

MATCHLINE - SEE SHIT C-5



DATE	DESCRIPTION
OCT 1, 2010	DESIGN
NOV 17, 2010	REVISED
NOV 23, 2010	REVISED
OCTOBER 22, 2012	REVISED

EXISTING CONDITIONS

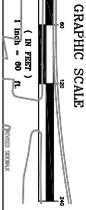
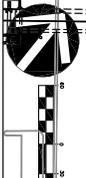
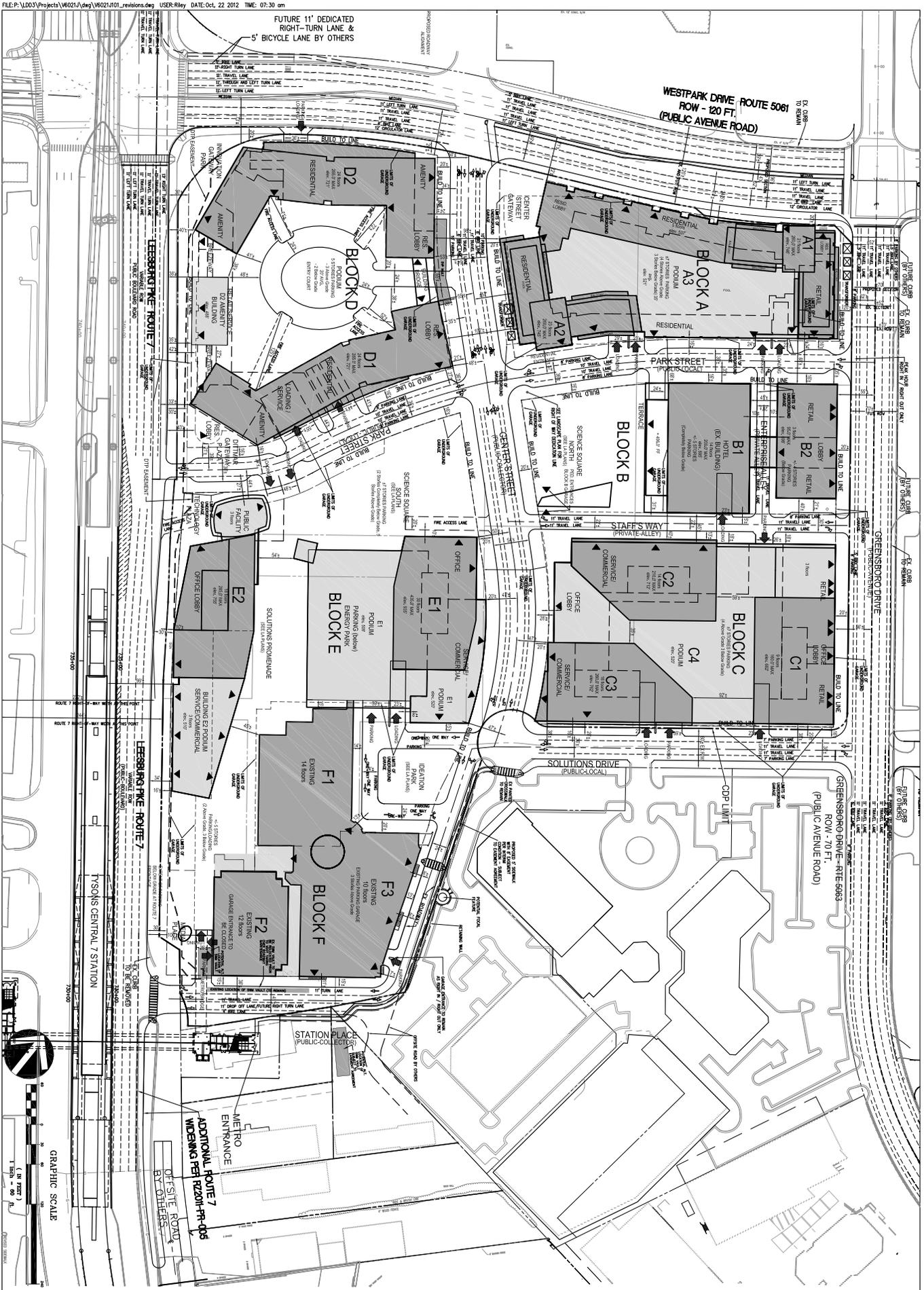
SOLUTIONS PLAZA
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

VIA
ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES

VIA INCORPORATED
8180 GREENSBORO DRIVE, SUITE 200, McLEAN, VIRGINIA 22102
(703)442-7800 ■ FAX (703)781-2787
McLEAN, VA ■ GERMANTOWN, MD

FUTURE 11' DEDICATED
RIGHT-TURN LANE &
5' BICYCLE LANE BY OTHERS

WESTPARK DRIVE, ROUTE 5061
ROW - 120 FT.
(PUBLIC AVENUE ROAD)



GRAPHIC SCALE
(IN FEET)
1" = 80'

DATE:	MAY 4, 2010
DKS:	DWM, CAD
SCALE:	1"=80'
PROJECT/FILE NO.:	W6021
SHEET NO.:	C-7
VIA REVISIONS:	NOV. 17, 2010
	JUNE 30, 2011
	SEP. 15, 2012
	OCT. 22, 2012

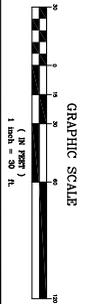
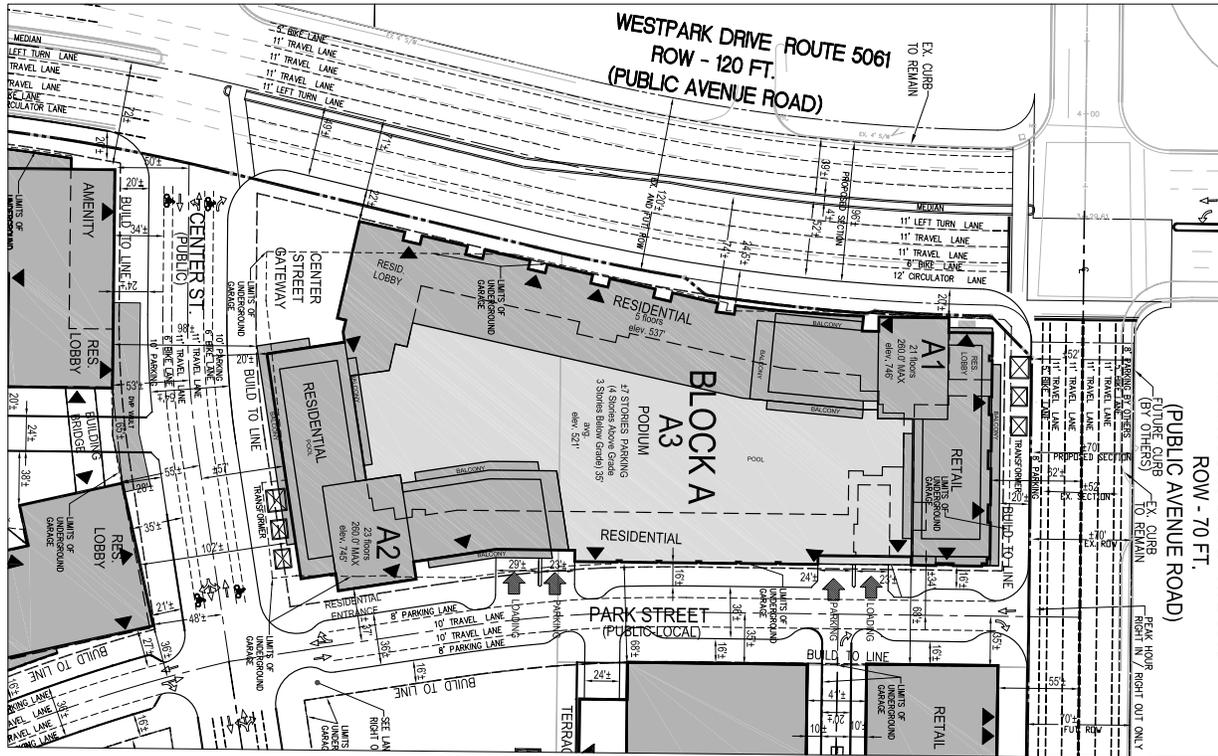
OVERALL CONCEPTUAL
DEVELOPMENT PLAN

SOLUTIONS PLAZA
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA



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8180 GREENSBORO DRIVE, SUITE 300 ■ MILEAN, VIRGINIA 22102
(703)442-7800 ■ FAX (703)761-2767
MILEAN, VA ■ GERMANTOWN, MD



NOTE: SEE
 LANDSCAPE PLAN
 FOR R-O-W
 DEDICATION LIMITS

CDP
 BLOCK A

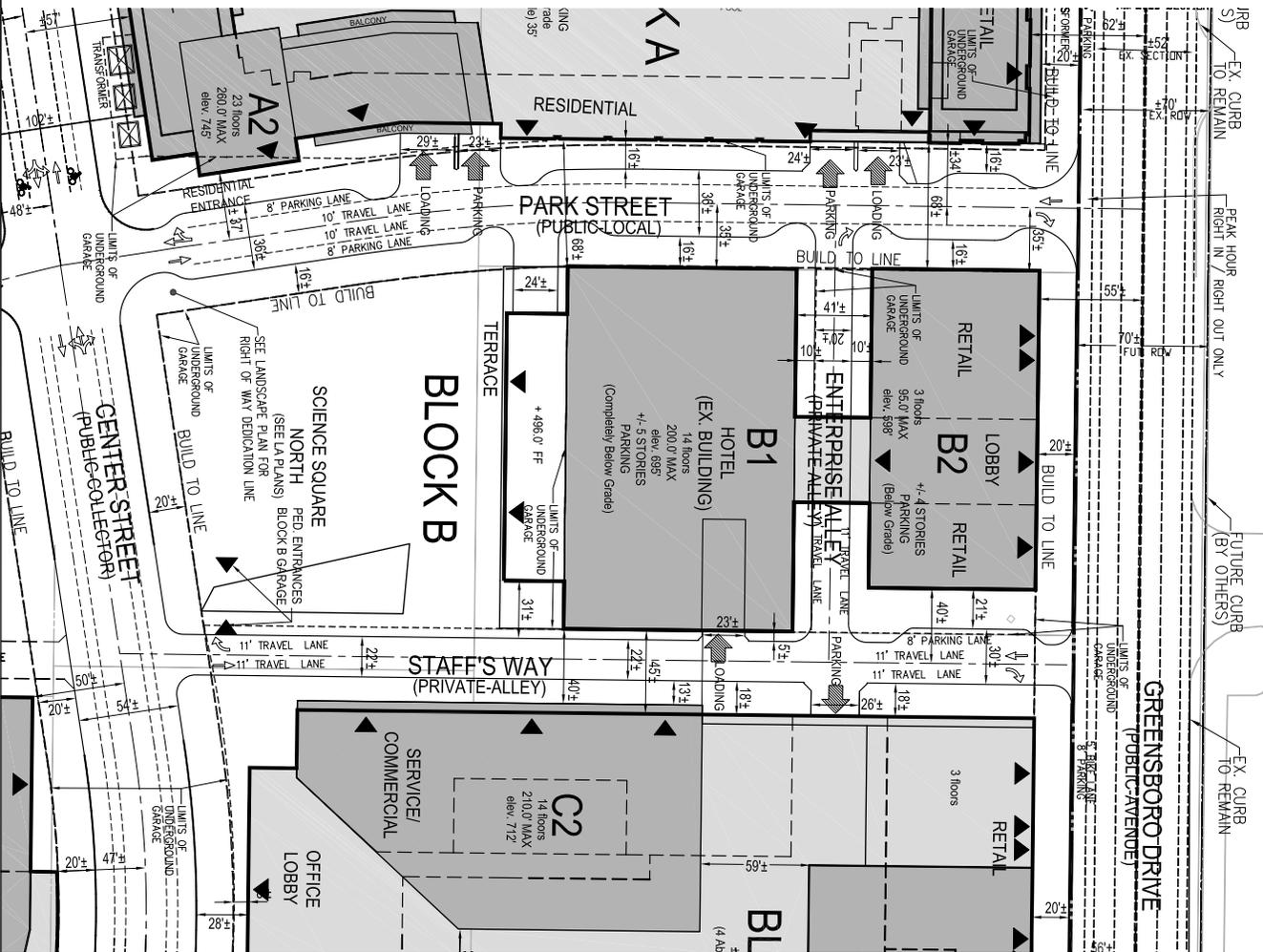
SOLUTIONS PLAZA
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

VIA REVISIONS	
NOV 17, 2010	
JUNE 30, 2011	
OCT 18, 2012	
OCT 29, 2012	

DATE: MAY 4, 2010
 DES: RNC
 SCALE: 1"=30'
 PROJECT/PLN NO.: V6021.0
 SHEET NO. 7A

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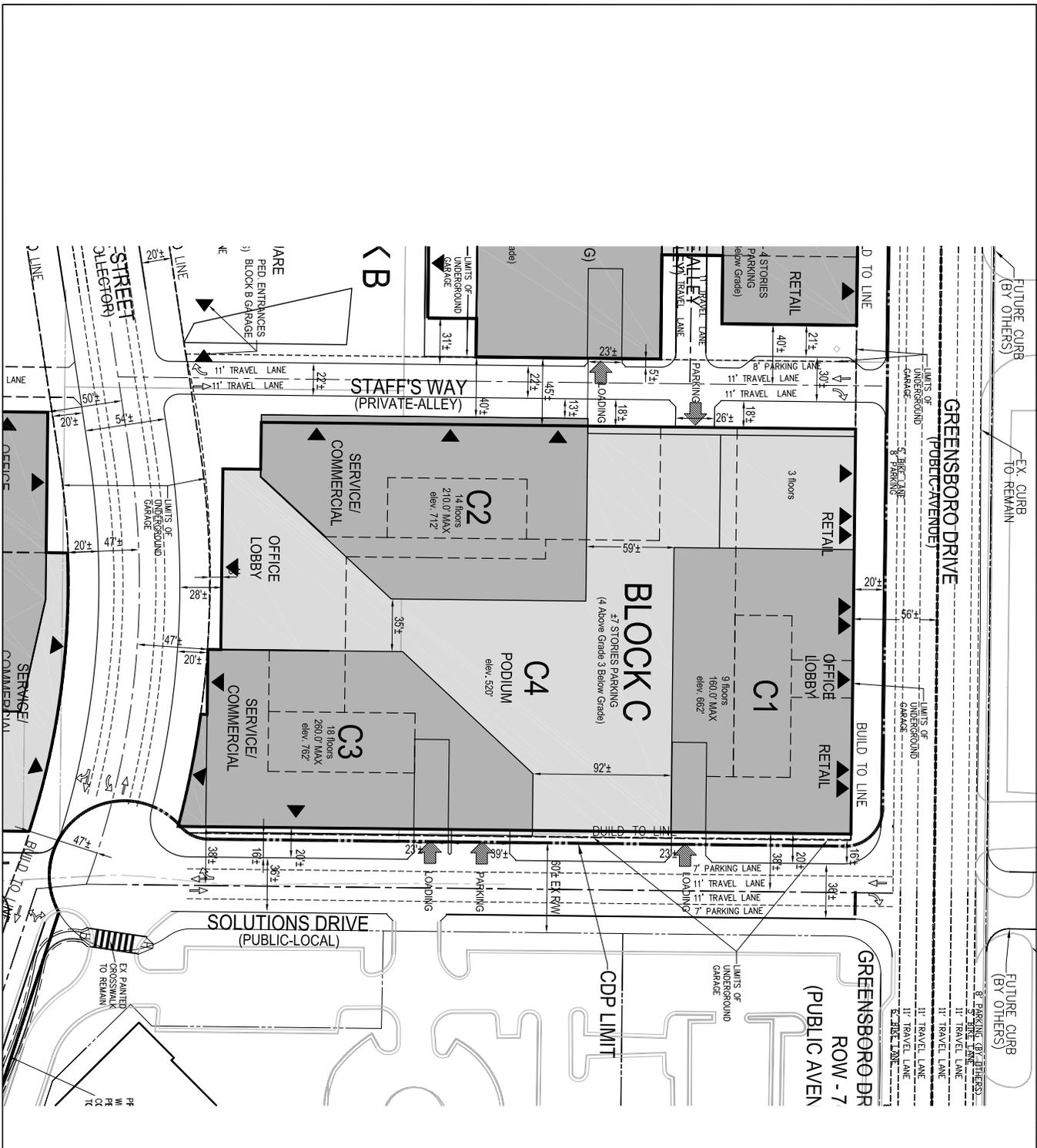
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 (703)442-7800 ■ FAX (703)761-2787
 MCEAN, VA GERMANTOWN, MD



NOTE: SEE
LANDSCAPE PLAN
FOR R-O-W
DEDICATION LIMITS



<p>VIFA ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES</p>		<p>VIFA INCORPORATED 8180 GREENSBORO DRIVE, SUITE 200 ■ McLEAN, VIRGINIA 22102 (703)442-7800 ■ FAX (703)761-2787 McLEAN, VA ■ GERMANTOWN, MD</p>																
<p>SOLUTIONS PLAZA PROVIDENCE DISTRICT FAIRFAX COUNTY, VIRGINIA</p>		<p>CDP BLOCK B</p>																
<p>VIFA REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>NOV 17, 2010</td> <td>ISSUE FOR PERMITS</td> </tr> <tr> <td>2</td> <td>JUNE 30, 2011</td> <td>REVISED FOR PERMITS</td> </tr> <tr> <td>3</td> <td>OCT 16, 2012</td> <td>REVISED FOR PERMITS</td> </tr> <tr> <td>4</td> <td>SEP 24, 2013</td> <td>REVISED FOR PERMITS</td> </tr> </table>				NO.	DATE	DESCRIPTION	1	NOV 17, 2010	ISSUE FOR PERMITS	2	JUNE 30, 2011	REVISED FOR PERMITS	3	OCT 16, 2012	REVISED FOR PERMITS	4	SEP 24, 2013	REVISED FOR PERMITS
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2	JUNE 30, 2011	REVISED FOR PERMITS																
3	OCT 16, 2012	REVISED FOR PERMITS																
4	SEP 24, 2013	REVISED FOR PERMITS																
<p>DATE: MAY 4, 2010 DES: RNC CHK: DMN, BR SCALE: 1"=30' PROJECT FILE NO: 020213 SHEET NO: 7B</p>																		



NOTE: SEE
LANDSCAPE PLAN
FOR R-O-W
DEDICATION LIMITS

CDP
BLOCK C

SOLUTIONS PLAZA
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

VIVA
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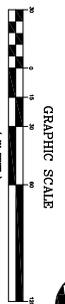
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8180 GREENSBORO DRIVE SUITE 200 ■ McLEAN, VIRGINIA 22102
(703)442-7800 ■ FAX (703)791-2787
McLEAN, VA ■ GERMANTOWN, MD

DATE:	JANV. 4, 2010
DESIGNER:	DMW/SR
SCALE:	1"=30'
PROJECT FILE NO.:	W02010
SHEET NO.:	7C
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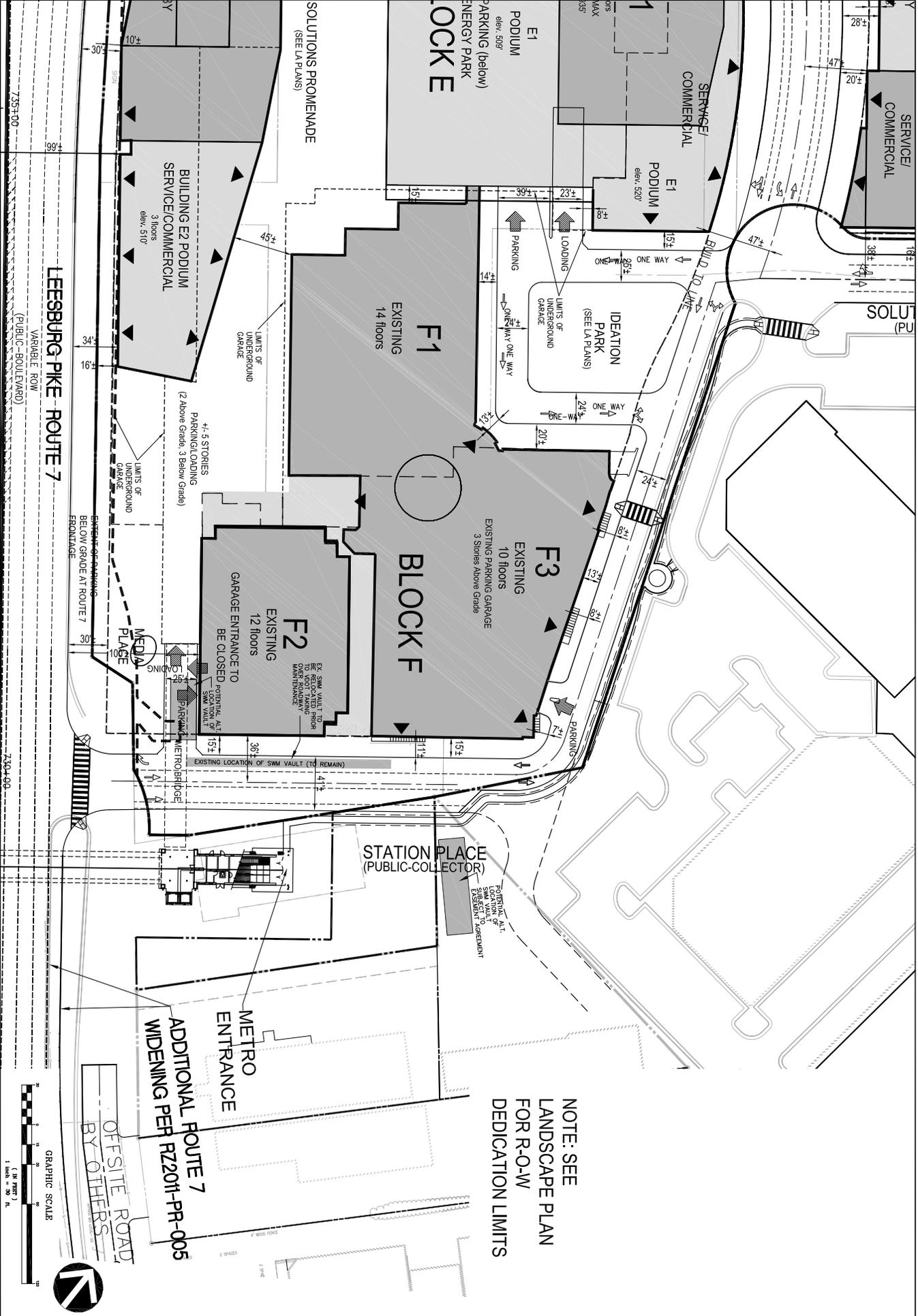


