story space. With the addition ground floor installed 4' lower than the existing gym, the addition overall height will be approximately 16' higher than the current building height.



ATTACHMENT I – CONSTRUCTION DOCUMENTS

The following 95% Construction Documents has been included in pdf form:

01 – C1 – Civil Cover Sheet	Provides site calculation and FAR
02 – C6 – Site Plan	Site Plan showing parking and Stormwater Management
03 – C8 – Building Height Computations	
04 – C27 – Stormwater Details	
05 – C28 – Existing Vegetation MAP	Shows wooded area providing screening
06 – C29 – Tree Preservation Plan	
07 – C33 – Landscape Plan	
08 – C34 – Landscape Details & Tabulations	
09 – A0.1 – Cover Sheet	Code sheet with final square foot calculations
10 – A1.1 – Existing Building Floor Plan	Shows extent of demolition with addition outline
11 – A2.1 – Overall Floor Plans	Shows addition in relation to existing building
12 – A2.2 – Lower Level Floor Plan	
13 – A2.3 – Main Level Building to Remain	
14 – A2.4 – Main Level Floor Plan	
15 – A2.5 – Upper Level Floor Plan	
16 – A2.6 – Roof Plan	
17 – A3.1 – Existing Building Elevations	Provides Building Heights
18 – A3.2 – Addition Elevations	Provides Building Heights

ATTACHMENT J – ASAC PRESENTATION

The following PowerPoint was presented at the last public ASAC meeting held June 3, 2015. Public ASAC meetings are held throughout the design process and include teachers, parents, and Falls Church & Fairfax community members.



FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

SITE PLAN





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

CONSTRUCTION PLAN





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

LOWER LEVEL - ENTRY

- Administration
- Building Support
- Circulation
- Daycare
- Food Service
- Instructional Support & Counselor
- Media Center
- Physical Education
- Special Education
- Visual & Performing Arts



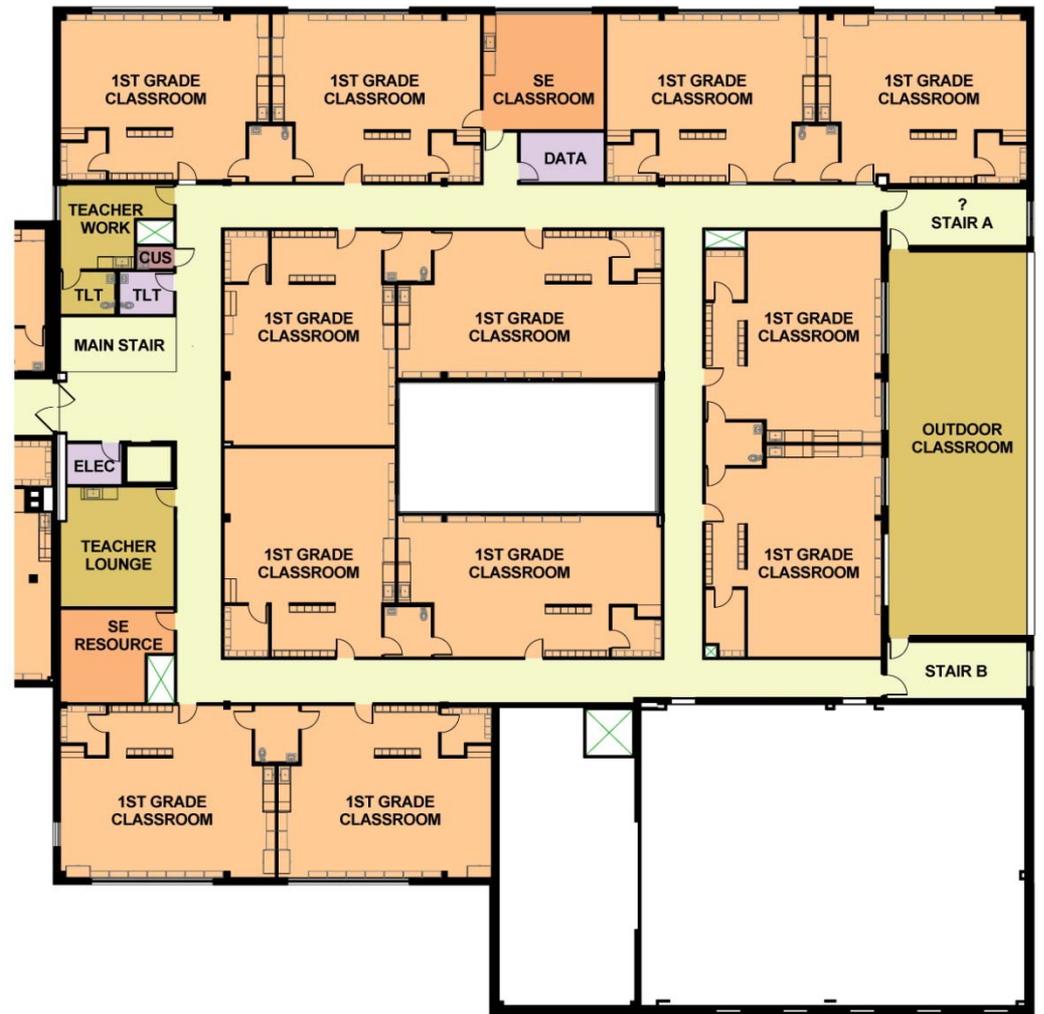


FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

MAIN LEVEL - EAST

- Building Support
- Circulation
- Core Classrooms
- Instructional Support & Counselor
- Special Education
- Storage and Custodial