PROPOSED 5' SIDE
EX PAINTED
CROSSWALK
TO REMAIN

NOTE: SEE
LANDSCAPE PLAN
FOR R.O-W
DEDICATION LIMITS



<p>VIA REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td>NOV. 11, 2011</td><td></td></tr> <tr><td>2</td><td>NOV. 20, 2011</td><td></td></tr> <tr><td>3</td><td>JAN. 26, 2012</td><td></td></tr> <tr><td>4</td><td>FEB. 22, 2012</td><td></td></tr> <tr><td>5</td><td>MAR. 22, 2012</td><td></td></tr> </table>		NO.	DATE	DESCRIPTION	1	NOV. 11, 2011		2	NOV. 20, 2011		3	JAN. 26, 2012		4	FEB. 22, 2012		5	MAR. 22, 2012		<p>CDP BLOCK E</p>	<p>SOLUTIONS PLAZA PROVIDENCE DISTRICT FAIRFAX COUNTY, VIRGINIA</p>	<p>VIVA ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES</p> <p>VIVA INCORPORATED 8180 GREENDSBORO DRIVE ■ SUITE 200 ■ MCLEAN, VIRGINIA 22102 (703)442-7800 ■ FAX (703)761-2787 MCLEAN, VA GERMANTOWN, MD</p>
NO.	DATE	DESCRIPTION																				
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5	MAR. 22, 2012																					
<p>DATE: MAY 4, 2010 DES: [blank] CHK: [blank] SCALE: 1"=30'</p>		<p>PROJECT/FILE NO. (06021) SHEET NO. 7E</p>																				



LEESBURG PIKE - ROUTE 7
 VARIABLE ROW
 (PUBLIC-BOULEVARD)

SOLUTIONS PROMENADE
 (SEE LA PLANS)

PODIUM E1
 elev. 509'
 PARKING (below)
 ENERGY PARK
 LOCKER

SERVICE/COMMERCIAL
 PODIUM E1
 elev. 520'

SERVICE/COMMERCIAL

SOLUTIONS (PUBLIC)

F1
 EXISTING
 14 floors

F3
 EXISTING
 10 floors
 EXISTING PARKING GARAGE
 3 Stories Above Grade

BLOCK F

F2
 EXISTING
 12 floors
 GARAGE ENTRANCE TO
 BE CLOSED
 POTENTIAL AT SWM VAULT

BUILDING E2 PODIUM
 SERVICE/COMMERCIAL
 3 floors
 elev. 510'

+4.5 STORIES
 PARKING/LOADING
 (2 Above Grade, 3 Below Grade)

MEDIA PLAZA

STATION PLACE
 (PUBLIC-COLLECTOR)

ADDITIONAL ROUTE 7
 WIDENING PER RZ2011-PR-005

METRO
 ENTRANCE

NOTE: SEE
 LANDSCAPE PLAN
 FOR R-O-W
 DEDICATION LIMITS

OFF-SITE ROAD
 BY OTHERS

GRAPHIC SCALE
 1" = 30' FT



CDP
 BLOCK F

SOLUTIONS PLAZA
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

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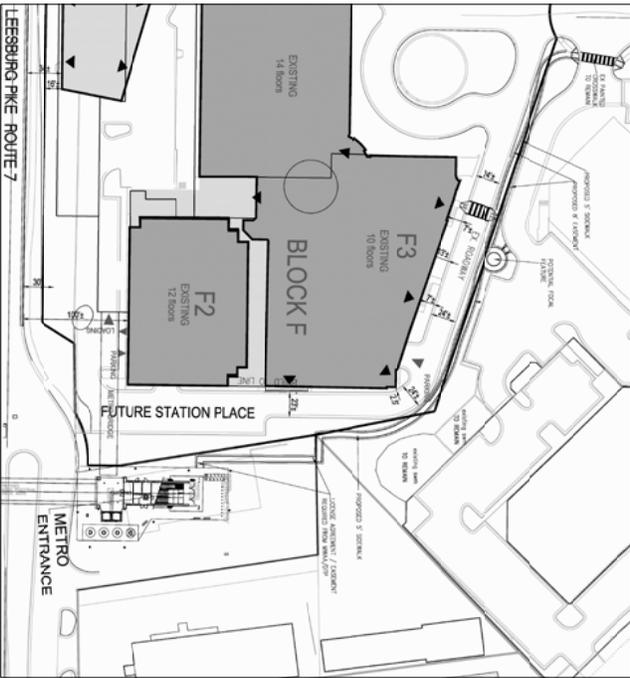
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NO. 92	2012
NO. 93	2012
NO. 94	2012
NO. 95	2012
NO. 96	2012
NO. 97	2012
NO. 98	2012
NO. 99	2012
NO. 100	2012



INTERIM STATION PLACE ROAD CONFIGURATION - SAC ONLY ROAD



INTERIM STATION PLACE ROAD CONFIGURATION SAC & NVC ROADS



LEESBURG PIKE ROUTE 7
STATION PLACE PEDESTRIAN CONNECTION ONLY



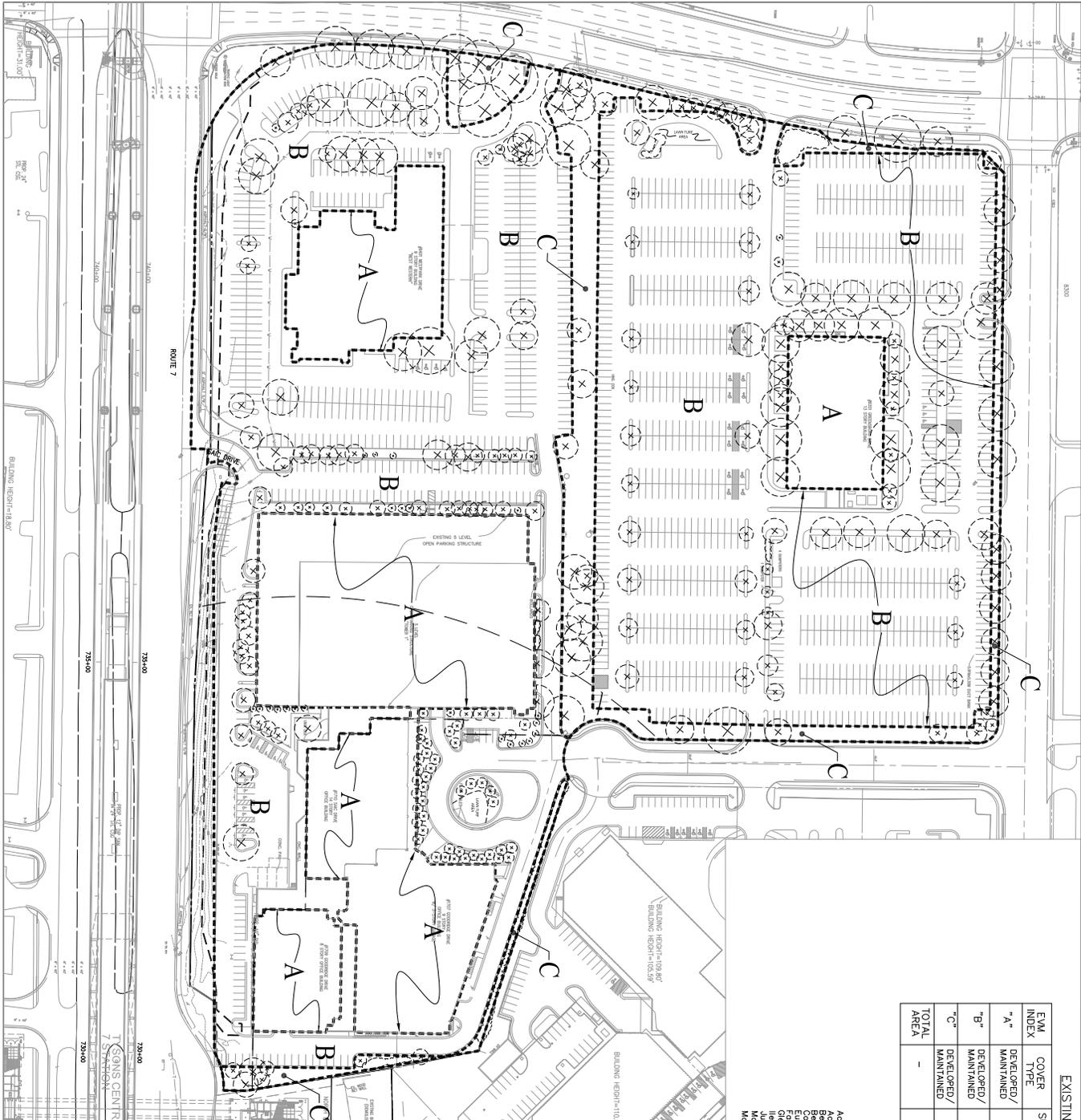
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VKA INCORPORATED
8180 GREENSBORO DRIVE SUITE 200 ■ MCGEAN, VIRGINIA 22102
703.344-7800 ■ FAX 703.376-5787
MCGEAN, VA GERMANTOWN, MD

SOLUTIONS PLAZA
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

INTERIM STATION PLACE PLANS

VKA REVISIONS	
NOV 17, 2010	
JUNE 28, 2010	
MAY 13, 2010	
OCT 24, 2012	

DATE	MAY 4, 2010
DES.	DMN
CHK.	DMN
SCALE	1"=30'
PROJECT/REF. NO.	W6201U
SHEET NO.	7G



EXISTING VEGETATION TABLE - SAIC

EVM INDEX	COVER TYPE	SUCCESSIONAL STAGE	AREA	COVER CONDITION	PRIMARY SPECIES	COMMENTS
"A"	DEVELOPED/ MAINTAINED	N/A	227,021.692 SF (3,217.0 AC)	G000	SEE COVER WITH GARAGE STRUCTURE PLANTINGS	DEVELOPED OFFICE BUILDING WITH GARAGE STRUCTURE PLANTINGS
"B"	DEVELOPED/ MAINTAINED	N/A	716,326.340 SF (16,444.59 AC)	G000	SEE COVER SURFACE PARKING TYPE TABLE	SEE COVER SURFACE PARKING TYPE TABLE
"C"	DEVELOPED/ MAINTAINED	N/A	95,401.192 SF (2,190.11 AC)	G000	SEE COVER PERIPHERAL PARKING LOT TYPE TABLE	SEE COVER PERIPHERAL PARKING LOT TYPE TABLE
TOTAL AREA	-	-	1,038,749.184 SF (23,846.60 AC)	-	-	-

TYSONS CAMPUS
EXISTING VEGETATION COVER TYPES

- PRIMARY SPECIES**
- Acer rubrum - Red Maple
 - Acer palmatum - Japanese Maple
 - Betula lanuginosa - European Larch
 - Betula papyrifera - Paper Birch
 - Cornus florida - Flowering Dogwood
 - Fagus grandifolia - American Beech
 - Gleditsia triacanthos - Honeylocust
 - Juniper chinensis - Chinese Juniper
 - Malus - American Crabapple
 - Morus alba - White Mulberry
 - Picea pungens - Blue Spruce
 - Picea rubens - Red Spruce
 - Pinus strobus - White Pine
 - Pinus thunbergii - Japanese Black Pine
 - Prunus serotina - Kalm's Cherry
 - Quercus alba - White Oak
 - Quercus prinus - Willow Oak
 - Robinia pseudoacacia - Black Locust
 - Tilia cordata - Northern White Cedar
 - Tilia cordata - Littleleaf Linden
 - Tsuga canadensis - Eastern Hemlock

EVM NARRATIVE

100% OF THE SUBJECT SITE HAS BEEN DEVELOPED. 21% OF THE EXISTING BUILDINGS ARE PARKING GARAGES. THE REMAINING STRUCTURES ARE OFFICE BUILDINGS. THE REMAINING SURFACE PARKING WITH INTERIOR PARKING LOT LANDSCAPING. THE REMAINING VEGETATION IS CONSIDERED TO BE A MIXTURE OF SEMI-MATURE TO MATURE. THE REFERENCED PLANT MATERIAL LISTING OF TREES, SHRUBS AND LAWN TURF APPEARS THAT SOME OF THE VEGETATION IN THE PERIPHERAL AREA IS VOLUNTARY AND/OR REMNANT PLANT MATERIAL THAT WAS PRESERVED AND NOT REMOVED AT THE TIME OF DEVELOPMENT (AREA "C").

THIS GIP/FP CALLS FOR REDEVELOPMENT OF THIS SITE WHERE THE EXISTING STRUCTURES, SURFACE PARKING AREA AND ASSOCIATED RE-LANDSCAPE WITH THIS REDEVELOPMENT INTENT TO PRESERVE THE EXISTING VEGETATION.

THERE IS EVIDENCE THAT THE EXISTING PLANT MATERIAL WITHIN THE PERIPHERAL AREA IS SEMI-MATURE TO MATURE. THE REFERENCED PLANT MATERIAL LISTING OF TREES, SHRUBS AND LAWN TURF APPEARS THAT SOME OF THE VEGETATION IN THE PERIPHERAL AREA IS VOLUNTARY AND/OR REMNANT PLANT MATERIAL THAT WAS PRESERVED AND NOT REMOVED AT THE TIME OF DEVELOPMENT (AREA "C").

THE PRIMARY SPECIES IDENTIFIED ARE OUTLINED ABOVE. THE REFERENCED PLANT MATERIAL LISTING OF TREES, SHRUBS AND LAWN TURF APPEARS THAT SOME OF THE VEGETATION IN THE PERIPHERAL AREA IS VOLUNTARY AND/OR REMNANT PLANT MATERIAL THAT WAS PRESERVED AND NOT REMOVED AT THE TIME OF DEVELOPMENT (AREA "C").

Table 12.12 - 10-Year Tree Canopy Calculation Worksheet

Item	Description	Value	Reference
A	Pre-development area of existing tree canopy (from existing vegetation map/SF)	188,631	see § 12-0508.2
B	Percentage of gross site area covered by existing tree canopy	18%	
C	Percentage of 10-year tree canopy required for site	10%	see Table 12.4 in PM
D	Percentage of the 10-year tree canopy requirement that should be met through tree preservation	18%	
E	Proposed percentage of canopy requirement that will be met through tree preservation	0%	
F	Has the 10-year tree canopy requirement been met?	No	Provide Y or No
G	Preservation target shall be provided to the plan that states one or more of the justifications listed in § 12-0508.3	C-2 *	Provides sheet number, see § 12-0507.3
H	If step A > requires a narrative, it shall be provided in accordance with § 12-0508.4	-	see § 12-0508.4

* NOTE
SEE EVM NUMBERS REQUESTED, NOTES NUMBER 5 AND 6 ON SHEET C-2. SEE TREE PRESERVATION TARGET DEVOTION REQUEST ON SHEET C-3.

PLAN PREPARED BY: NIELSEN P. KROCHER, RIA
SA, CERTIFIED ARBORIST NO. MA-47204M
SIGNATURE _____ DATE _____



EXISTING VEGETATION MAP

SOLUTIONS PLAZA
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

VIVA INCORPORATED
8180 GREENSBORO DRIVE, SUITE 200 # McLEAN, VIRGINIA 22102
TEL: 703-441-7800 # FAX: 703-441-7800
McLEAN, VA GERMANTOWN, MD

ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ GPS SERVICES

VIVA REVISIONS

NOV 17, 2010
DEC 16, 2010
OCTOBER 27, 2012

DATE: MAY 4, 2010
DES: NPK
DWG: NPK

SCALE: 1"=60'
PROJECT/FILE NO: 160201
SHEET NO: C-8

COMPREHENSIVE PLAN GOAL III RETAIN/REUSE THE FIRST 1" OF RAINFALL UTILIZING THE RUNOFF REDUCTION METHOD

Tysens Corner Comprehensive Plan Stormwater Conformance Spreadsheet - Beta Version 4-18-2012

Site Name: **SAC - CDP**
 Description: **RESIDENTIAL**

Post-Development Land Cover: [Blank] (Data Input cells highlighted in yellow)

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.00	0.00
Managed Turf (Acres)	0.00	0.00
Impervious Cover (Acres)	3.27	3.27
Total	3.27	3.27

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.00	0.00
Managed Turf (Acres)	2.94	2.94
Impervious Cover (Acres)	2.94	2.94
Total	2.94	2.94

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.00	0.00
Managed Turf (Acres)	3.50	3.50
Impervious Cover (Acres)	3.50	3.50
Total	3.50	3.50

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.13	0.13
Managed Turf (Acres)	4.34	4.34
Impervious Cover (Acres)	4.34	4.34
Total	4.47	4.47

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.07	0.07
Managed Turf (Acres)	9.00	9.00
Impervious Cover (Acres)	9.00	9.00
Total	9.07	9.07

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.02	0.02
Managed Turf (Acres)	0.15	0.15
Impervious Cover (Acres)	0.15	0.15
Total	0.17	0.17

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.00	0.00
Managed Turf (Acres)	0.20	0.20
Impervious Cover (Acres)	0.20	0.20
Total	0.20	0.20

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.00	0.00
Managed Turf (Acres)	4.34	4.34
Impervious Cover (Acres)	4.34	4.34
Total	4.34	4.34

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.00	0.00
Managed Turf (Acres)	9.00	9.00
Impervious Cover (Acres)	9.00	9.00
Total	9.00	9.00

Land Cover Type	Area (Acres)	Impervious Cover (Acres)
Forest / Preserved Open Space - Undisturbed, protected forest and open	0.00	0.00
Managed Turf (Acres)	9.00	9.00
Impervious Cover (Acres)	9.00	9.00
Total	9.00	9.00

Runoff Reduction Summary
 Target Runoff Reduction Volume (cf): 81,702
 Runoff Reduction Volume Achieved (cf): 64,657
 Total Runoff Volume Retained (cf): 69,535
 Total Area of Site Captured in a BMP* (acres): 17.09

Conformance with Comprehensive Plan Goal
 Total Site Area Captured by a BMP (%): 72%
 Rainfall Depth Retained Onsite (inches): 0.80

Additional Onsite Storage Provided in Runoff Reduction Practices
 Total Runoff Reduction Required: 86,576 cft
 Total Runoff Reduction Provided: 69,535 cft
 Rainfall Depth Retained Onsite: 0.80 in (Shown Here)

Runoff Reduction Practice	DA (CF)	DA RV (CF)	1" Vol. Required (CF)	Vol. Provided/Retained (Inch)	Excess Volume
Bio-retention Practices	3,75	0.95	13382	41880	5173
Extensive Green Roof	2,74	0.95	9449	13485	3780
Permeable Pavement	5,45	0.95	18794	29451	7518
Rainwater Harvesting	0.94	0.95	207	3328	868
Total	12,88	3.80	23,919	21,983	17,353

Overall Application Breakdown by Practice
 Total Runoff Reduction Required: 86,576 cft
 Total Runoff Reduction Provided: 69,535 cft
 Rainfall Depth Retained Onsite: 0.80 in (Shown Here)

Practice	DA (CF)	DA RV (CF)	1" Vol. Required (CF)	Vol. Provided/Retained (Inch)	Excess Volume
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SWM COMPUTATIONS GOAL III AND SUPPORTING DATA

SHEET NO. **C-10**

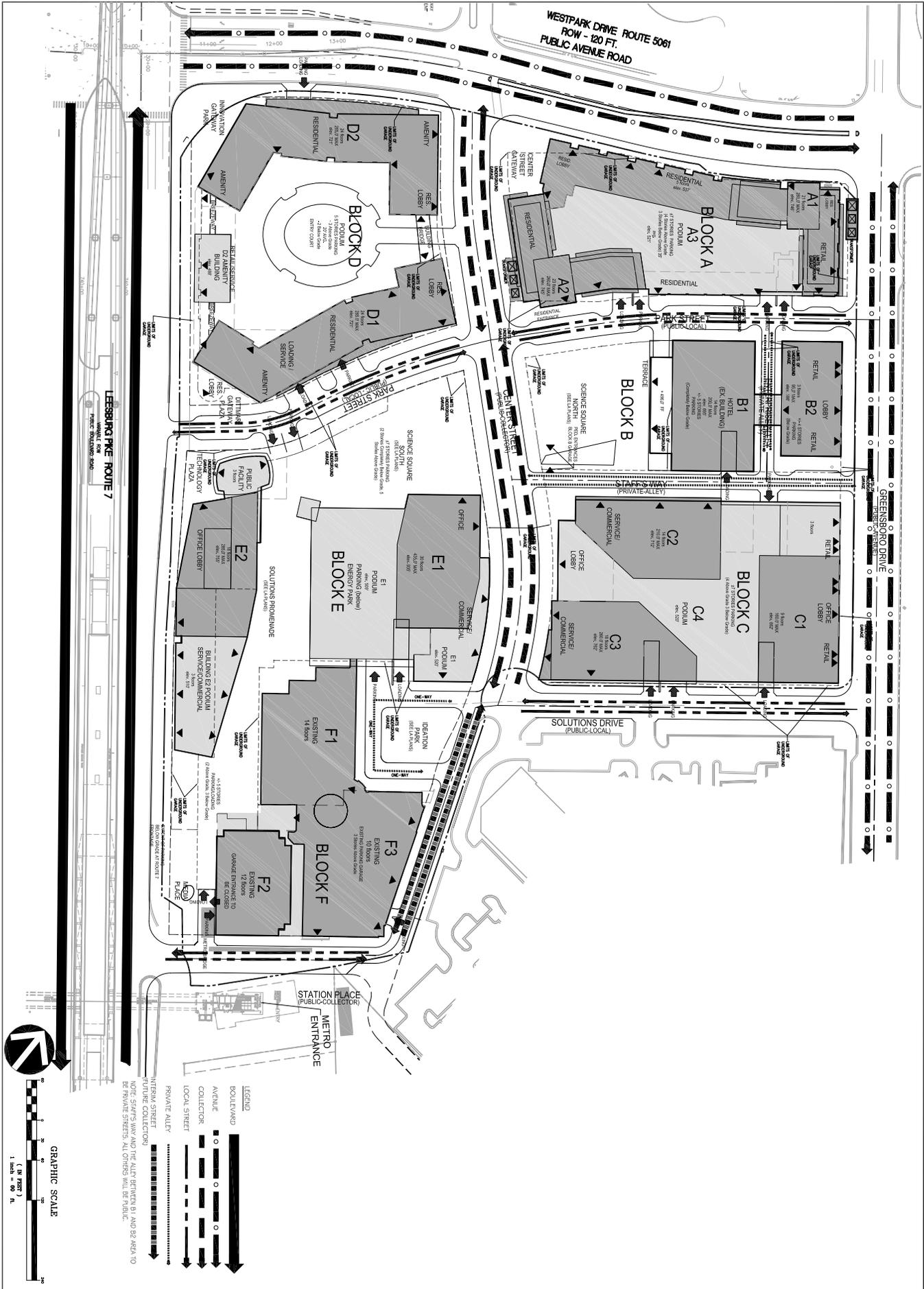
SOLUTIONS PLAZA
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

VVA INCORPORATED
 8180 GREENSBORO DRIVE SUITE 200 McLEAN, VIRGINIA 22102
 (703) 441-2222

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in zoning applications, or a special permit, special exception, special permit, or development plan application. Failure to adequately address the required information may result in a denial or non-approval of the application.

This information is required under the following zoning ordinance paragraphs:
 Ordinance 164-15 (G & N)
 Ordinance 164-16 (G & N)
 Ordinance 164-17 (G & N)
 Ordinance 164-18 (G & N)
 Ordinance 164-19 (G & N)
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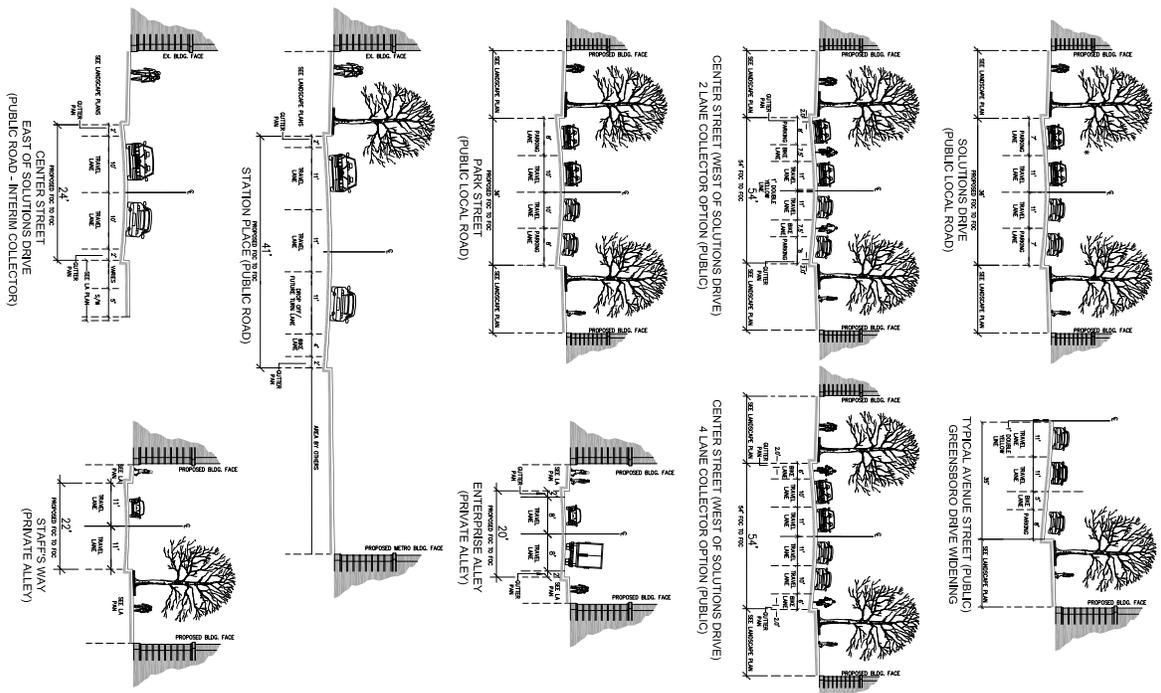
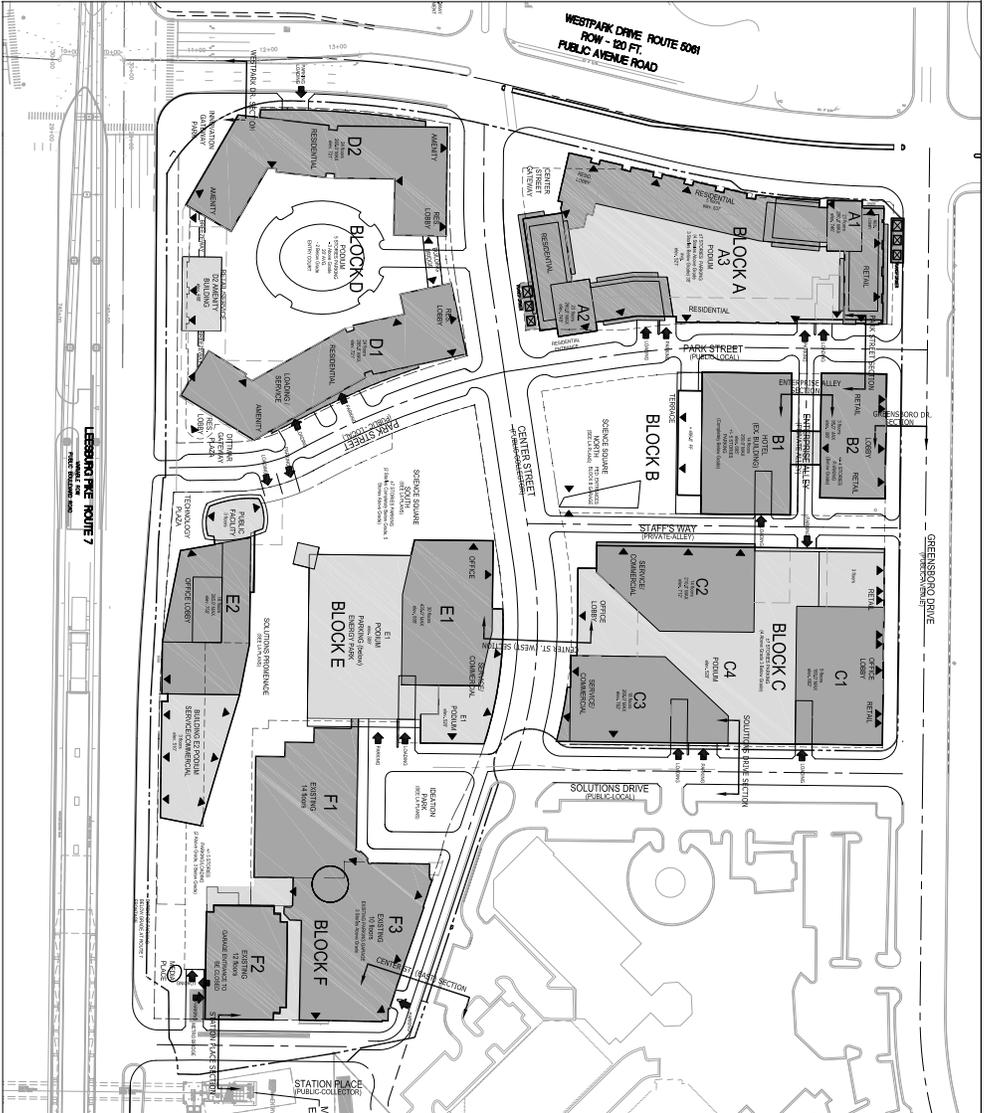


TRAFFIC CIRCULATION
 PLAN - TYPICAL
 STREET SECTIONS

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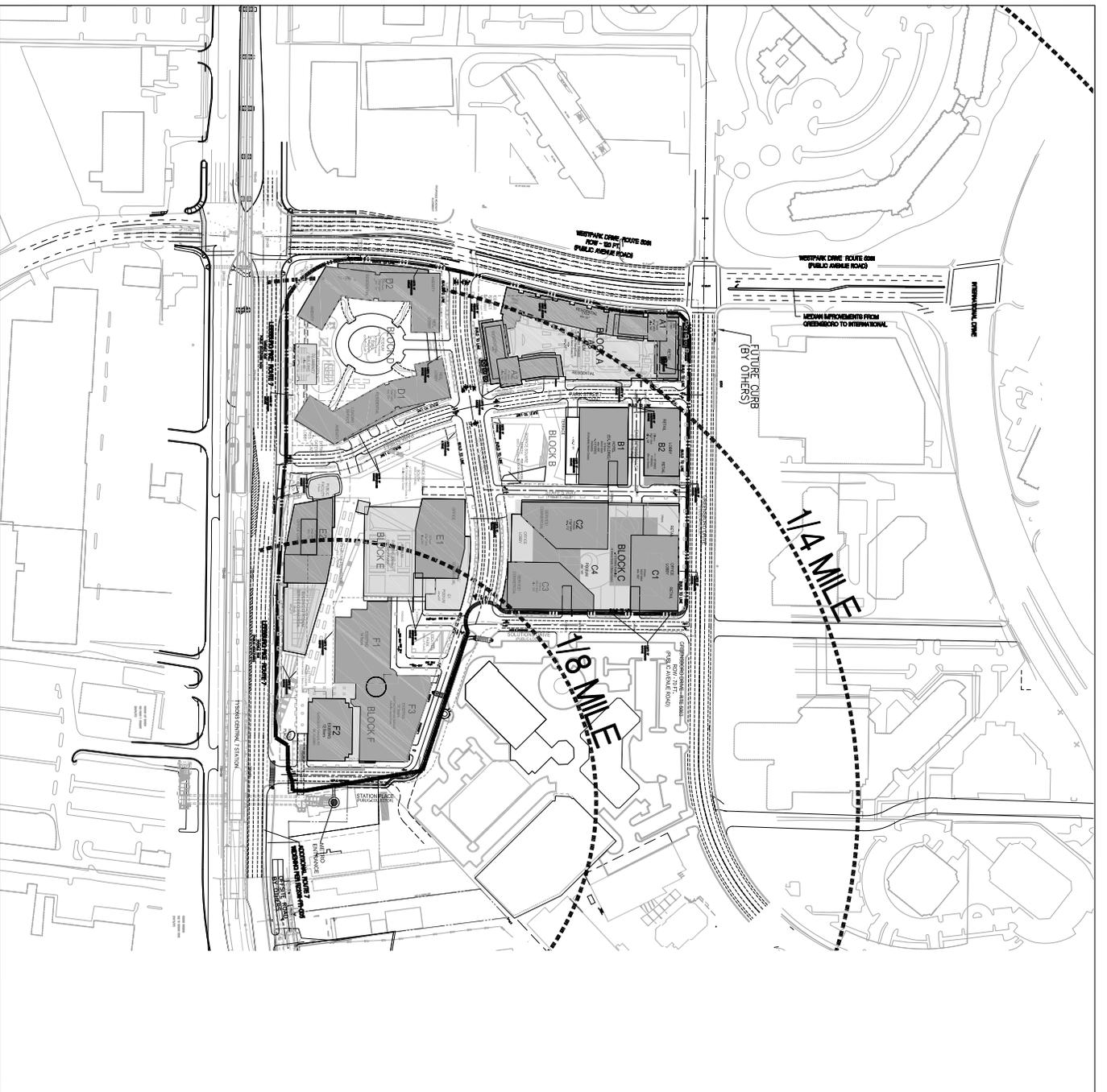
TRAFFIC CIRCULATION PLAN - TYPICAL STREET SECTIONS

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VIVA REVISIONS	
NOV. 17, 2010	
JUNE 30, 2011	
MAY 17, 2012	
OCT. 22, 2012	
DATE: JAN. 4, 2010	
DES. RND	DNM, CAD00
SCALE: NIS	
PROJECT/TITLE NO. 080231	
SHEET NO. C-16A	



DISTANCE FROM METRO /
LAND AREA DENSITY CREDITS

Distance from Station	Square Feet	Acres
Property 1/4-1/3	85,009	1.95154
Density 1/4-1/3	2,243	0.05149
Total 1/4-1/3	87,252	2.00303
Property 1/8-1/4	677,610	15.55579
Density 1/8-1/4	3,413	0.07835
Density 1/8-1/4	8,921	0.20480
Total 1/8-1/4	689,944	15.83893
Property Within 1/8	260,063	5.97022
Density Within 1/8	1,412	0.03242
Density Within 1/8	1,787	0.04102
Density Within 1/8	534	0.01226
Total Within 1/8	263,796	6.05592
Total Application Area	1,040,992	23.89789



DATE:	MAY 4, 2010
DES:	DMW
PROJECT/FILE NO.:	WB071J
SHEET NO.:	C-17

METRO CONTEXT PLAN

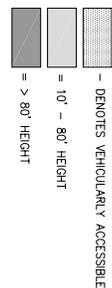
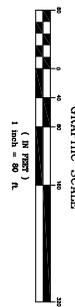
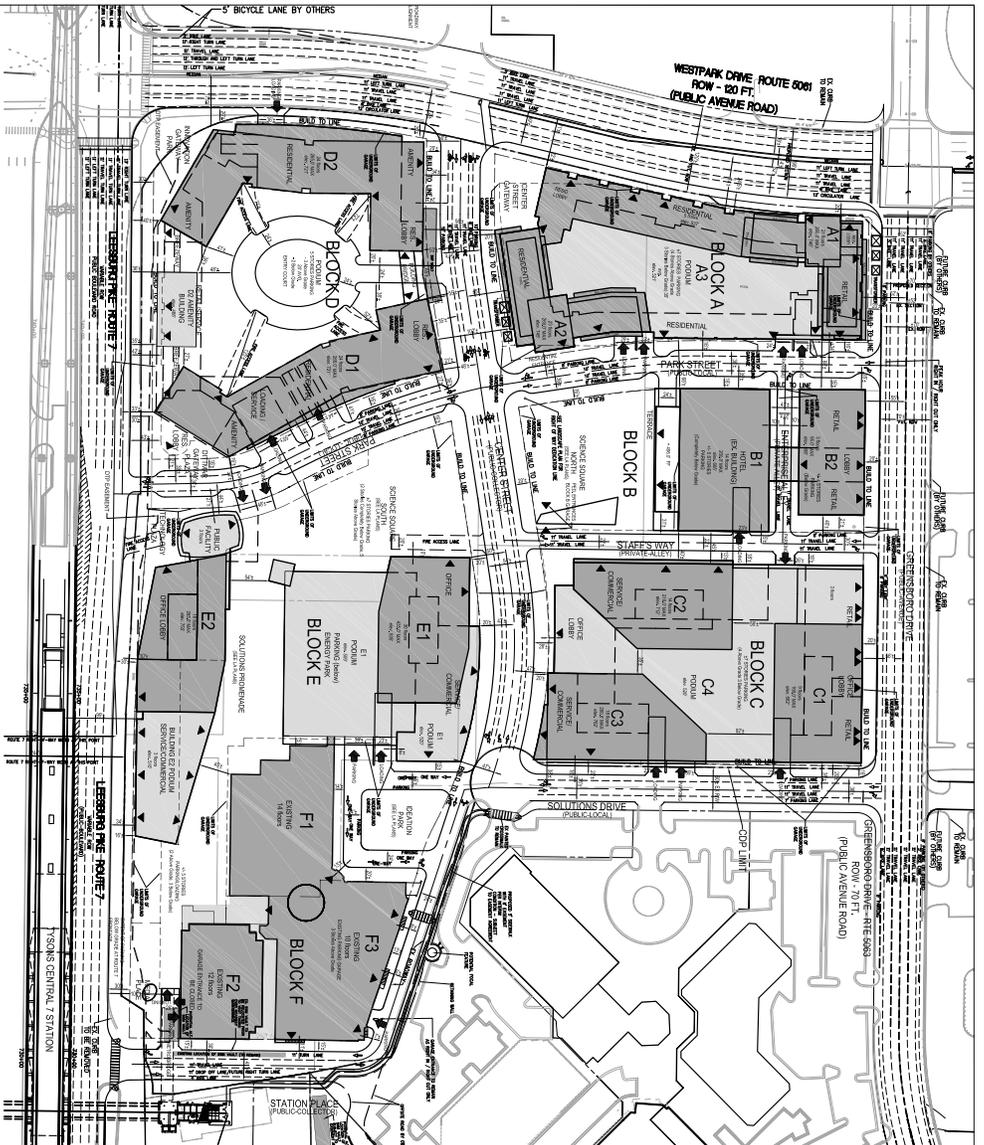
SOLUTIONS PLAZA
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Building Data

- 1) ALL ROADS PROPOSED BY THE PROJECT, AS WELL AS ADJOINING ROADS, THE CLASSIFICATIONS OF THE ROADS (I.E. ARTERIAL, COLLECTOR, ETC.) SHOULD BE NOTED. (PROVIDED)
- 2) LOCATION AND DIMENSIONS OF ALL REAR ACCESS LANS AND TURNAROUNDS, VEHICLE ACCESS TO THE REAR OF BUILDING, INCLUDING INTERIOR COURTYARDS FOR STOCK-BUILT DOMINANT SHAPED BUILDINGS, NEEDS TO BE SHOWN. (PROVIDED)
- 3) ARROW DIAGRAMS INDICATING WHERE EMERGENCY VEHICLES CAN ACCESS BUILDINGS. (PROVIDED)
- 4) DIMENSIONS OF THE DISTANCE BETWEEN THE PORTIONS OF THE ROADWAY THAT ARE ACCESSIBLE TO FIRE TRUCKS AND THE FACADES OF THE BUILDINGS, THE TARGET DISTANCE IS BETWEEN 15 AND 30 FEET SEPARATION. (PROVIDED)
- 5) IMPROVEMENTS PLANNED FOR THE AREA BETWEEN THE PORTIONS OF THE ROADWAY THAT ARE ACCESSIBLE TO FIRE TRUCKS AND THE FACADES OF THE BUILDINGS, INCLUDING PARKING LANS, GARAGE PODIUMS, LANDSCAPED AREAS, STEEP SLOPES, SIDEWALKS, PLAZAS, YARDS, OUTDOOR SEATING AREAS, STEPS, PLANTERS, SCULPTURES, ETC. (TO BE PROVIDED)
- 6) CLEAR IDENTIFICATION OF BUILDING FOOTPRINTS, CANTILEVERED EXTENSIONS, PENTHOUSES, BALCONIES, PATIOS, ETC. (TO BE PROVIDED)
- 7) HEIGHTS OF THE PROPOSED BUILDINGS, FOR BUILDINGS WITH MULTIPLE HEIGHTS DUE TO STEP BACKS, THE HEIGHT AND NUMBER OF STORIES OF EACH BUILDING SEGMENT SHOULD BE CLEARLY NOTED. (PROVIDED)
- 8) LOCATION OF OVERHEAD UTILITY LANS, UTILITIES SHALL BE UNDERGROUND UPON COMPLETION OF EACH PHASE/BLOCK.
- 9) IDENTIFICATION OF CONSTRUCTION TYPE FOR EACH BUILDING LOCATED ON A SINGLE GARAGE PODIUM, THE CONSTRUCTION TYPE FOR EACH BUILDING MUST BE IDENTIFIED - THE GARAGE PODIUM CAN BE IDENTIFIED AS A BLOCK, WITH EACH BUILDING IDENTIFIED SEPARATELY. EACH PORTION OF STRUCTURE WITH A DIFFERENT CONSTRUCTION TYPE IS CONSIDERED A SEPARATE BUILDING. STRUCTURES THAT ARE SEPARATED BY A FIRE WALL ARE ALSO CONSIDERED SEPARATE BUILDINGS. (PROVIDED)
- 10) TYPE OF BUILDING SKIN MATERIAL (COMBUSTIBLE/NON-COMBUSTIBLE), TYPE OF SPRINKLERS (TYPE 13, IF IR PLEASE EXPLAIN), AND ROOF TYPE (CLASS A PREFERRED). (PROVIDED)
- 11) LOCATION OF PROPOSED BUILDING ENTRANCES, BOTH PEDESTRIAN AND VEHICULAR ACCESS DOORS AND ELEVATORS, INCLUDING MECHANICAL ELEVATORS, SHOULD BE SHOWN ON THE FFP. ALSO, ANY INTERIOR ROUTES AVAILABLE FOR EMERGENCY VEHICLE USE, SUCH AS SUITABLE SIZED DRIVEWAYS THROUGH PARKING GARAGES AND COURTYARDS, SHOULD BE DELINEATED. (PROVIDED)
- 12) LOADING AREAS AND WHETHER THEY ARE ACCESSIBLE TO EMERGENCY VEHICLES. (PROVIDED)
- 13) ACCESS TO ACTIVE COURTYARDS (ESPECIALLY WITH POOLS, TENNIS COURTS, ETC.) NEEDS TO BE SHOWN - HOW WILL THE MEDICAL STAFF GET THERE, WITH THEIR EQUIPMENT QUICKLY? (TO BE PROVIDED)



Block	Type of Construction	Number of Stories	Building Height	Area	Fire Sprinkler	Fire Alarm	Fire Wall Rating	Occupancy/Use Group
BLOCK A	1A	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	2A	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	3A	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
BLOCK B	1B	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	2B	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	3B	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
BLOCK C	1C	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	2C	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	3C	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
BLOCK D	1D	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	2D	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	3D	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
BLOCK E	1E	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	2E	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	3E	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
BLOCK F	1F	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	2F	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL
	3F	4	4'-225'	4,400 SF	YES	YES	R-2	RESIDENTIAL