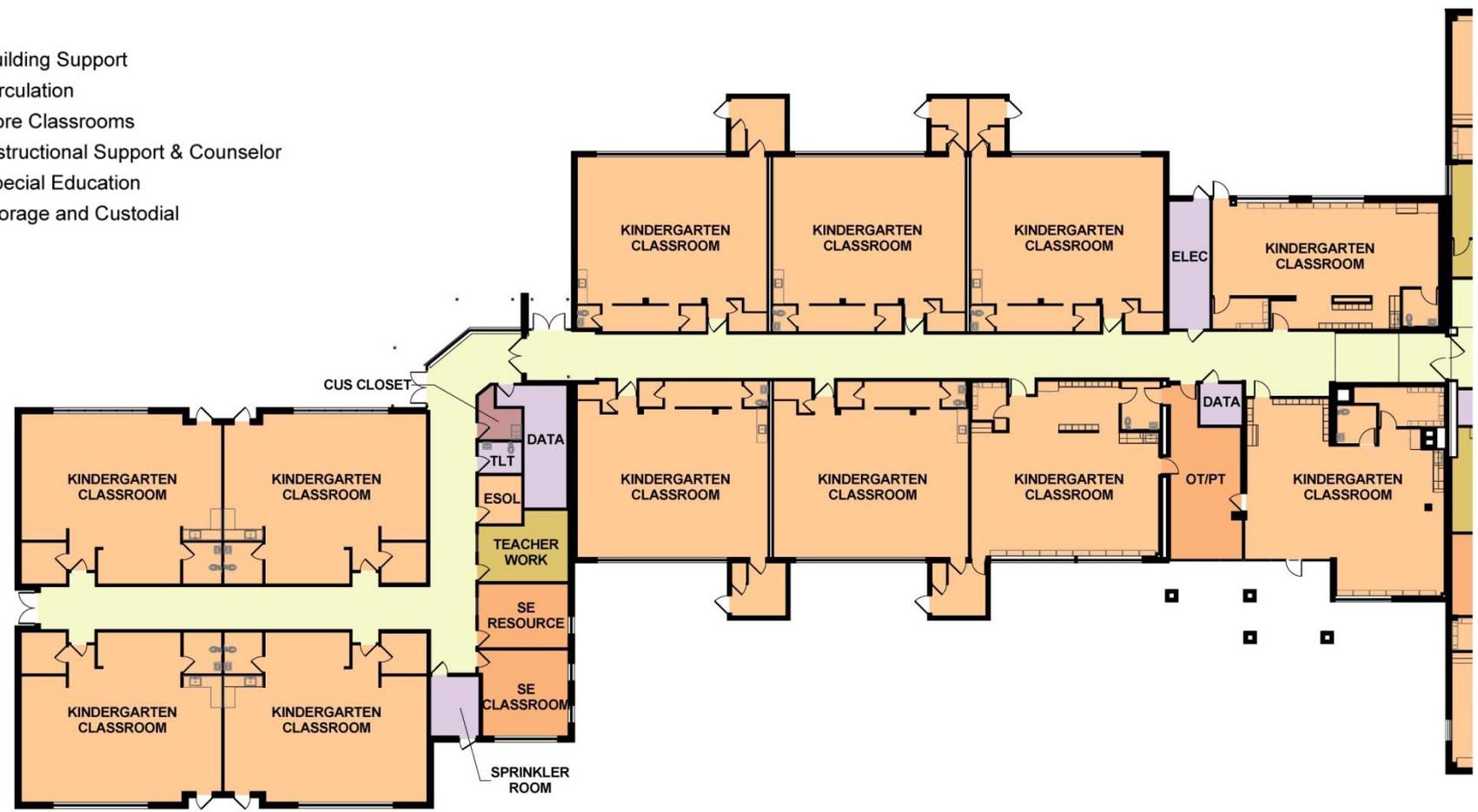


FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

MAIN LEVEL - WEST

- Building Support
- Circulation
- Core Classrooms
- Instructional Support & Counselor
- Special Education
- Storage and Custodial





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

UPPER LEVEL

- Building Support
- Circulation
- Core Classrooms
- Instructional Support & Counselor
- Special Education
- Storage and Custodial

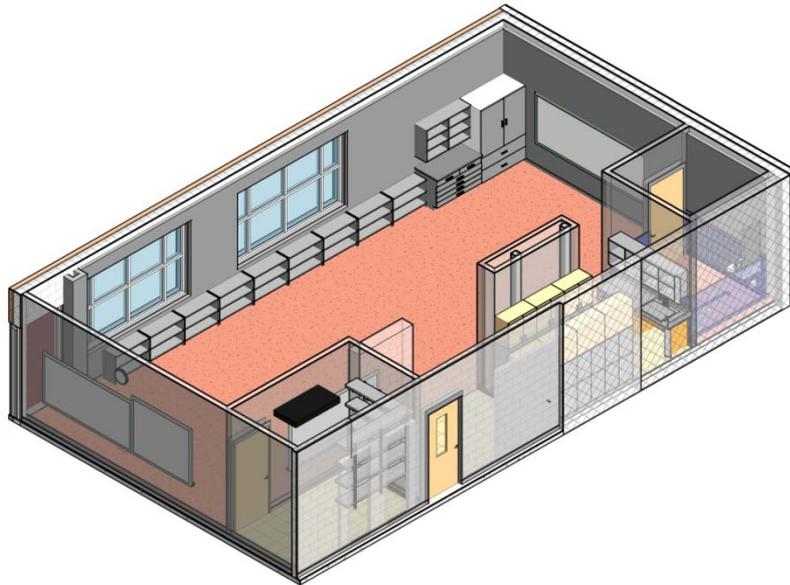




FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

NEW KINDERGARTEN CLASSROOM 1





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

NEW KINDERGARTEN CLASSROOM 2





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

TYPICAL 1ST GRADE CLASSROOM





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

TYPICAL 2ND GRADE CLASSROOM





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

OPTION 1 SOUTHWEST VIEW





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

OPTION 1 SOUTHEAST VIEW





FALLS CHURCH CITY PUBLIC SCHOOLS

MOUNT DANIEL SCHOOL ADDITION AND RENOVATION – ASAC PRESENTATION

OPTION 1 NORTHEAST VIEW



ATTACHMENT K – TEMPORARY TRAILERS

The following site plan show the location of the temporary classrooms trailers utilized during construction. The plan maintains separation between construction activities and the school facility. Construction traffic will be coordinated to avoid morning and afternoon school traffic.