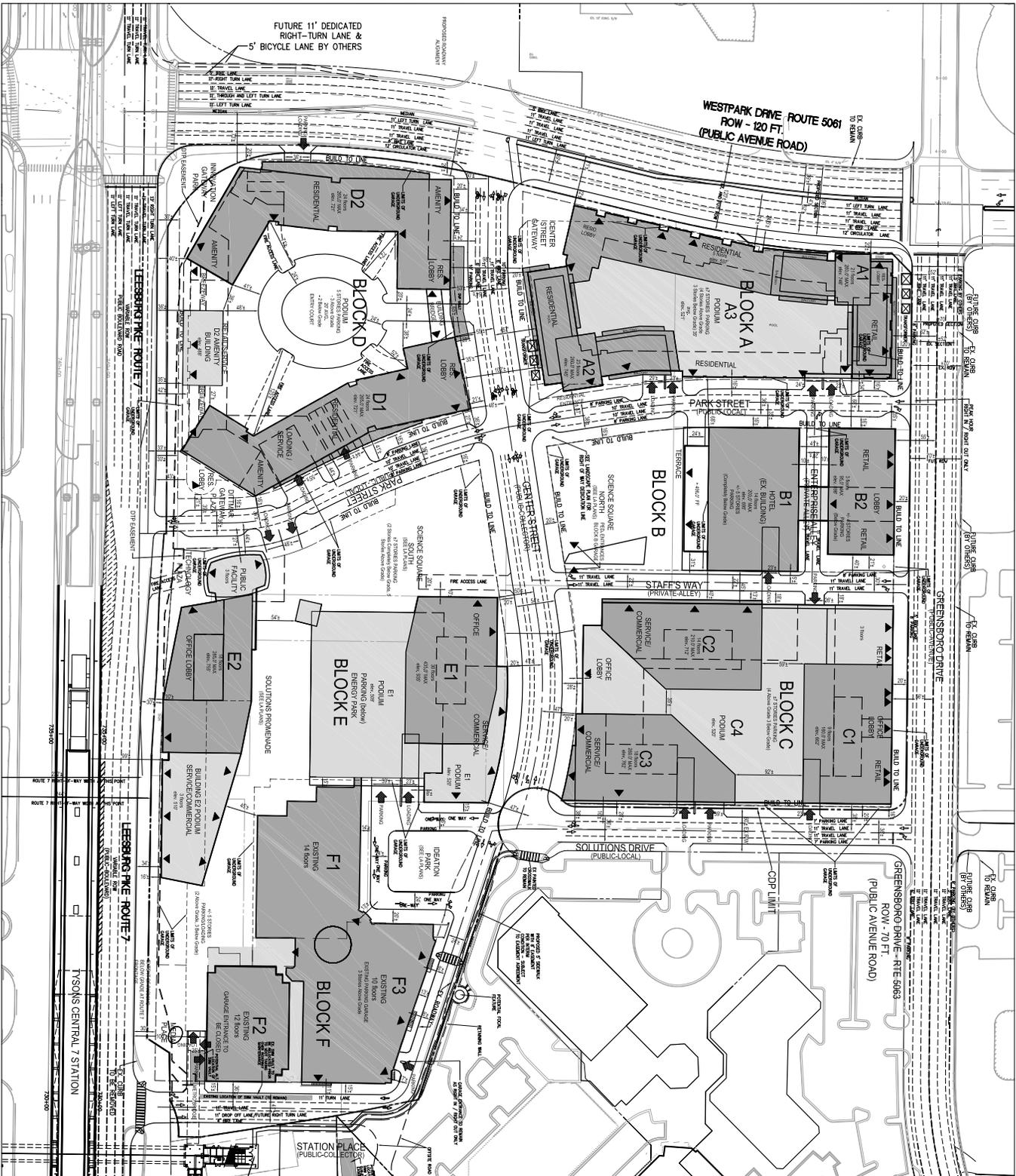
FIRE ACCESS PLAN

DATE: MAY 4, 2010
 DES: JFA, DMN, CAD
 SCALE: 1"=80'
 PROJECT/FILE NO.: W00114
 SHEET NO.: C-18

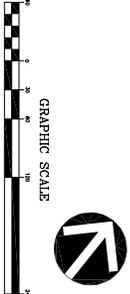
SOLUTIONS PLAZA
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DENOTES VEHICULARLY ACCESSIBLE
 = 10' - 80' HEIGHT
 = > 80' HEIGHT



FIRE ACCESS PLAN (DETAIL)

SOLUTIONS PLAZA
PROVIDENCE DISTRICT
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 (703) 442-7800 ■ FAX (703) 741-2707
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VVA REVISIONS

DATE	BY	DESCRIPTION
NOV 17, 2010	DMV, CAD	
JUNE 30, 2010	DMV, CAD	
OCTOBER 22, 2012	DMV, CAD	

SCALE: 1" = 40'
 PROJECT FILE NO.: 138511
 SHEET NO.: C-18A



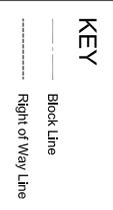
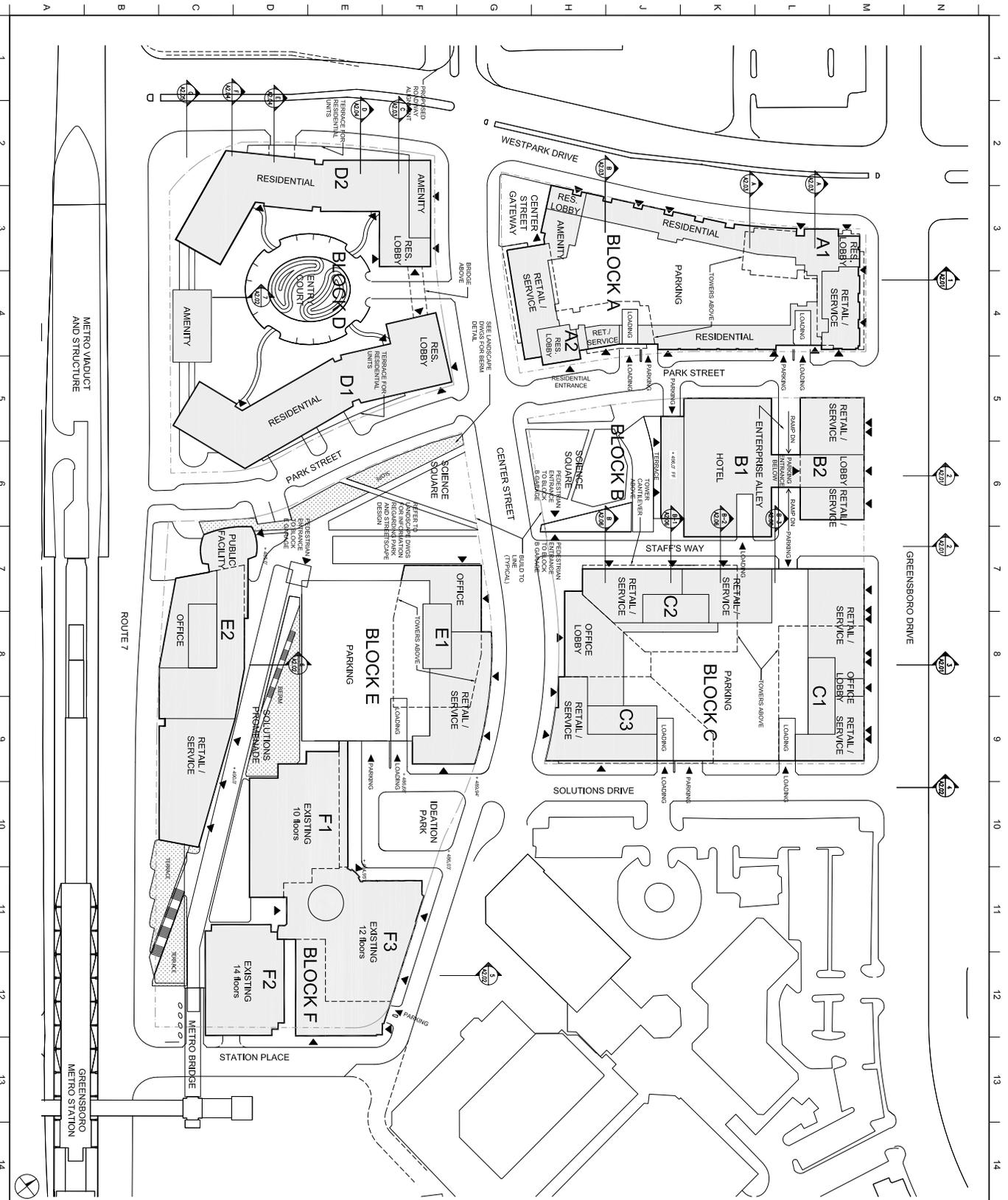
DATE: MAY 4, 2010	SCALE: 1"=60'
DRAWN: DMN	PROJECT/FILE NO.: W6021A
CHECKED: CJD	SHEET NO.: 20
DATE: JUN 30, 2011	
DATE: JUL 16, 2012	
DATE: OCT 22, 2012	
VIA REVISIONS	

AVERAGE GRADE EXHIBIT

SOLUTIONS PLAZA
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FAIRFAX COUNTY, VIRGINIA

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- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Building heights include mechanical penthouses which may project +/- 35' or above roof level.

NO.	REVISIONS/DESCRIPTION	DATE
06	CIP Rebuild/finish	10/22/2012
05	CIP Rebuild/finish	08/30/2011
02	CIP Rebuild/finish	11/16/2010
01	CIP Structure	10/01/2010

FX FOWLE

VNA, Inc.
 8100 Greenway Circle, Suite 200 | Greensboro, VA 27033 | 753.452.2800
 2000 Westwood Drive | Alexandria, VA 22304 | 703.836.7744
 TYSONS CORNER, MCDENAN, VA

UPPER GROUND FLOOR PLAN

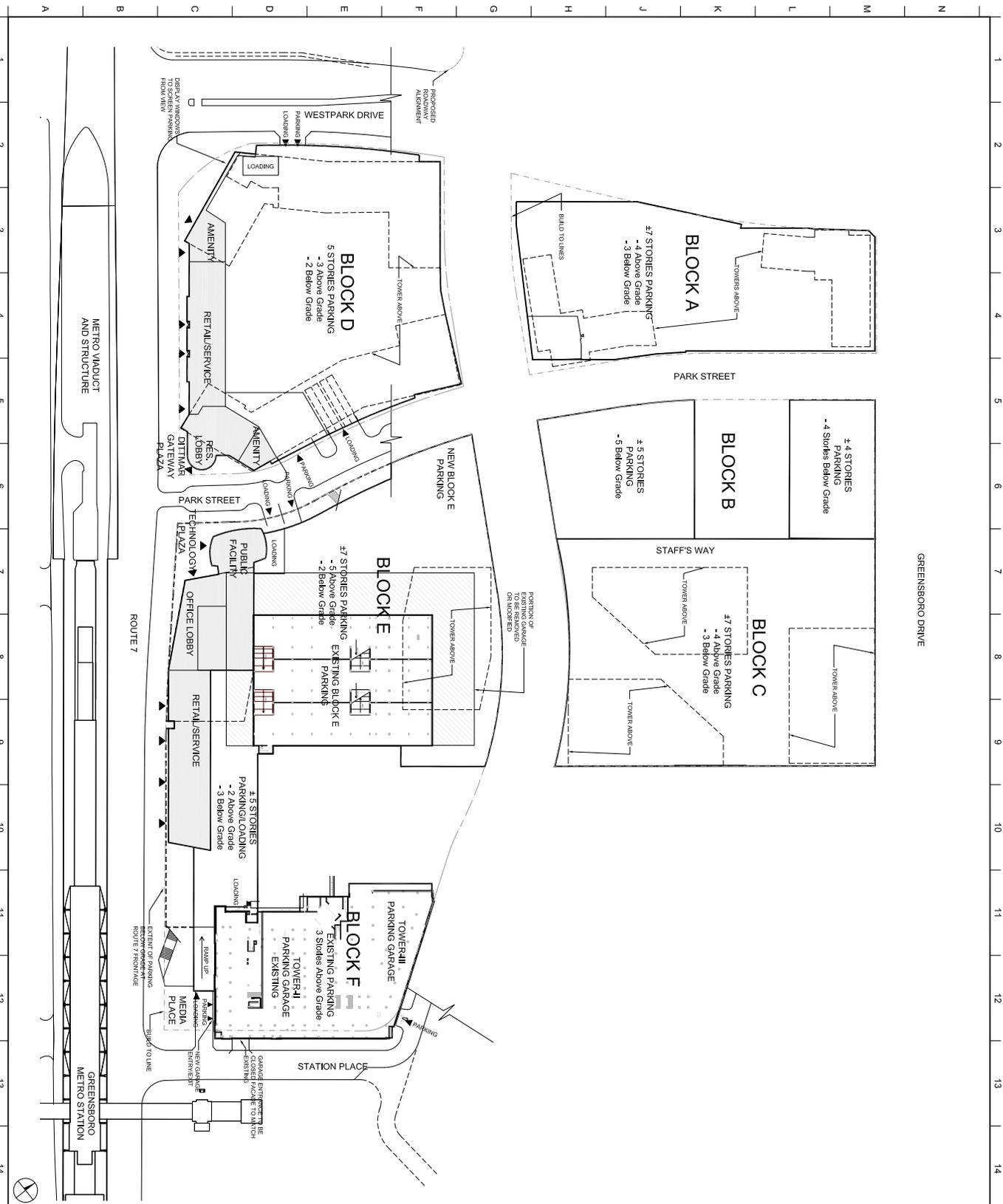
SOLUTIONS PLAZA
GREENSBORO
 TYSONS CORNER, MCDENAN, VA

DRWING TITLE:



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A-1.01



KEY

Block Line

Right of Way Line

- NOTES:**
- Grades are approximate and subject to change with final engineering.
 - Parking will be provided in keeping with Paragraph 1 of Section 6-509 of the Zoning Ordinance (See Parking Rate Table), Parking provided by the land user is shown on all parking structures. The minimum number of parking spaces shall be as shown on the site plan. The minimum number of parking spaces shall be as shown on the site plan. The minimum number of parking spaces shall be as shown on the site plan.
 - Due to existing topographic conditions, the number of levels of this sheet and more specifically in the elevations shown on Sheets A-201 - A-206. Enhancements to parking structures are shown generally on Sheet A-101 and are subject to change with FGP.
 - A minimum of one loading space will be provided for each residential building. A minimum of two loading spaces will be provided for each office and/or hotel building. Based on market conditions and residential buildings proposed. The general location of loading spaces is shown on Sheet A-101 and is subject to change with FGP approval.
 - The Applicant will be required to provide parking with FGP approval and to utilize the right of way for the building.
 - Establishments and similar uses.
 - DVA goals and strategic plan to reduce single-occupancy vehicles.
 - Below grade parking may extend within the building zone.

REVISIONS

NO.	REVISIONS	DATE
01	CDP Revisions	10/22/2012
02	CDP Revisions	08/30/2011
03	CDP Revisions	11/16/2010
04	CDP Revisions	10/20/2010

APPROVED AND DESIGNED BY: [Signature]

DATE: 10/22/2012

VKA, Inc.
 1810 Greensboro Rd, Suite 200 | Greensboro, NC 27402 | 753-422-2820
 2020 South Park Drive | Greensboro, NC 27402 | 753-422-2820

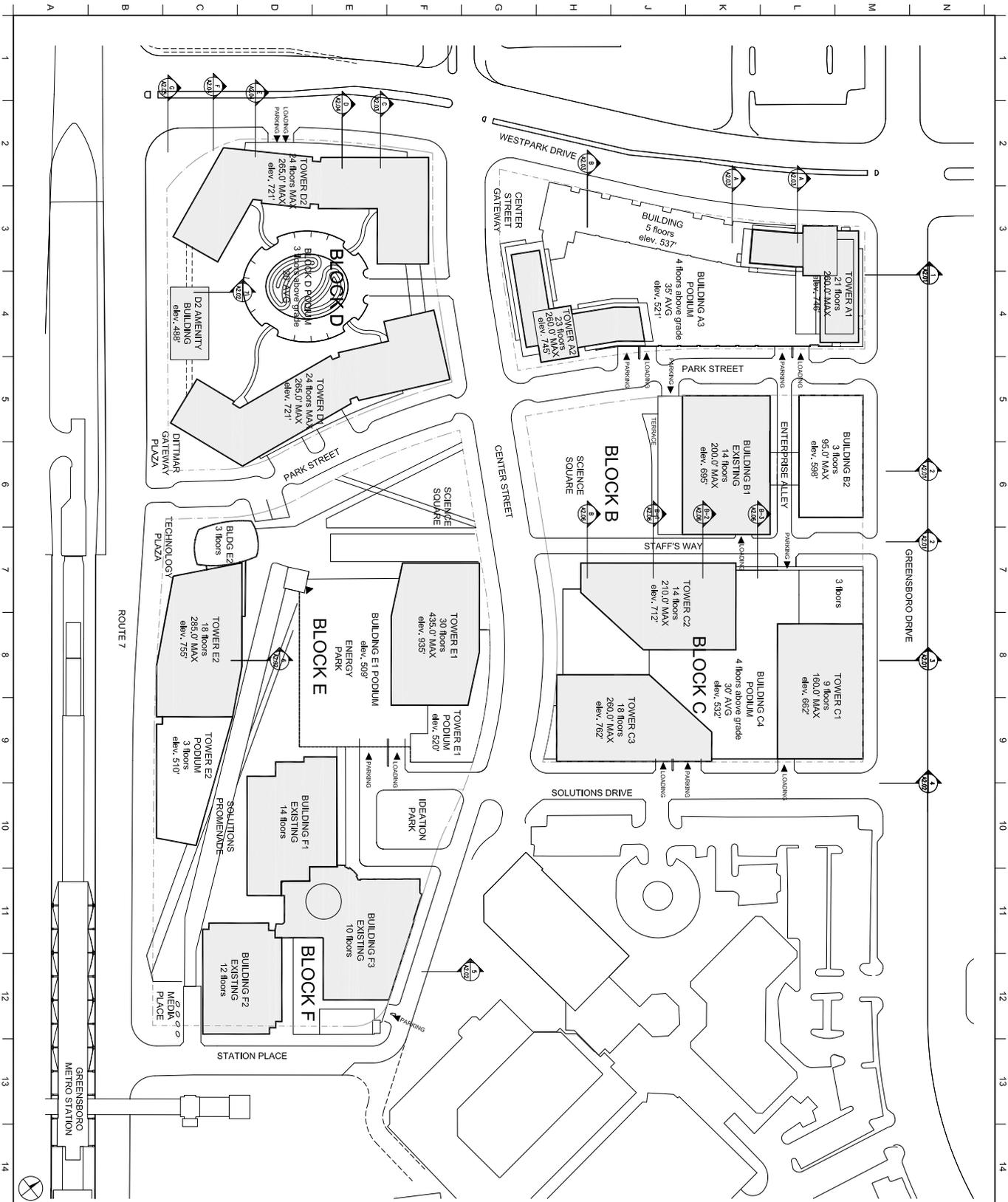
SOLUTIONS PLAZA
GREENSBORO
 TYSONS CORNER, MCDENY, VA

LOWER GROUND FLOOR PLAN

PROJECT INFORMATION:
 Project: SOLUTIONS PLAZA
 Client: JPP
 Architect: [Signature]
 Date: 10/22/2012
 Scale: 1"=50'-0"



A-1.02



KEY

- Block Line
- Right of Way Line

NOTES:

- Grids are approximate and subject to change with final engineering.
- Building heights include mechanical penthouses which may project +/- 5'-0" above roof level.

REVISIONS

NO.	DESCRIPTION	DATE
01	CIP Foundation	10/01/2010
02	CIP Foundation	11/15/2010
03	CIP Foundation	06/30/2011
04	CIP Foundation	08/30/2011
05	CIP Foundation	11/15/2010
06	CIP Foundation	10/22/2012

PREPARED AND CHECKED BY: LUP ALL RIGHTS RESERVED

VMA, Inc.
 1000 Greenboro Rd., Suite 200 | Greensboro, VA 22626 | 703.452.2800
 2000 North Point Blvd | Alexandria, VA 22304 | 703.836.7744

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MCDENAN, VA**

ROOF PLAN

DATE: 10/22/2012
PROJECT: SOLUTIONS PLAZA
CLIENT: TYSONS CORNER, MCDENAN, VA
ARCHITECT: LUP ALL RIGHTS RESERVED
SCALE: 1" = 50'-0"

PROJECT TEAM:
 Project Manager: JPP
 Designer: JPP
 Checker: JPP
 Drafting: JPP
 Plotting: JPP
 Printing: JPP
 Review: JPP

PROJECT INFORMATION:
 Project No.: 10222012
 Date: 10/22/2012

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A-1.03

KEY

Block Line
Right of Way Line

NOTES:

1. Grades are approximate and subject to change with final engineering.
2. Parking will be provided in keeping with Paragraph 1 of Section 6-509 of the Zoning Ordinance (See Parking Rate Table). Parking spaces for each building use is shown in the Parking Tabulation. Some of the parking spaces are shared between buildings. The amount of Blocks B and D. With development of the Property over time, surface lots will be replaced with a combination of below-grade and above-grade parking structures. Please consult the site plan for more information.
3. The minimum number of parking spaces for each building is shown in the Parking Tabulation for an example of how the Property may be phased and how the parking ratio defines over time.
4. Due to existing topographic conditions, the number of levels of this sheet and more specifically in the elevations shown on Sheets A-201 - A-206. Entrances to parking structures are shown generally on Sheet A-101 and are subject to change with FGP.
5. A minimum of one loading space will be provided for each residential building. A minimum of two loading spaces will be provided for each office and/or hotel building. Based on market conditions and residential buildings proposed. The general location of loading spaces is shown on Sheet A-101 and is subject to change with FGP approval.
6. The Applicant to utilize site plan to show loading parking with FGP establishments and similar uses.
7. The limited amount of proposed parking supports the Applicant's DMS goals and strategic plan to reduce single-occupancy vehicles and encourage use of transit.

Phase/ Parking Tabulation (I)

Phase	Residential Spaces	Non-Residential Spaces	Total Spaces	Ratio (I)
Existing	446	2,851	3,297	2.0
Phase/Block A1	446	2,851	3,297	2.25
Phase/Block A2	500	2,769	3,269	2.01
Phase/Block B	500	2,769	3,269	1.93
Phase/Block C1	500	2,851	3,351	1.83
Phase/Block C2	500	4,177	4,677	1.83
Phase/Block E1	500	4,892	5,392	1.66
Phase/Block E2 and E3	500	4,159	4,659	1.51
Phase/Block F	2,620	4,159	6,779	1.51

(I) The tabulation illustrating how parking could be phased with development. The Applicant reserves the right to phase the development in a different order than shown. The ratio is based on residential and non-residential spaces. It is assumed a density of 1000'±. The ratio is based on residential and non-residential spaces. It is assumed a density of 1000'±. This allows the ratio for speedwalking (ratio to be equivalent to density 1000'±).