The office trailer included with the classroom trailers will allow FCCPS to manage the “split” student body as facilitate parents checking out children when the main office is located in the school building. The assistant principal (Ms. Kelly) and her administrative assistant will be in the office trailer right next to the first grade trailers. Mrs. Halyko and her assistant will stay in the same main office area of the existing building.

There will be 2 security staff on site all through the construction. One security staff member will be in the usual spot at the main entrance, while the other security staff member is outside constantly monitoring the trailers and play areas. The two security staff will rotate every 45 minutes or so to keep them alert and on task.

Since the existing parking will be the location of the classroom trailers, there will be approximately 30 parking spaces remaining during construction. FCCPS is implementing a plan to shuttle teachers to Mount Daniel during construction to maintain adequate parking for visitors.

10521 Rosehaven Street,
 Suite 200
 Fairfax, VA 22030
 T | 703.691.3311
 F | 703.691.3316

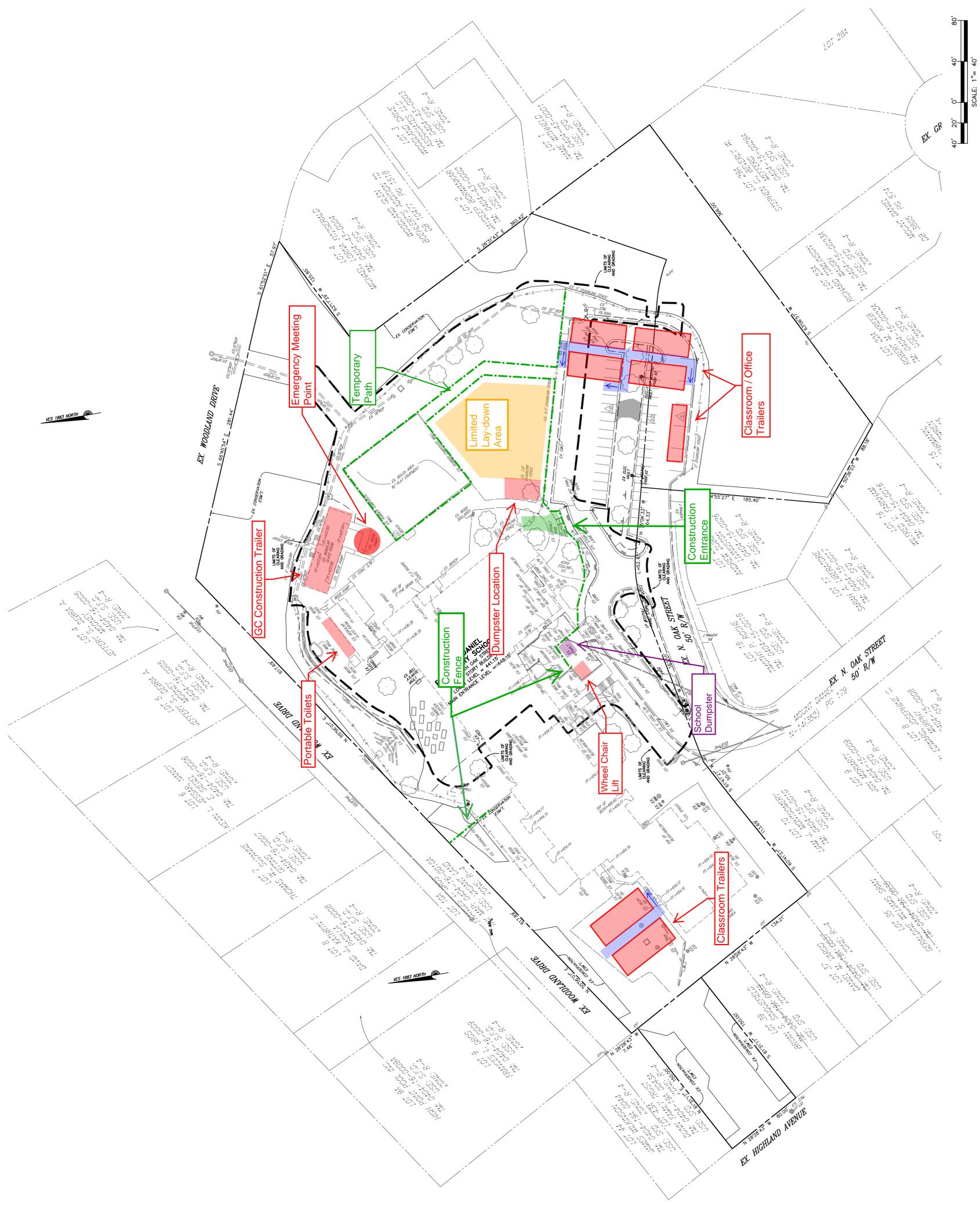
Mount Daniel Elementary School Addition & Renovation