Parking Tabulation

Block/ Building	Use	GFA by Use	Required Parking		Required Parking		Total Required Parking	Required Parking
			Min	Max	Min	Max		
Block A1	residential	133,120	338	633	421	552	767	702
Block A2	residential	367,000	369	625	426	525	6,402	618
Block B	residential	442,000	0	462	0	462	1,341	1,232
Block C1	office	152,000	0	392	0	392	0	0
Block C2	office	222,000	0	191	0	191	0	0
Block C3	office	426,000	0	492	0	492	0	0
Block D	office	426,000	0	673	0	673	1,801	1,732
Block E1	residential	607,000	1,320	617	1,320	1,732	1,732	1,732
Block E2	residential	607,000	600	612	600	612	5,116	1,245
Block E3	office	426,000	0	462	0	462	0	0
Block F	office	552,000	0	448	0	448	0	0
Block G	office	712,000	0	328	0	328	0	0
Block H	office	426,000	0	328	0	328	0	0
Block I	office	3,092	0	242	0	242	0	0
TOTAL			0	1,287	1,287	6,325	491	7,202

(II) Parking provided a minimum parking spaces within a block is shown in column 9 and not included in the total of the overall development.

(III) The tabulation illustrating how parking could be phased with development. The Applicant reserves the right to phase the development in a different order than shown. The ratio is based on residential and non-residential spaces. It is assumed a density of 1000'±. The ratio is based on residential and non-residential spaces. It is assumed a density of 1000'±. This allows the ratio for speedwalking (ratio to be equivalent to density 1000'±).

Parking Rate Table

Priority Use	Parking Provided 1/4 to 1/2 Mile to Metro Station Entrance (100 Spaces)		Parking Provided 1/2 to 1 Mile to Metro Station Entrance (100 Spaces)		Parking Provided 1/4 to 1/2 Mile to Metro Station Entrance (100 Spaces)	
	Min	Max	Min	Max	Min	Max
Office	0	1/1000	0	2/1000	0	2/1000
Hotel	0	5/1000	0	5/1000	0	5/1000
Multi-family Residential	0	5/1000	0	5/1000	0	5/1000
0-1 BR	1	1.5/1000	1	1.5/1000	1	1.4/1000
2 BR	1	1.6/1000	1	1.6/1000	1.35	1.7/1000
3 BR	1	1.8/1000	1	1.8/1000	1.6/1000	2.0/1000
Hotel	0	1/1000	0	1/1000	0	1.5/1000

VKA, Inc.
 8150 Greenway Blvd, Suite 200 | Fairfax, VA 22031 | 703.442.2800
 20200 Parkwood Drive | Alexandria, VA 22304 | 703.676.7474

SOLUTIONS PLAZA
GREENSBORO
 TYSONS CORNER, MCDENAN, VA

PARKING TABULATIONS

DATE: 10/22/2012
 DRAWN BY: JPP
 CHECKED BY: JPP
 PROJECT NO: 11552-010

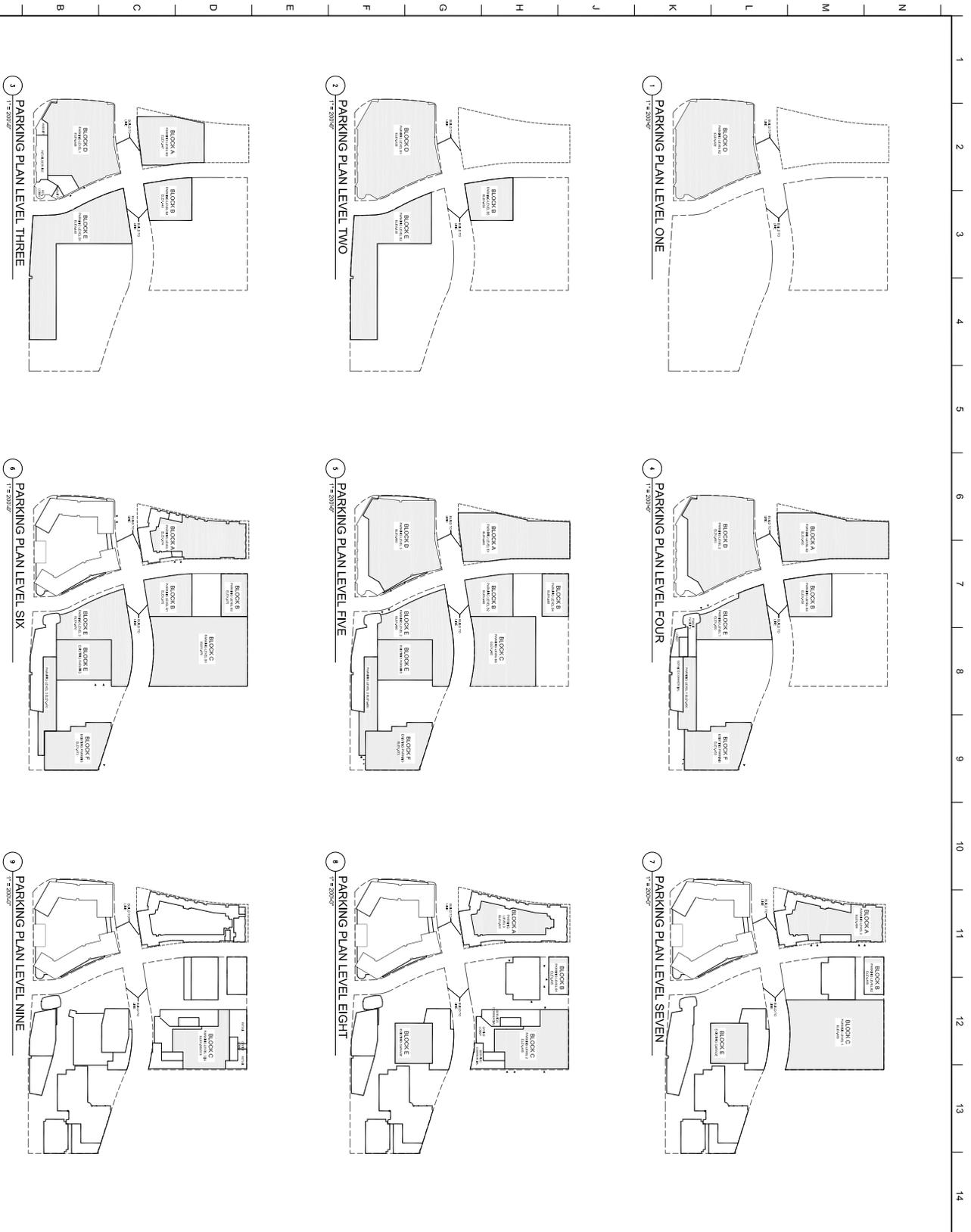
A-1.04

KEY

- Block Line
- Right of Way Line

NOTES:

1. Grades are approximate and subject to change with final engineering.
2. Parking will be provided in keeping with Paragraph 1 of Section 6-509 of the Zoning Ordinance (See Parking Rate Table). Parking provided by the land user is shown on all of the parking lots shown on this sheet. The number of parking spaces shown on this sheet is based on the minimum amount of parking required for each of Blocks B and D. With development of the Property over time, surface lots will be replaced with a combination of below-grade and above-grade parking structures. Owners parallel to the street are required to provide a minimum amount of parking for an example of how the Property may be phased and how the parking ratio declines over time.
3. Due to existing topographic conditions, the number of levels of this sheet and more specifically in the elevations shown on Sheets A-2.01 - A-2.06. Entrances to parking structures are shown generally on Sheet A-1.01 and are subject to change with FDP.
4. A minimum of one loading space will be provided for each residential building. A minimum of two loading spaces will be provided for each office and/or hotel building. Based on market conditions and residential buildings proposed. The general location of loading spaces is shown on Sheet A-1.01 and is subject to change with FDP approval.
5. The Applicant will be required to allow tandem parking with FDP establishments and similar uses.
6. The limited amount of proposed parking supports the Applicant's establishment and similar uses.
7. The Applicant's proposed plan to reduce single-occupancy vehicles below grade parking may extend within the building zone.
8. Below grade parking may extend within the building zone.



NO.	REVISIONS/DESCRIPTION	DATE
06	CIP Re-submission	10/22/2012
05	CIP Re-submission	08/30/2011
04	CIP Re-submission	11/16/2010
03	CIP Re-submission	10/01/2010

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PROFESSIONAL ARCHITECTS, L.P.
 1400 GUYTON DRIVE, SUITE 200 | FARMERSVILLE, VA 22434
 540.733.7777 | FAX 540.733.7778 | WWW.FX-FOWLE.COM

VKA, Inc.
 1810 Greenway Blvd, Suite 200 | Martinsville, VA 22101 | 540.842.2800
 2020 West Park Drive | Farmville, VA 22431 | 540.850.7744

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MCDONALD, VA**

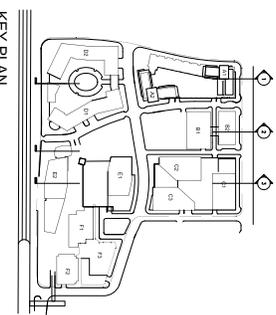
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PARKING PLANS

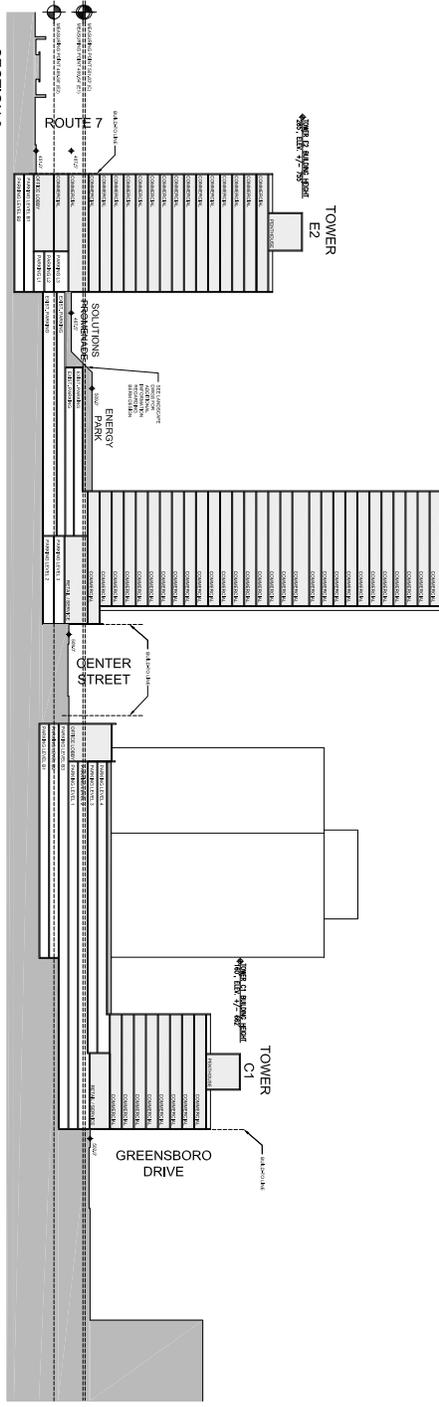
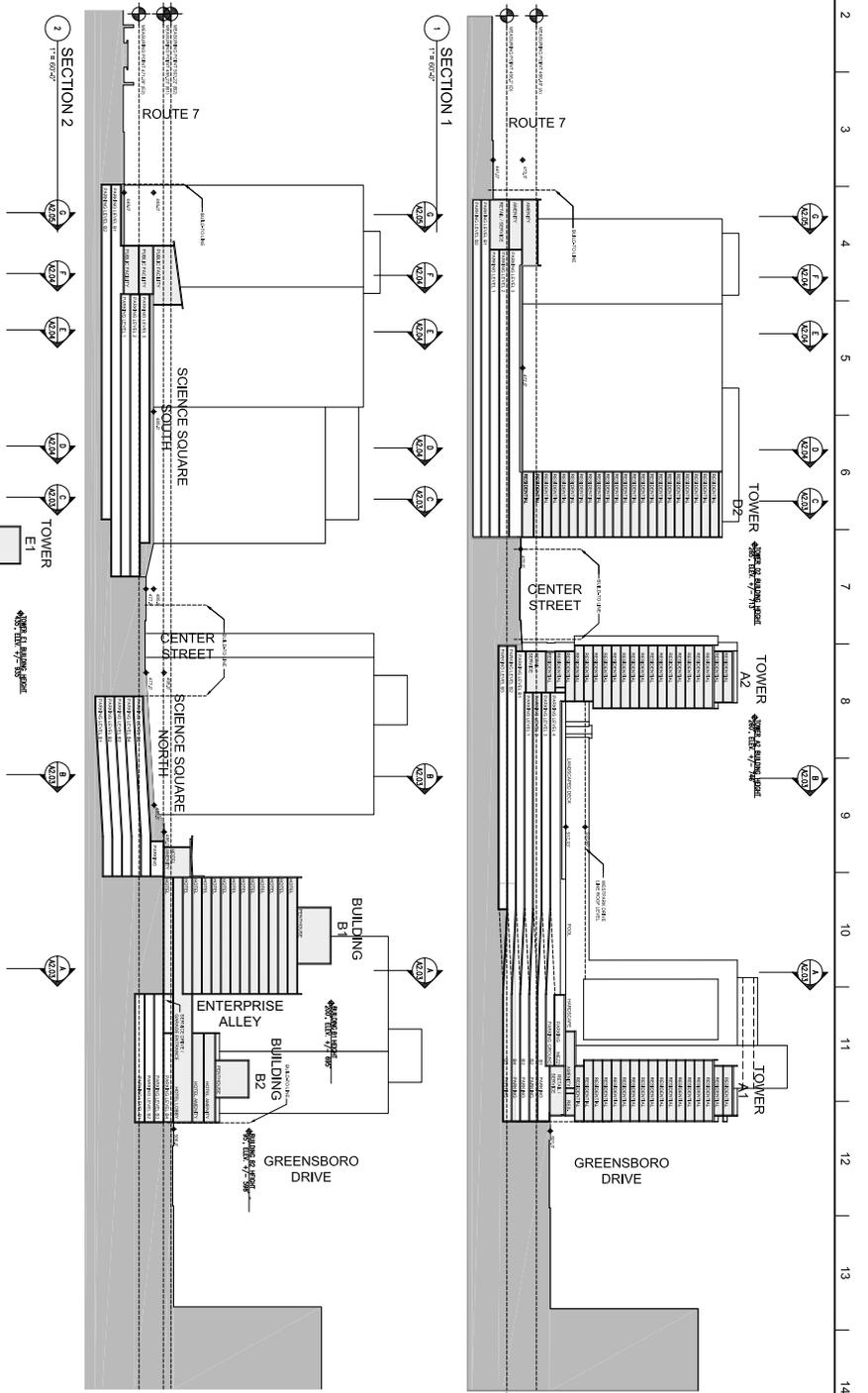
DESIGNED BY:	DATE:
DRAWN BY:	10/22/2012
CHECKED BY:	11/16/2010
APPROVED BY:	10/01/2010

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A-1.05



- NOTES:
- Grids are approximate and subject to change with final engineering.
 - Building heights include mechanical penthouses which may project 4'-30" above roof level.



NO.	REVISIONS / COMMENTS	DATE
04	CDP Reissued/Revised	10/22/2012
03	CDP Reissued/Revised	08/30/2011
02	CDP Reissued/Revised	11/16/2010
01	CDP Submitted	10/01/2010

APPROVAL AND TITLE: LUP ALL RIGHTS RESERVED

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 8100 Greenway Oaks, Suite 200 | Fairfax, VA 22031 | 703.442.2800
 2000 West Park Drive | Alexandria, VA 22304 | 703.687.7744

SOLUTIONS PLAZA
GREENSBORO
 TYSONS CORNER, MCDENAN, VA

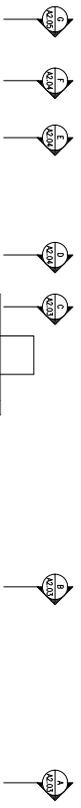
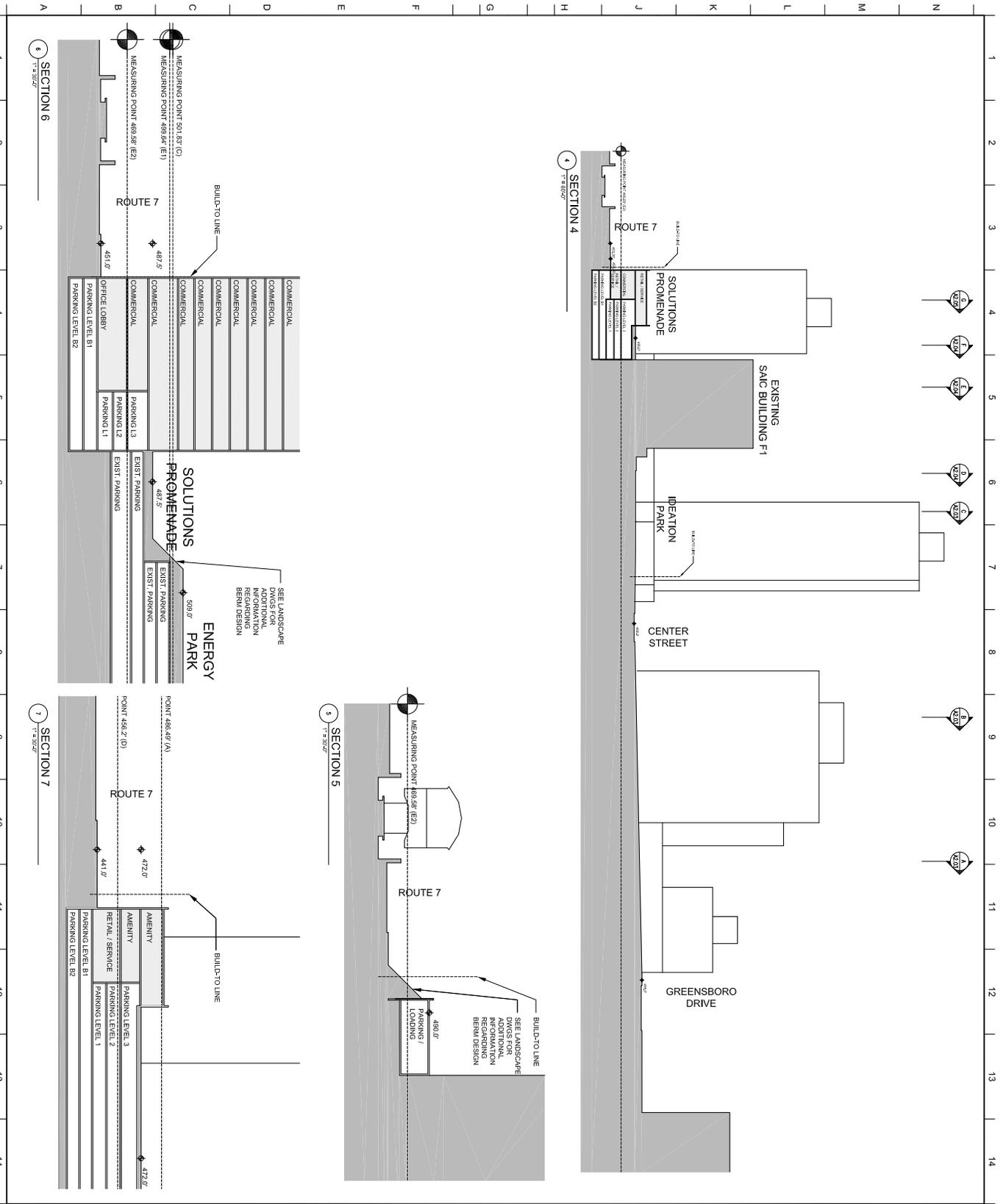
DESIGN AND TITLE:

SITE SECTIONS

DATE	DESIGNER	PROJECT NO.
10/22/2012	Daniel K. Kline	11150
08/30/2011	J.P.P.	11150
11/16/2010	J.P.P.	11150
10/01/2010	J.P.P.	11150



A-2.01



KEY PLAN

NOTES:

1. Grades are approximate and subject to change with final engineering.
2. Building heights include mechanical penthouses which may project 4'-59" above roof level.

NO.	REVISION / DESCRIPTION	DATE
04	CIP Reboundless	10/22/2012
03	CIP Reboundless	08/30/2011
02	CIP Reboundless	11/16/2010
01	CIP Scaffolding	10/01/2010

FFOWLE

FFOWLE ARCHITECTS, LLP 600 WEST MAIN STREET, SUITE 1000, WASHINGTON, VA 22201
 703.557.1100
 1000 PENTAGON PARKWAY, SUITE 1000, ARLINGTON, VA 22204
 703.557.1100

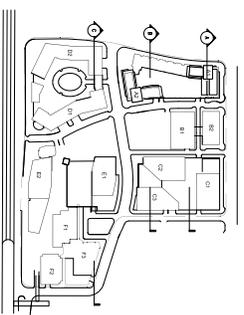
VKA, Inc.
 1810 Greenway Lane, Suite 200 | Fairfax, VA 22031 | 703.442.2800
 1800 West Park Drive | Alexandria, VA 22304 | 703.836.7744

SOLUTIONS PLAZA
 TYSONS CORNER, MCDENY, VA
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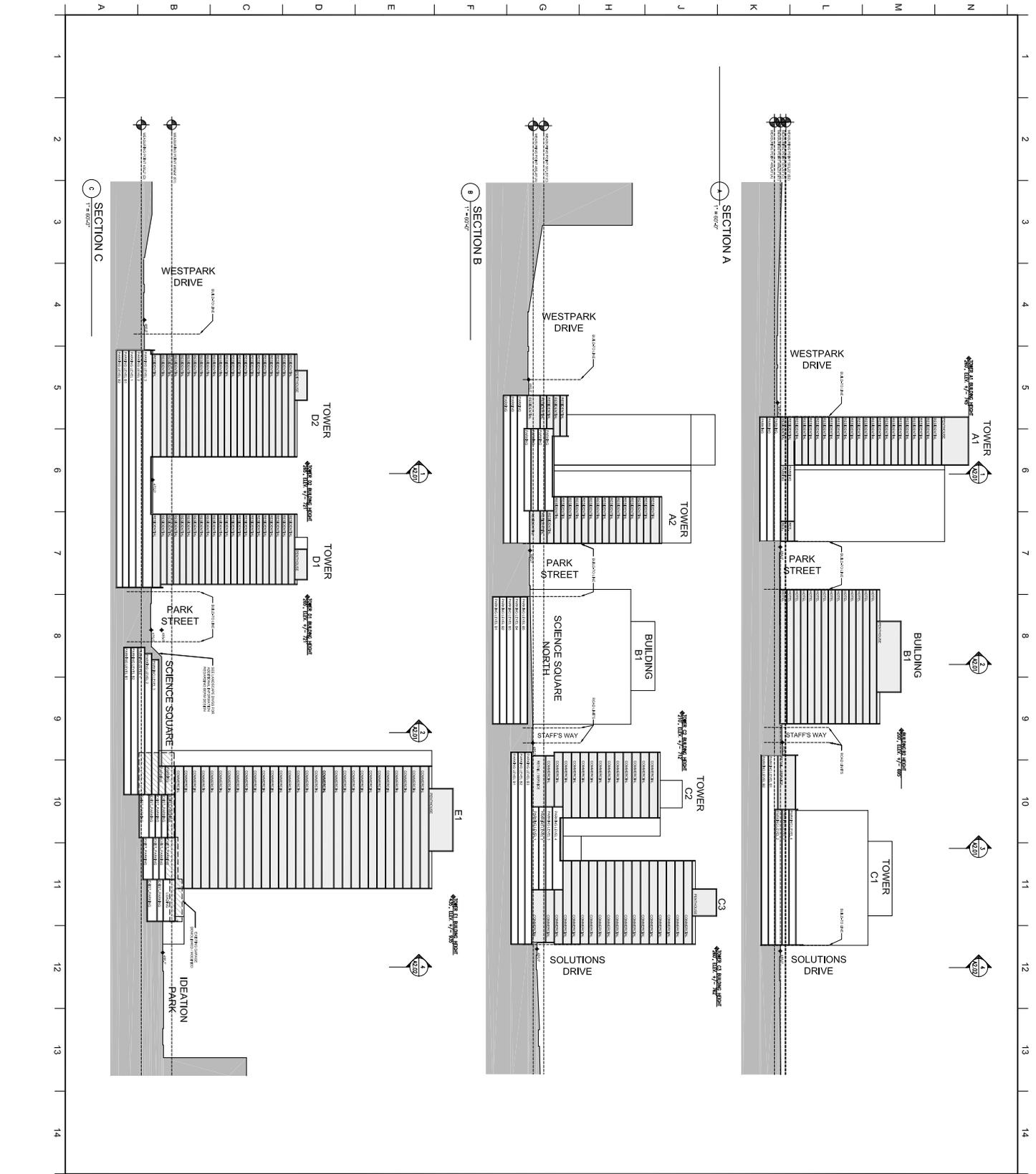
SITE SECTIONS

DATE	DESIGNER	PROJECT NO.
10/22/2012	JPP	A-2.02
08/30/2011	JPP	
11/16/2010	JPP	
10/01/2010	JPP	





- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Building heights include mechanical penthouses which may project 4'-30" above roof level.



NO.	REVISIONS / COMMENTS	DATE
04	CDP Re-submission	10/22/2012
03	CDP Re-submission	08/30/2011
02	CDP Re-submission	11/16/2010
01	CDP Submission	10/01/2010

VFKA, Inc.
 8150 Greenway Oaks, Suite 200 | Fairfax, VA 22031 | 703.442.2800
 2020 West Park Drive | Alexandria, VA 22304 | 703.836.7744

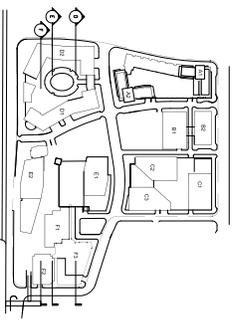
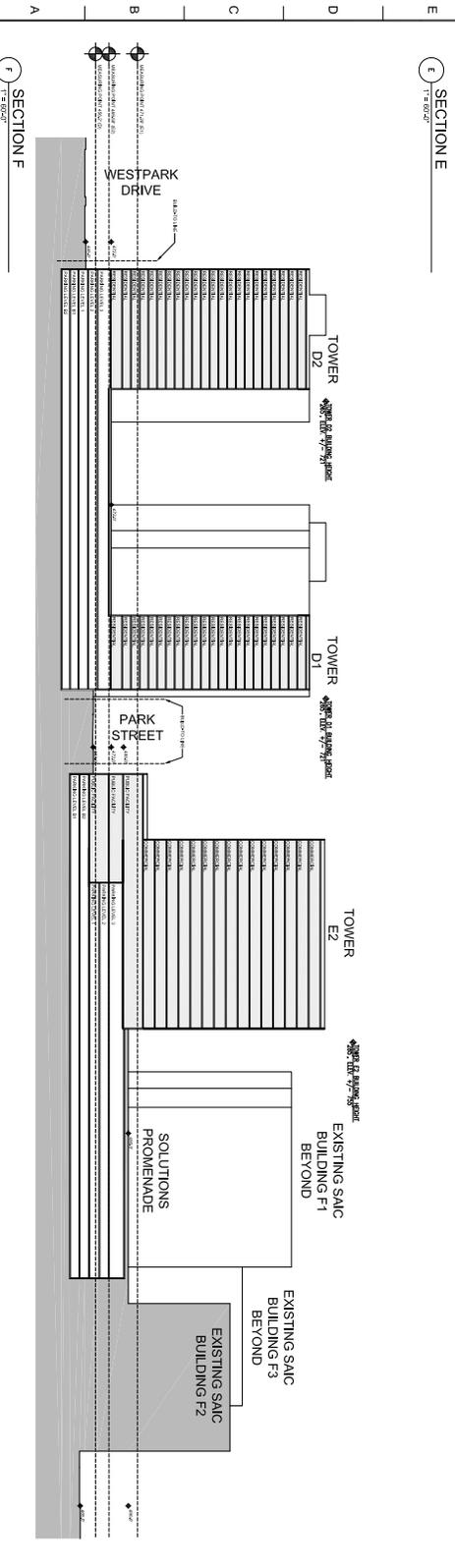
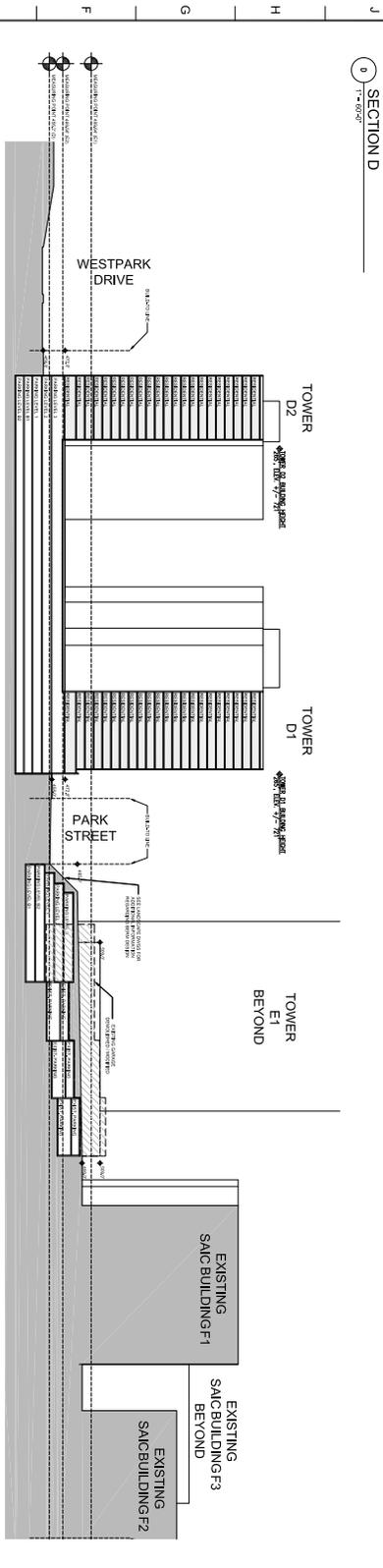
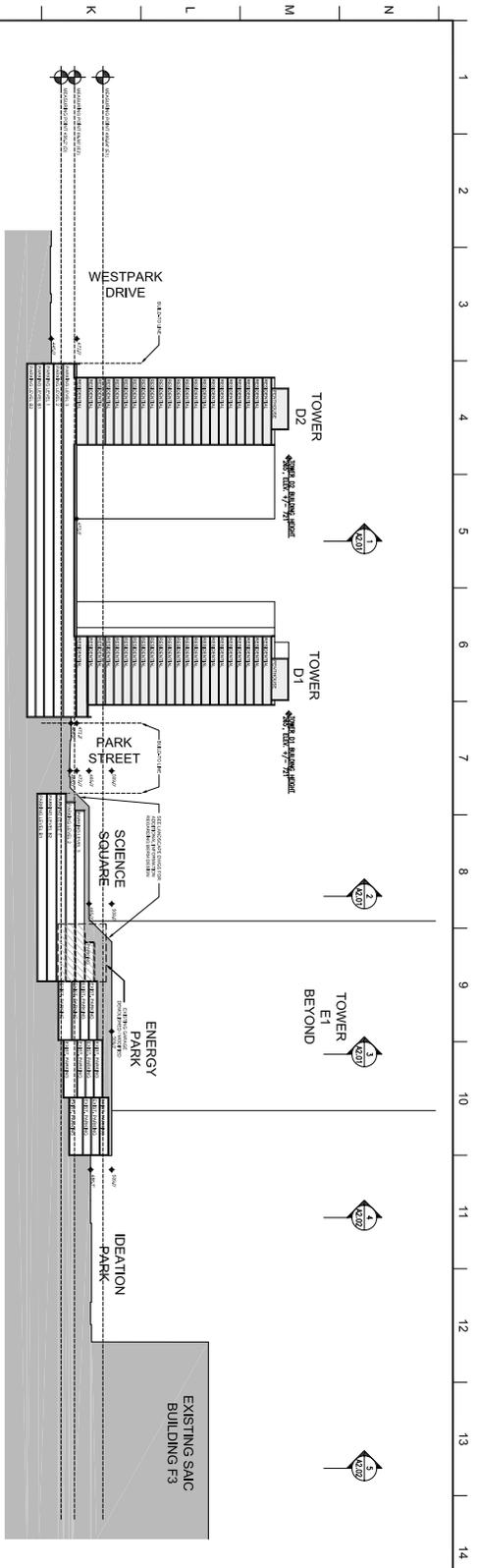
SOLUTIONS PLAZA
 TYSONS CORNER, MCDENAN VA
 DRAWING TITLE:

SITE SECTIONS

DATE	DESIGNER	PROJECT NO.
10/22/2012	JPP	11-156-00
11/16/2010	JPP	11-156-00



A-2.03



- NOTES:
- Grids are approximate and subject to change with final engineering.
 - Building heights include mechanical penthouses which may project 4'-00" above roof level.

NO.	REVISIONS / COMMENTS	DATE
04	CIP Rebuild/alter	10.29.2012
03	CIP Rebuild/alter	07.17.2012
02	CIP Rebuild/alter	06.30.2011
01	CIP Rebuild/alter	11.05.2010

APPROVAL AND TITLE: LP 65101 (REV. 02/07) FROM STREET VIEW (REV. 01/11) (13/07) (12/07) FROM PERMITS (REV. 02/07)

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VKA, Inc.
 8180 Greenway Circle, Suite 200 | Fairfax, VA 22031 | 703.442.2800
 10000 Old Lee Road, Suite 100 | Fairfax, VA 22031 | 703.442.2700
 2000 West Park Drive | Alexandria, VA 22304 | 703.836.7744

SOLUTIONS PLAZA
 TYSONS CORNER, MCDENAN, VA

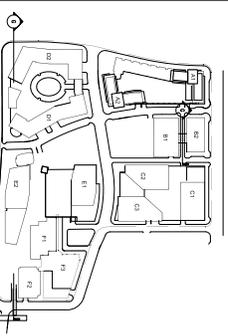
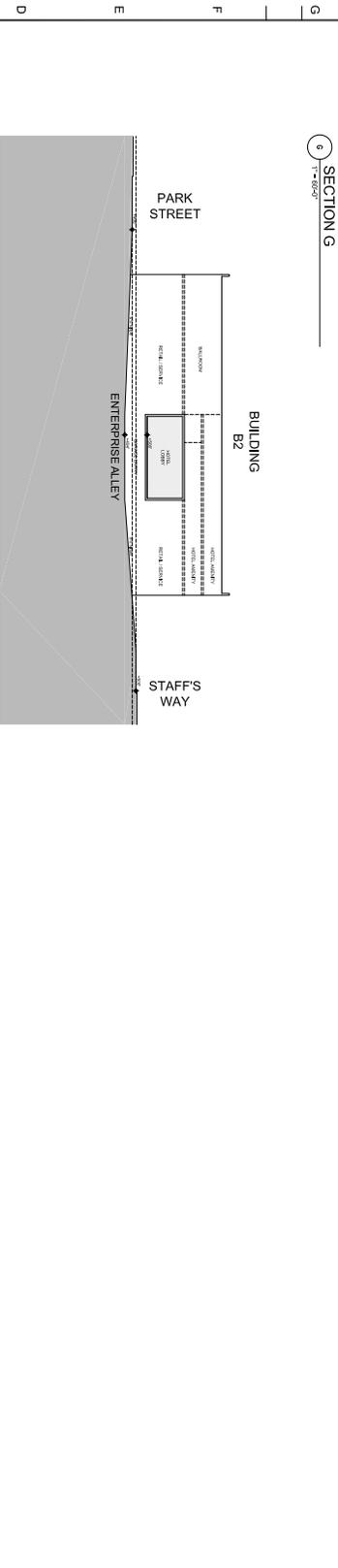
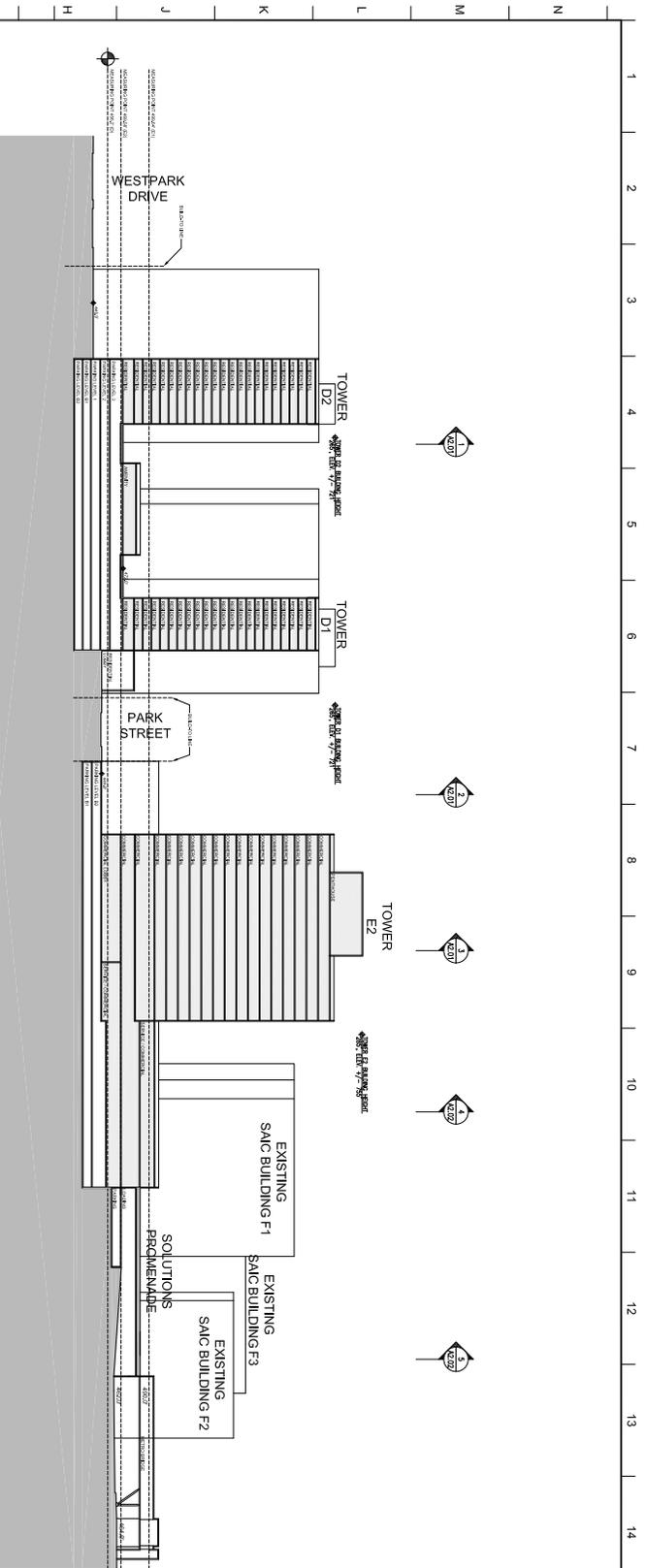
DRAWING TITLE:

SITE SECTIONS

Client:	PROVIDER
Contract:	Construction
Architect:	JFP
Interior Architect:	ALL
Engineer:	PLANNING
Interior Designer:	PLANNING
Photographer:	PLANNING

DATE: 02/22/2012
 TIME: 11:56:40 AM

A-2.04



- NOTES:
- Grids are approximate and subject to change with final engineering.
 - Building heights include mechanical penthouses which may project 4'-59" above roof level.

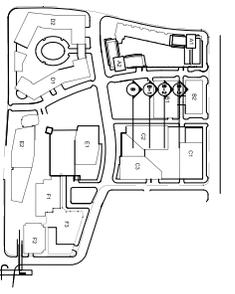
NO.	REVISIONS / EXPLANATIONS	DATE
02	CDP Re-submission	10-22-2012
01	CDP Re-submission	07-17-2012

VKA, Inc.
 8150 Greenway Oaks, Suite 200 | Fairfax, VA 22031 | 703.442.2800
 200 South Park Street | Alexandria, VA 22304 | 703.686.7744

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MCDENNA, VA**

SITE SECTIONS

DRWING TITLE:	NOVEMBER 2012
DATE:	NOVEMBER 2012
DESIGNER:	NOVEMBER 2012
CLIENT:	NOVEMBER 2012
ARCHITECT:	NOVEMBER 2012
ENGINEER:	NOVEMBER 2012
MECHANICAL:	NOVEMBER 2012
ELECTRICAL:	NOVEMBER 2012
PLUMBING:	NOVEMBER 2012
PAVING:	NOVEMBER 2012
LANDSCAPE:	NOVEMBER 2012



KEY PLAN

- NOTES:
1. Grades are approximate and subject to change with final engineering.
 2. Building heights include mechanical penthouses which may project 4'-55" above roof level.