2828 N Oak St., Falls Church, VA

Revision Log	Description	Date

Current Revision Number:
 Current Revision Date:
 Sheet Title:

OVERALL EXISTING CONDITIONS



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ATTACHMENT L – SIGNED RESOLUTION

The following document is the signed resolution from the Falls Church City Public School Board dated May 19, 2015.

RESOLUTION 02-15

May 19, 2015

Commitment to Maintain Traffic Calming Efforts In and Around the Mt. Daniel Elementary School

Whereas, the Falls Church School Board recognizes that the Mt. Daniel Elementary School has been an integral part of the neighborhood for more than 60 years; and

Whereas, the Falls Church School Board realizes that a school enriches a community but also brings with it a certain amount of traffic and other challenges that affect the residential neighbors; and

Whereas, the Falls Church School Board has worked in good faith with the Fairfax County and City of Falls Church neighbors on the expansion of the Mt. Daniel school for several years; and

Whereas, the Falls Church School Board wishes to maintain and enhance its productive and mutually beneficial relations with the community; and

Whereas, the Falls Church School Board understands that it cannot bind the actions of future School Boards; therefore be it

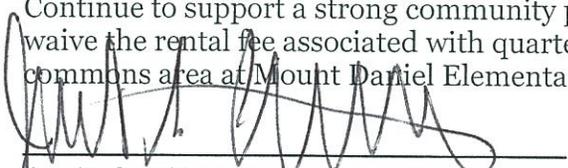
Resolved that the Falls Church City School Board makes the good faith commitments below -- in the hope and belief that future School Boards will adhere to them in the spirit of positive community relations and an overall "good neighbor" policy -- to,

Continue long-term efforts to reduce parking and traffic congestion in and around Mount Daniel Elementary School;

Close the City portion of N. Oak Street to local traffic only and shuttling staff and community to the school for large school events;

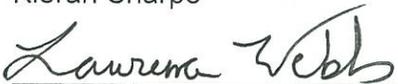
Be mindful of scheduling activities during the day which could result in parking difficulties, and work to spread those events across grades and or classrooms to reduce the number of cars at one time; and

Continue to support a strong community partnership with the neighborhood association and waive the rental fee associated with quarterly meetings held outside of school hours in the commons area at Mount Daniel Elementary.