NO.	REVISIONS / COMMENTS	DATE
04	CIP Rebound/finish	10.29.2012
03	CIP Rebound/finish	07.17.2012
02	CIP Rebound/finish	06.30.2011
01	CIP Rebound/finish	11.05.2010

FFOWLE

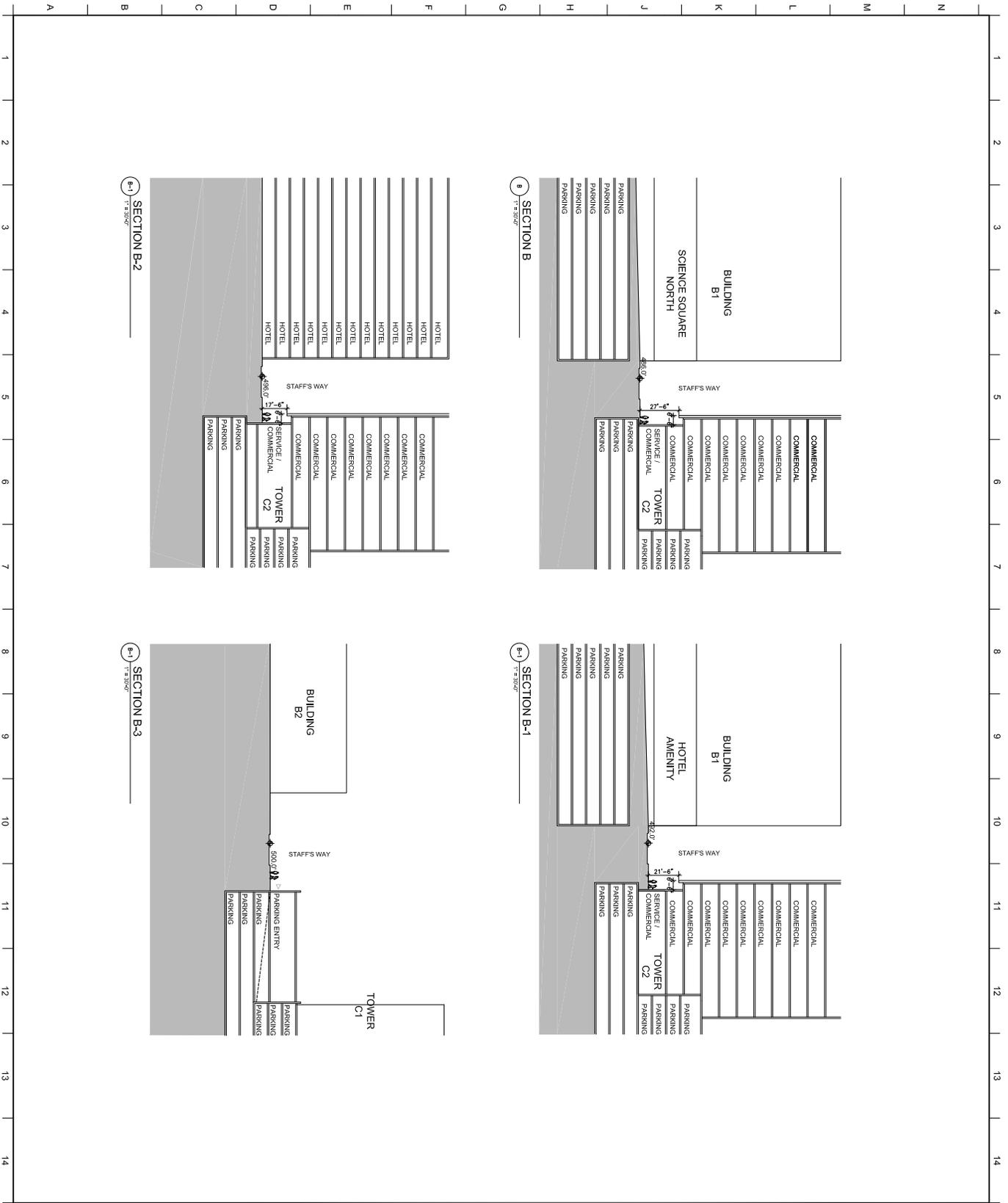
FFOWLE ARCHITECTS, LLP 800 800 1000 1000 STREET NORTH AVENUE, SUITE 1000 | FORT WORTH, TEXAS 76102
 202.520.1000 | www.foxfohle.com | 1001 F STREET, SUITE 1000 | DENVER, CO 80202

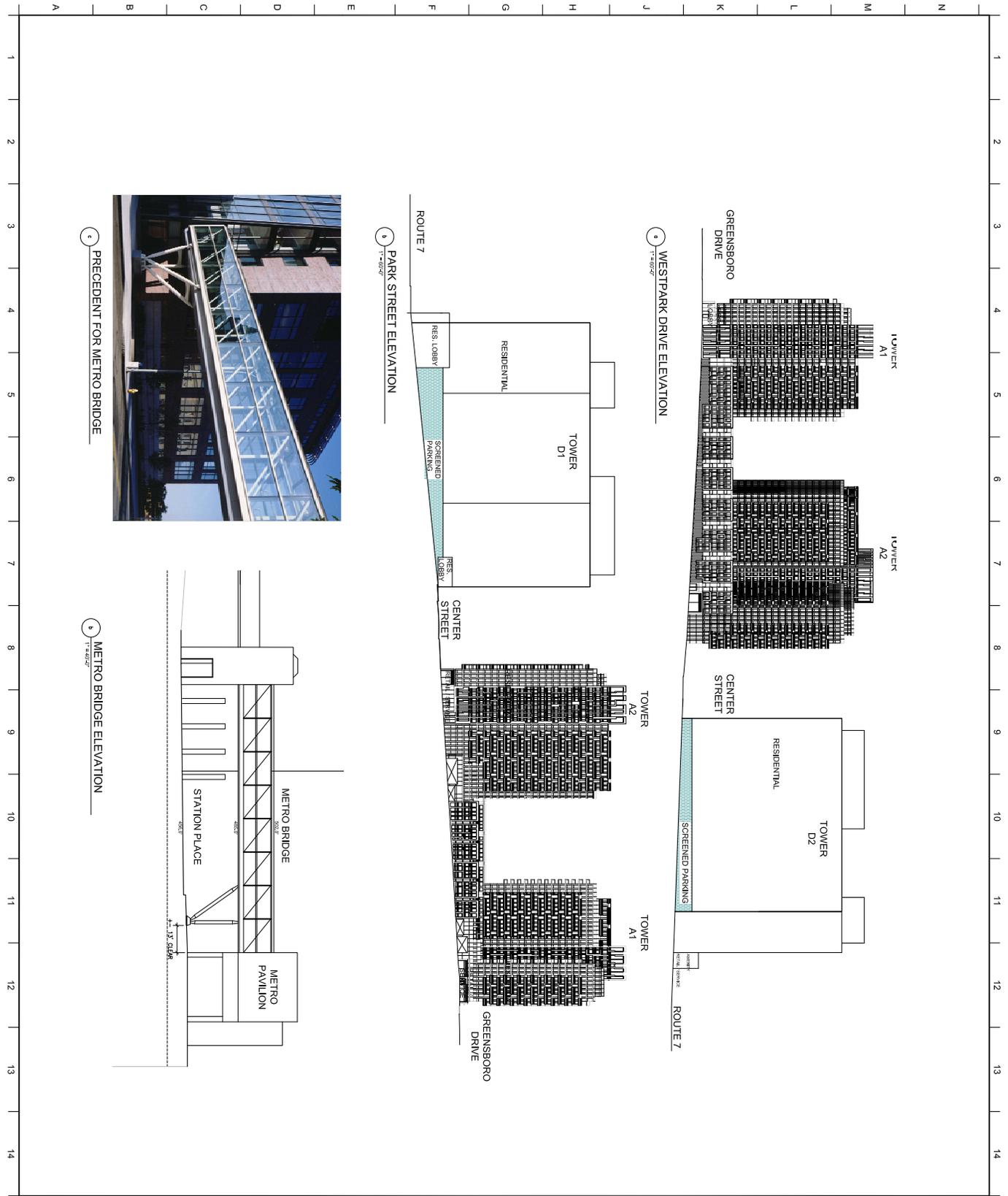
VKA, Inc.
 8100 Greenway Circle, Suite 200 | Naperville, IL 60563 | 708.442.2800
 202.520.1000 | www.vka.com | 1000 P Street, Suite 1000 | Alexandria, VA 22304 | 703.686.7744

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MCDENAN, VA**

PROFESSIONAL SEAL OF THE BOARD OF ARCHITECTS OF THE STATE OF VIRGINIA
 DANIEL KOPPEL
 U.S. No. 014271
 11/15/04
 102222012
 11/15/04

PROJECT: SOLUTIONS PLAZA
 CLIENT: MCDENAN
 DATE: 10/29/12
 DRAWING NO.: A-2.05A

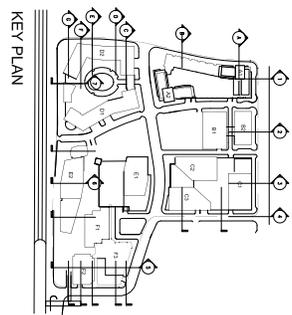
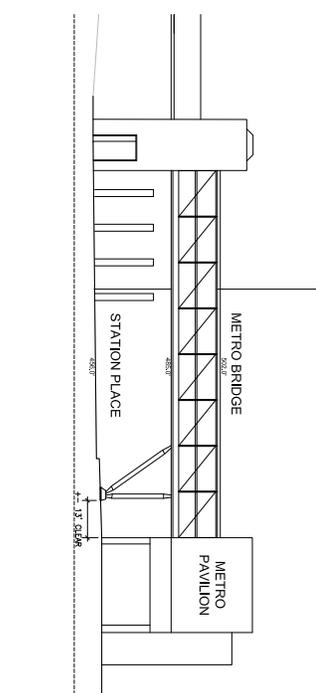




1 PRECEDENT FOR METRO BRIDGE



2 METRO BRIDGE ELEVATION



KEY PLAN

- NOTES:
- Grids are approximate and subject to change with final engineering.
 - Building heights include mechanical penthouses which may project 4'-36" above roof level.

- KEY:
- RESIDENTIAL
 - RETAIL/SERVICE
 - OFFICE
 - COMMERCIAL
 - SCREENED PARKING
 - LANDSCAPE BERM
 - PUBLIC FACILITY

NO.	REVISIONS / COMMENTS	DATE
01	CIP Revisions/Issued	10.22.2012
02	CIP Revisions/Issued	06.30.2011
01	CIP Revisions/Issued	11.05.2010

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FX FOWLE ARCHITECTS, L.P.
 1400 GARDNER STREET, SUITE 1000, ARLINGTON, VA 22202
 703.525.2800
 200 South Park Street, 1st Floor, Alexandria, VA 22304 | 703.525.7744

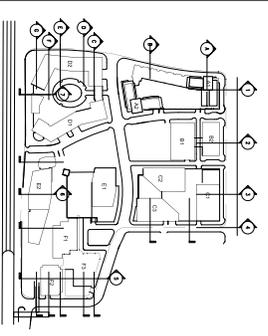
VKA, Inc.
 8100 Greenway Oaks, Suite 200 | Fairfax, VA 22031 | 703.452.2800
 2000 West Park Street, 1st Floor | Alexandria, VA 22304 | 703.525.7744

SOLUTIONS PLAZA
GREENSBORO
 TYSONS CORNER, MCDEN, VA

DRAWING TITLE:

STREET ELEVATIONS

<p>Client: WALTER PIERCE PARTNERS</p> <p>Architect: DANIEL KATZ</p> <p>Contractor: J.P.P.</p> <p>Site: 11111</p> <p>Scale: 1"=50'-0"</p> <p>Date: 10.22.2012</p> <p>Project: 11111</p>	<p>Project No: 11111</p> <p>Scale: 1"=50'-0"</p> <p>Client: WALTER PIERCE PARTNERS</p> <p>Architect: DANIEL KATZ</p> <p>Contractor: J.P.P.</p> <p>Site: 11111</p> <p>Scale: 1"=50'-0"</p> <p>Date: 10.22.2012</p> <p>Project: 11111</p>
---	--



KEY PLAN

- NOTES:
1. Grades are approximate and subject to change with final engineering.
 2. Building heights include mechanical penthouses which may project +/- 5'-0" above roof level.

KEY:

- RESIDENTIAL
- RETAIL/SERVICE
- OFFICE
- COMMERCIAL
- SCREENED PARKING
- LANDSCAPE BERM
- PUBLIC FACILITY

NO.	REVISIONS/EXPLANATIONS	DATE
01	CIP Rebound/As-Built	10/22/2012
02	CIP Rebound/As-Built	06/30/2011
01	CIP Rebound/As-Built	11/05/2010

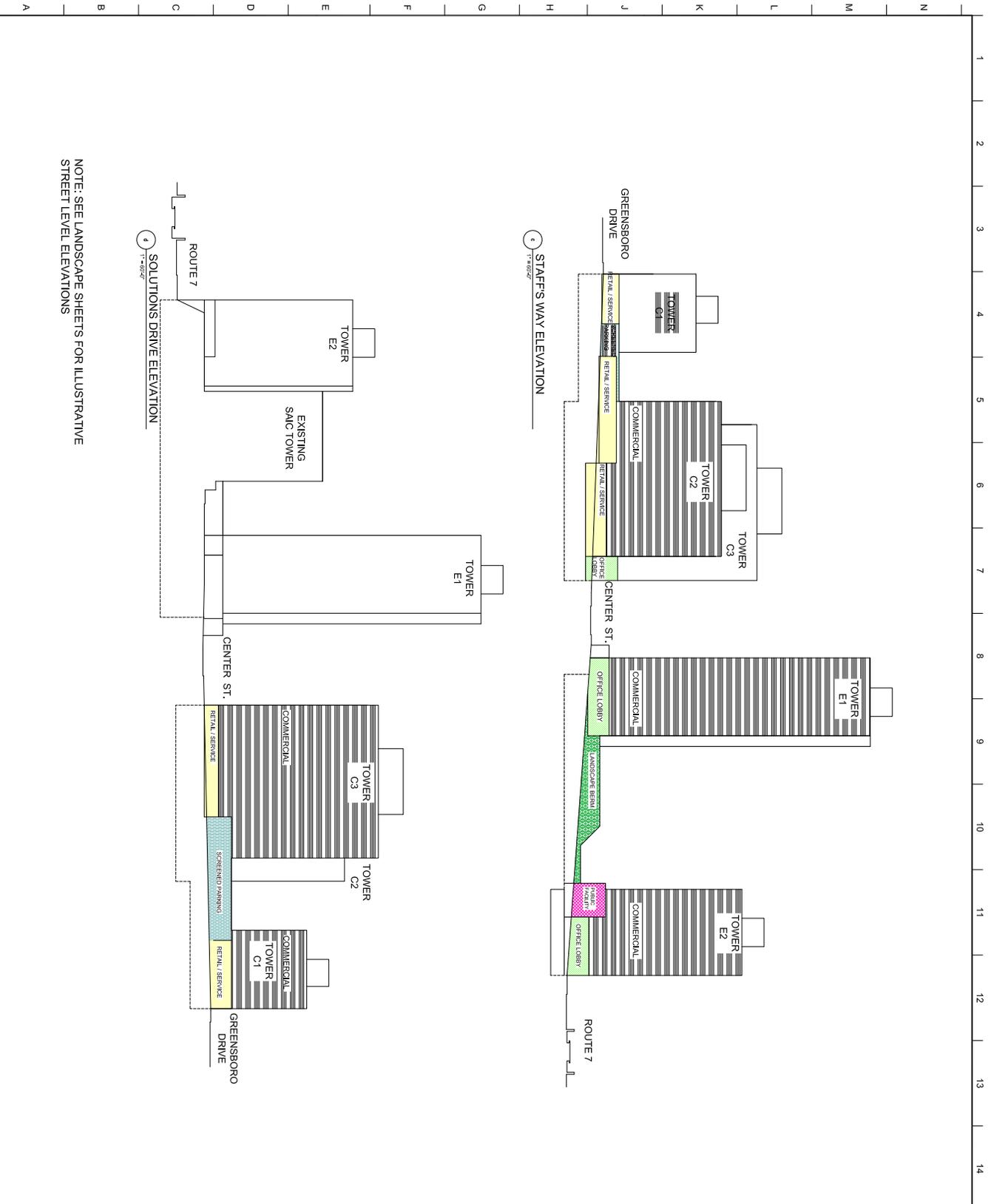
VKA, Inc.
 1110 Greenbush Ln, Suite 200 | Blacksburg, VA 24062 | 753.642.2890
 20200 Parkwood Drive | Blacksburg, VA 24062 | 753.642.2744

SOLUTIONS PLAZA
 TYSONS CORNER, McLEANS, VA

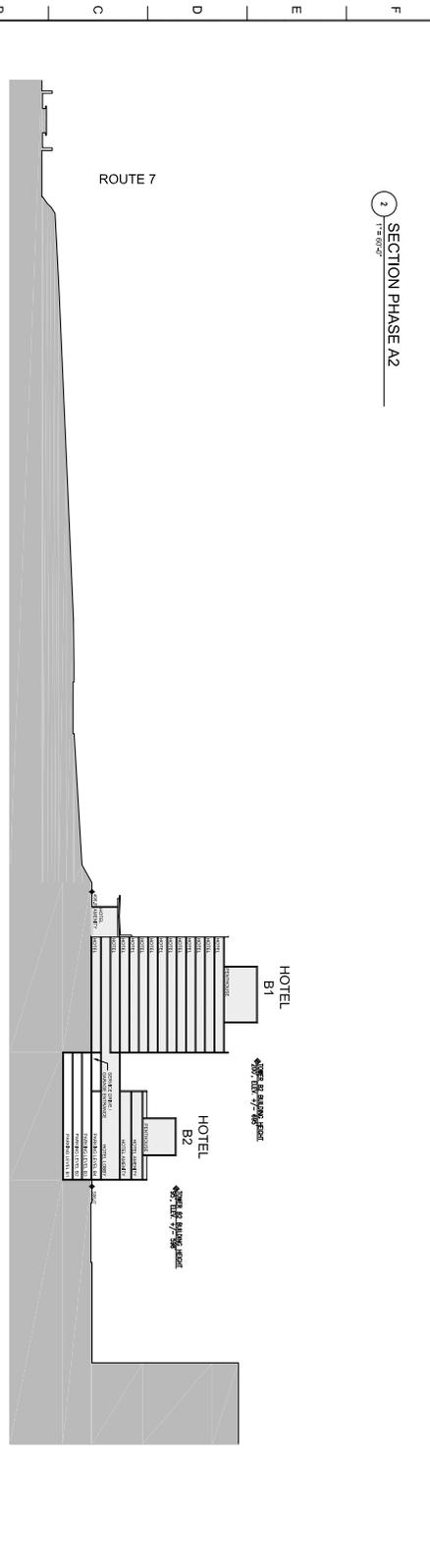
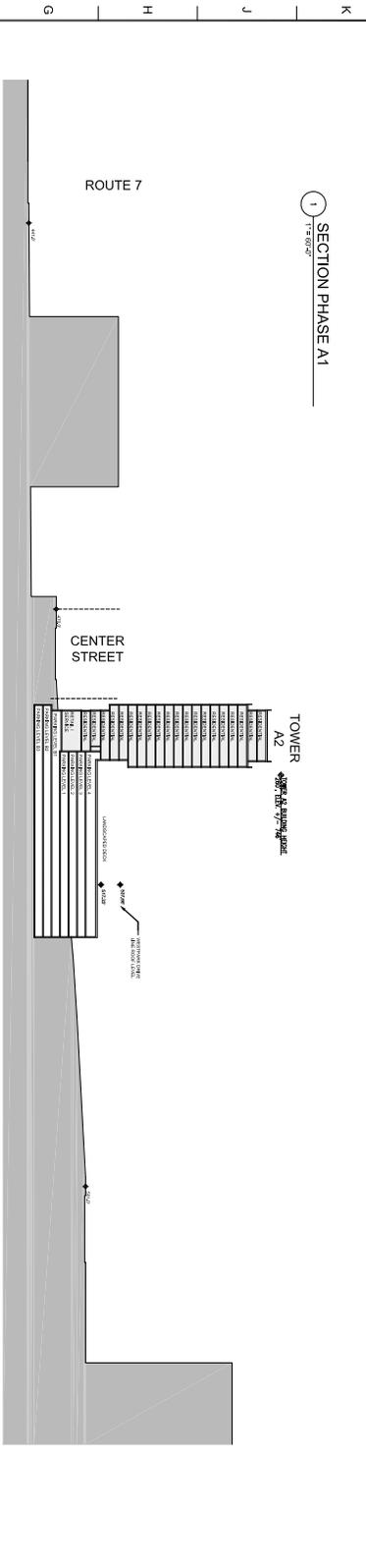
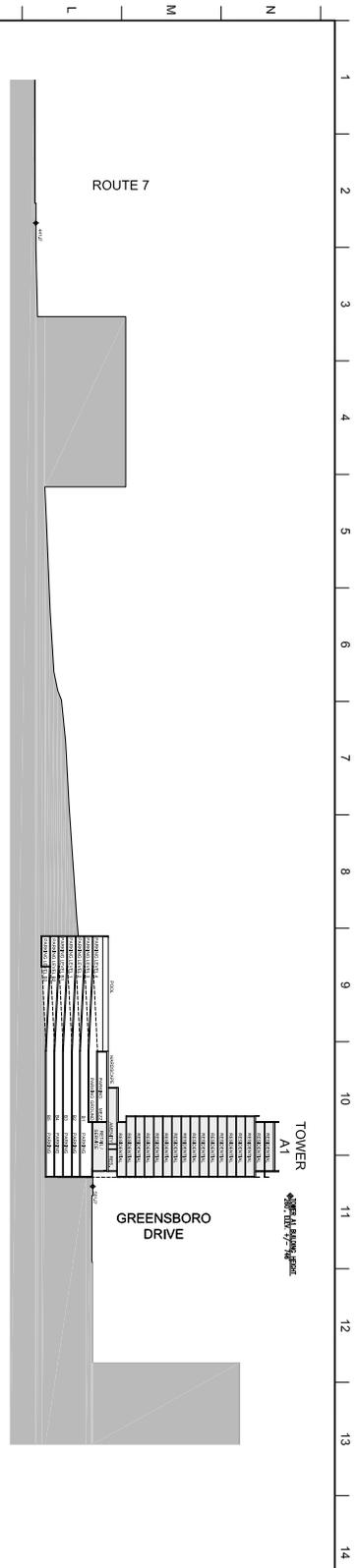
DRAWING TITLE:
STREET ELEVATIONS

PROFESSIONAL SEAL
 STATE OF VIRGINIA
 CIVIL ENGINEER
 DANIEL J. JOHNSON
 License No. 018278

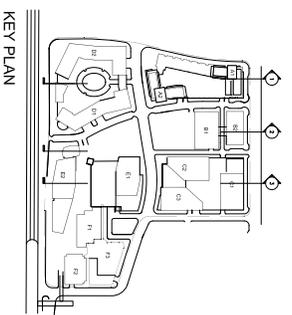
DATE: 10/22/2012
 DRAWN BY: JPP
 CHECKED BY: DJJ
 PROJECT: SOLUTIONS PLAZA
 SHEET: A-2.107



NOTE: SEE LANDSCAPE SHEETS FOR ILLUSTRATIVE STREET LEVEL ELEVATIONS



NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANS BY PHASE.



- NOTES:
1. Grades are approximate and subject to change with final engineering.
 2. Refer to landscape drawings for plans by phase.