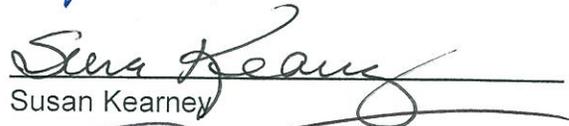

Justin Castillo, Chair

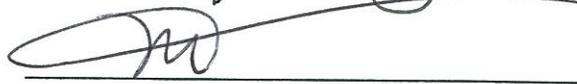

Michael Ankuma

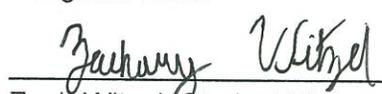

Kieran Sharpe


Lawrence Webb


John Lawrence, Vice Chair


Susan Kearney


Margaret Ward


Zach Witzel, Student Liaison

ATTACHMENT M – NORTH OAK STREET

During the Planning Commission Meeting, reference was made that North Oak Street was only 22' wide and did not meet the Fairfax County Standard of a minimum 25' wide for adequate access. There was also mention that emergency vehicles have trouble accessing the site. Actual measurements of North Oak Street, curb to curb, indicate a varying width from 26' wide to 30' wide. Emergency vehicles respond to Mount Daniel a number of times per year, along with a yearly visit by the Fire Department, and there has never been an occurrence that an emergency vehicle could not reach the school (See attached letter).

The following are excerpts taken from the Fairfax County Department of Transportation's assessment of North Oak Street.

"The school is at the end of North Oak Street, in a residential neighborhood. North Oak Street is approximately 25-30 feet wide with parking allowed on both sides of the roadway."

"The additional planned parking lot will increase the queuing capacity for drop off vehicles, which is already adequate. It is not anticipated that there will be any negative impacts on the neighborhood from the drop off queue."

"The current volumes at this intersection indicate that there is adequate spacing allowing vehicles access to and egress from North Oak Street. In 2045, considering regional growth rates, and the anticipated increase in trips generated by the school, the intersection will still continue to allow for vehicles to find gaps to turn both left and right on to North West Street from North Oak Street. In 2045, with the additional trips added by the school, the intersection will still operate with an adequate level of service."

The Day to Day operations of the Mount Daniel Elementary School have not been the cause of issues with the residents along North Oak Street. These issues occurred during special events held at the school when parking would overflow down North Oak Street. The Resolution signed by the Falls Church City Public School Board, as requested by the local residents, was intended to formalize the actions already taken to mitigate the parking issues during special events. It is worth noting that this is a typical situation for elementary schools. Elementary Schools are designed with parking for normal, everyday staff and visitors and not for special events. Normally, when special events are held the overflow parking extends out into the community. The planned expansion of the parking at Mount Daniel will only make the situation better for the surrounding community.

Reference was made that North Oak Street is Mount Daniel's sole vehicular ingress/egress, and the limited access was self-imposed. The photo below shows an emergency vehicle access route from Highland Ave that is primarily used for pedestrian access and a cut through to the Metro Station for residents. Previous proposals to provide vehicle access from Highland or Woodland were opposed by the community and dropped. FCCPS is still open to the idea, and would welcome the opportunity to provide a second means of vehicle access.



Reference was also made to the pedestrian nature of the school. FCCPS does not promote walking for Kindergarten and First Grade however, walking will be opened up for Second Grade students as expressed in project community meetings.



CITY OF
**FALLS
CHURCH**

**CITY OF FALLS CHURCH
FIRE MARSHAL**
300 PARK AVENUE
FALLS CHURCH, VA 22046
Phone: (703) 248-5058 Fax: (703) 248-5158
Email: FireMarshal@fallschurchva.gov



July 1, 2015

TO: Dr. Toni Jones, FCCPS Superintendent
FROM: Capt. Tom Polera, City Fire Official
SUBJECT: Emergency Access at Mount Daniel Elementary

In the city of Falls Church our emergency services agreement for fire response is through Arlington County Fire Department. It is common practice they will notify me regarding code compliance issues they discover including access related issues in the Falls Church.

This is to advise you that since my tenure, beginning January 2011, as the Fire Official for the City of Falls Church, I have never received a complaint regarding accessibility issues at Mount Daniel elementary school. Note, the Authority Having Jurisdiction at this location is Fairfax County.