NO.	REVISIONS / ESTIMATIONS	DATE
02	CIP Rebound/Rebid	10/22/2012
03	CIP Rebound/Rebid	08/30/2011
02	CIP Rebound/Rebid	11/16/2010
01	CIP Submission	10/01/2010

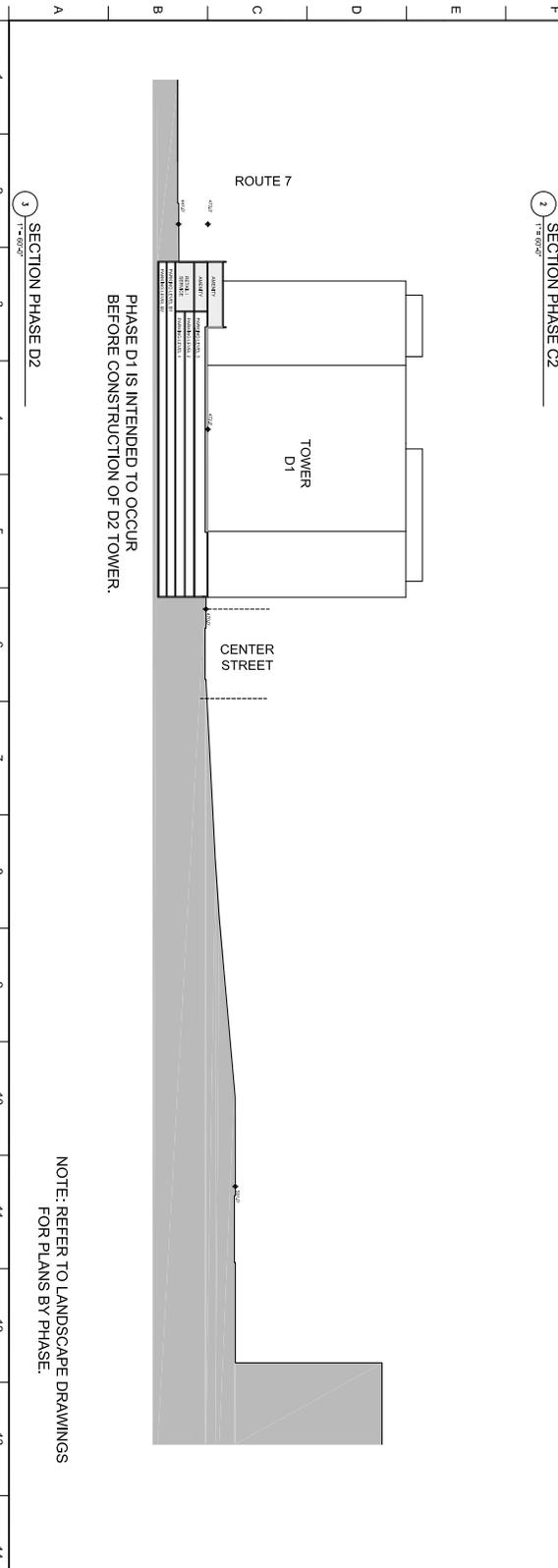
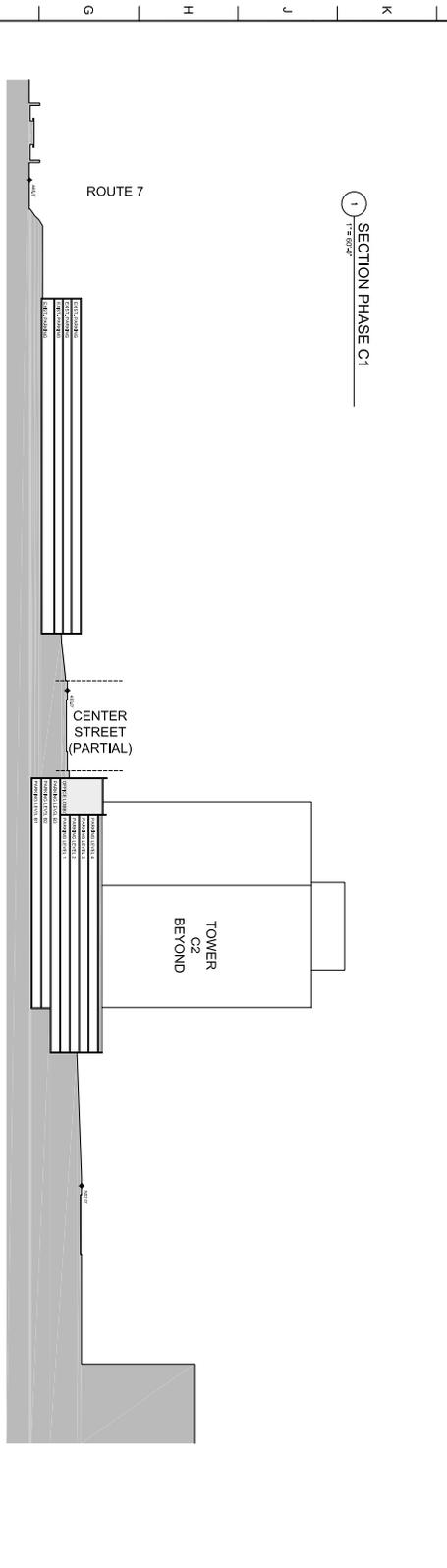
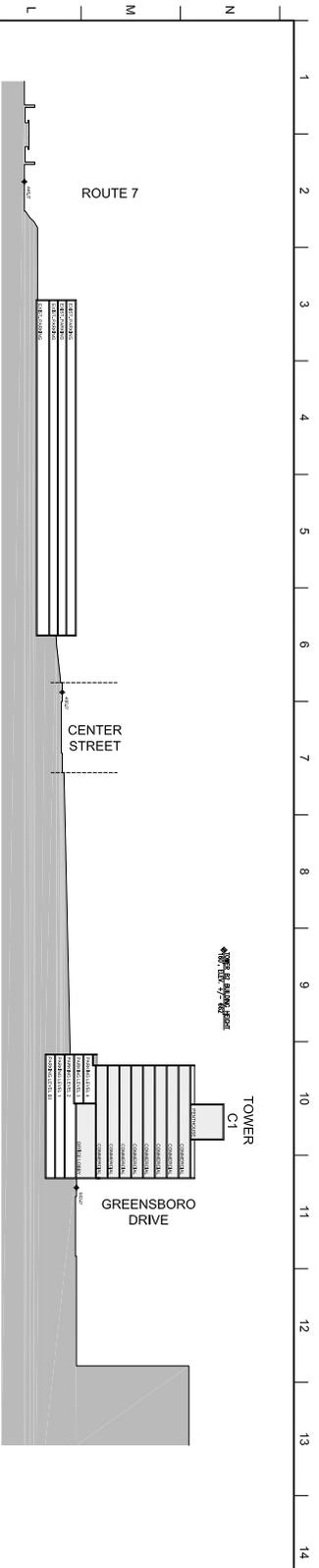
FX FOWLE

PROFESSIONAL ARCHITECTS, L.P. 801 WEST STREET, SUITE 2000, DALLAS, TEXAS 75201-2800
 214.760.1234 FAX 214.760.1235 WWW.FXFOWLE.COM

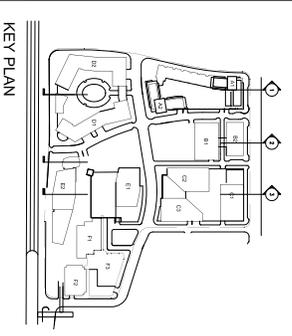
VKA, Inc.
 8180 Greenway Circle, Suite 200 | Dallas, TX 75242-2800
 214.343.1234 FAX 214.343.1235 WWW.VKAINC.COM
 SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MCKEAN, VA

PHASING SECTIONS
 DRAWING TITLE:
 DATE: 10/22/2012
 DRAWN BY: JPP
 CHECKED BY: JPP
 PROJECT NO.: 11-03-001
 SHEET NO.: A-3.01

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NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANS BY PHASE.



- NOTES:
1. Grades are approximate and subject to change with final engineering.
 2. Refer to landscape drawings for plans by phase.

NO.	REVISIONS / COMMENTS	DATE
01	CPR Resubmission	10/01/2010
02	CPR Resubmission	11/16/2010
03	CPR Resubmission	06/30/2011
04	CPR Resubmission	11/16/2010
05	CPR Resubmission	10/22/2012

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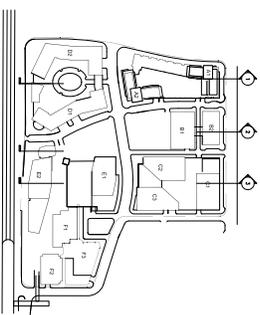
VKVA, Inc.
 1100 Commonwealth Center, Suite 200 | Fairfax, VA 22031 | 703.442.2800
 2000 North Point Street | Alexandria, VA 22304 | 703.836.7744

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MCDENAN, VA**

PHASING SECTIONS

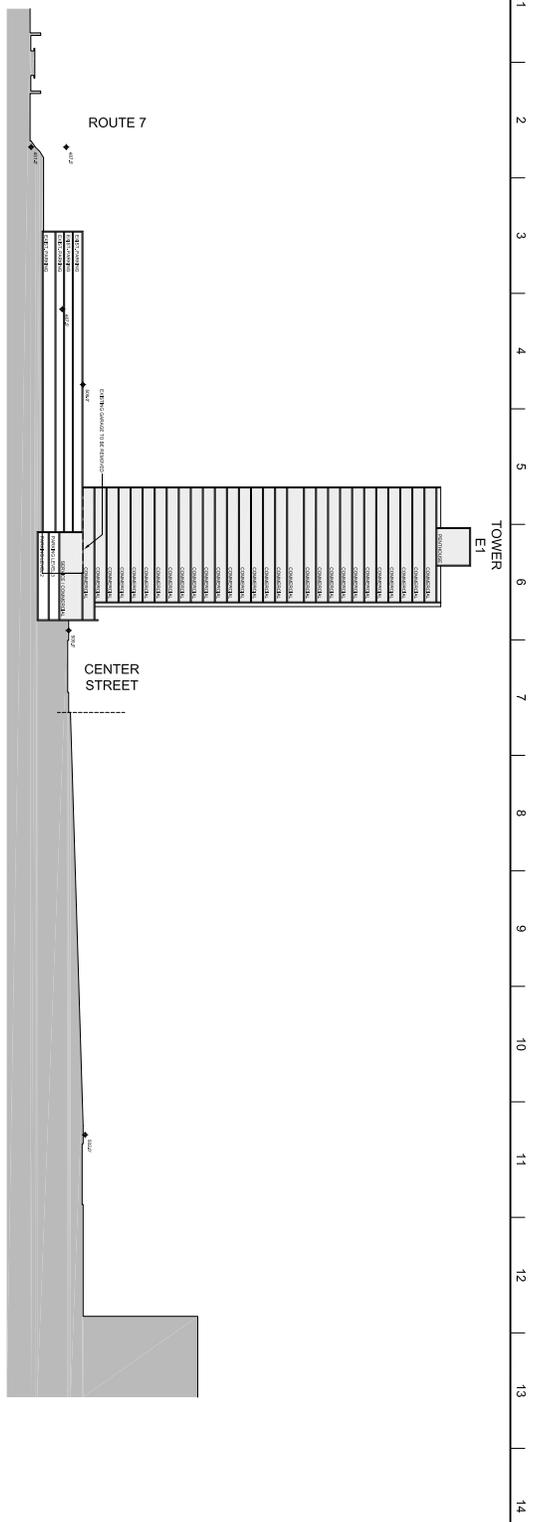
Daniel K. Kishin
 License No. 6142718
 State of Virginia
 Mechanical Engineering

A-3.02

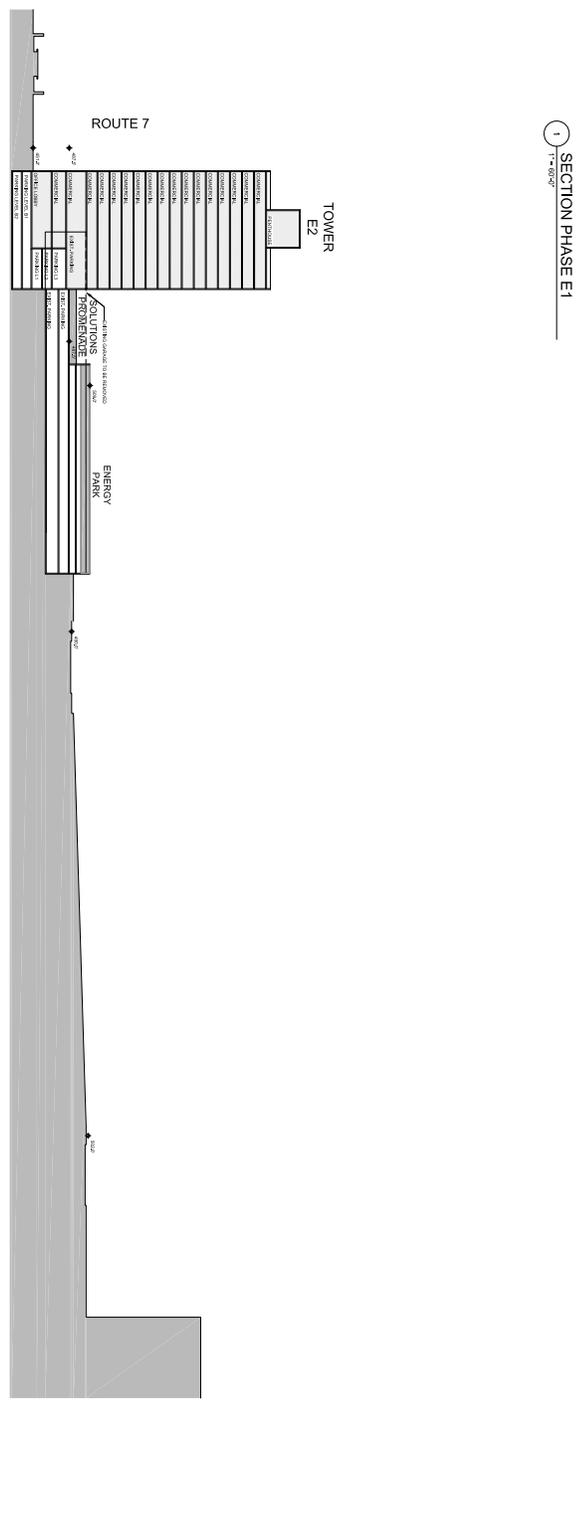


KEY PLAN

- NOTES:
1. Grades are approximate and subject to change with final engineering.
 2. Refer to landscape drawings for plans by phase.



SECTION PHASE E1
1" = 8'-0"



SECTION PHASE C2
1" = 8'-0"

NOTE: REFER TO LANDSCAPE DRAWINGS FOR PLANS BY PHASE.

NO.	REVISIONS	DATE
02	CIP Rebuild/section	10-22-2012
03	CIP Rebuild/section	08-30-2011
02	CIP Rebuild/section	11-15-2010
01	CIP Rebuild/section	10-01-2010

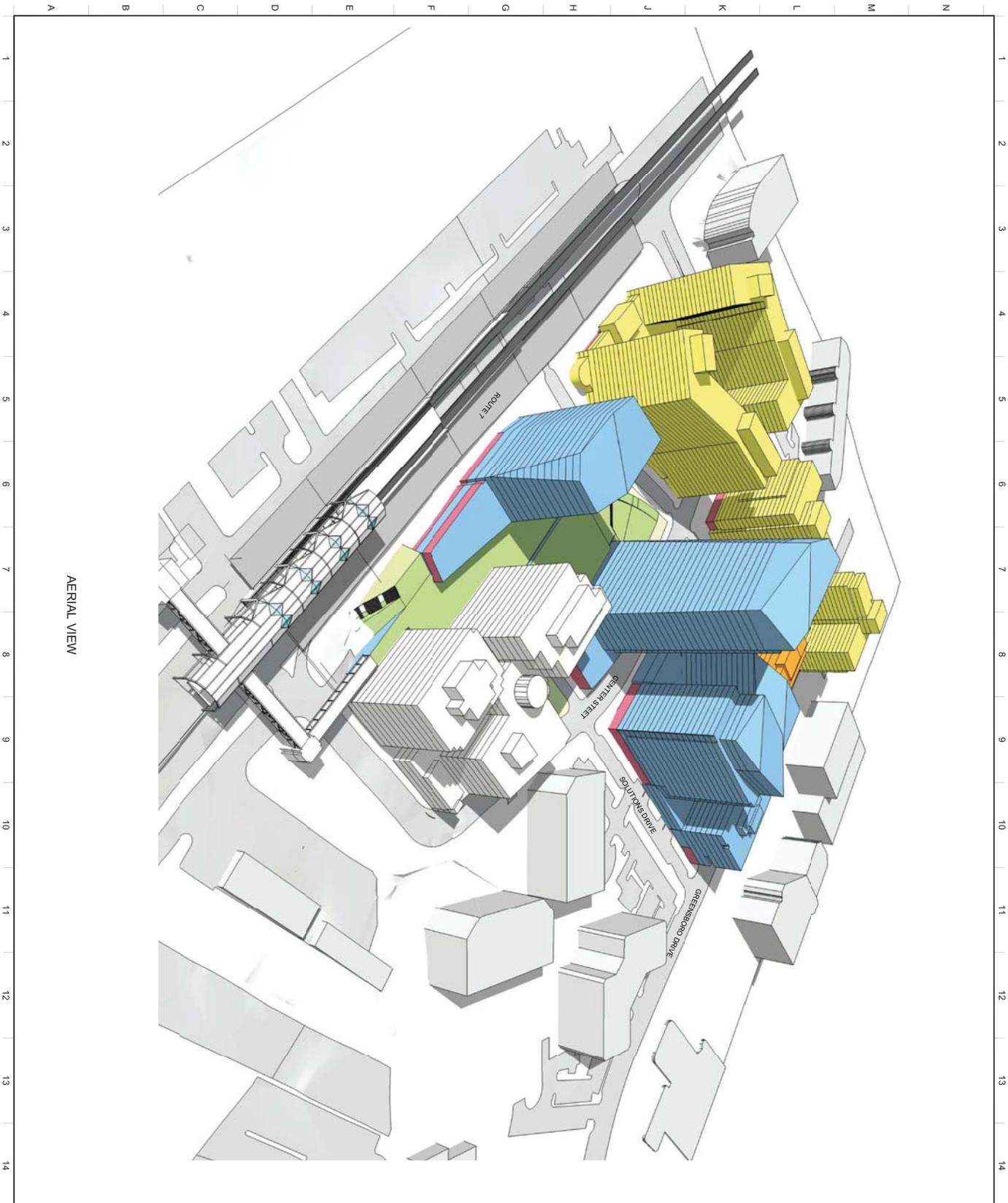
F X FOWLE

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1110 Greenway Circle, Suite 200 | Fairfax, VA 22034 | 703.442.2800
200 South Park Street | Alexandria, VA 22314 | 703.839.7744

SOLUTIONS GREENSBORO
TYSONS CORNER, MCDEN, VA

PHASING SECTIONS

Project: SOLUTIONS GREENSBORO
 Client: VPKA, Inc.
 Date: 10/27/2012
 Scale: 1" = 8'-0"
 Drawing No.: A-3.03



AERIAL VIEW

- RESIDENTIAL
- OFFICE
- HOTEL
- RETAIL / SERVICE
- EXISTING BUILDING
- GREEN ROOF / PLAZA
- PARKING
- PUBLIC FACILITY

NO.	REVISIONS	DATE
05	CDP Resubmission	10/22/2012
04	CDP Resubmission	07/17/2012
03	CDP Resubmission	07/16/2010
02	CDP Resubmission	11/16/2010
01	CDP Submission	10/01/2010

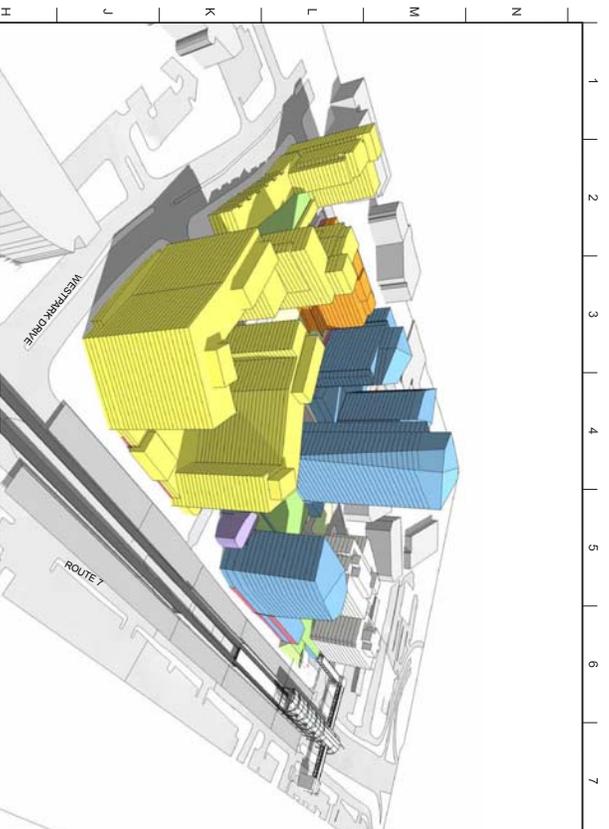
FX FOWLE
 ARCHITECTS
 1100 EAST WASHINGTON AVENUE, SUITE 1100 | GREENSBORO, NC 27401
 WWW.FXFOWLE.COM

VICKI, INC.
 6000 Davidson Drive, Suite 2001 | Raleigh, NC 27612 | 703.427.8900
 LANDSCAPE ARCHITECTS
 10000 Research Triangle Park Drive | Research Triangle Park, NC 27709

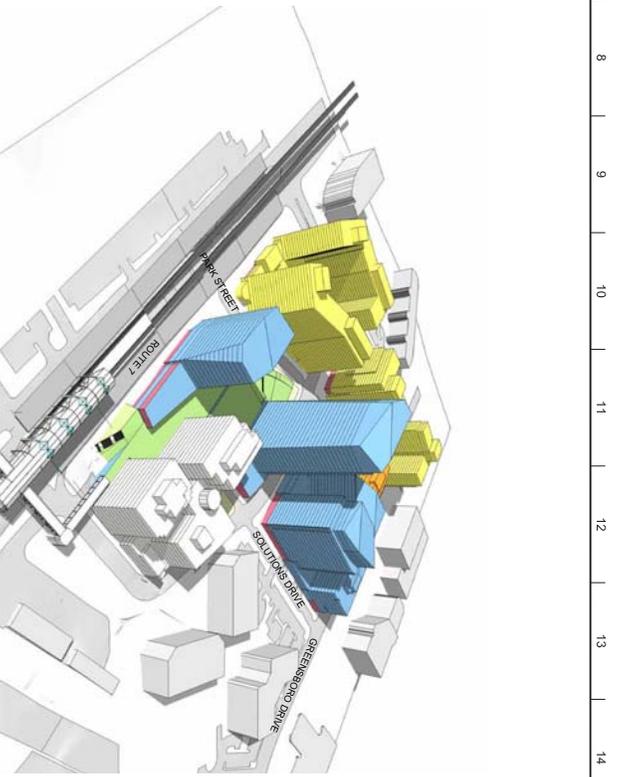
SOLUTIONS PLAZA
GREENSBORO
 TYSONS CORNER, MOLEAN, VA

CONTRACT TITLE
AERIAL VIEW

	Client:	VICKI, INC.	Project No.:	100122100
	Architect:	FX FOWLE	Contract No.:	A-4.01



VIEW LOOKING EAST



VIEW LOOKING NORTH



VIEW LOOKING WEST



VIEW LOOKING SOUTH

- RESIDENTIAL
- OFFICE
- HOTEL
- RETAIL / SERVICE
- EXISTING BUILDING
- GREEN ROOF / PLAZA
- PARKING
- PUBLIC FACILITY

NO.	DESCRIPTION	DATE
05	CDP Resubmission	10/22/2012
04	CDP Resubmission	07/17/2012
03	CDP Resubmission	11/16/2010
01	CDP Submission	10/01/2010
REVISIONS DISCUSSIONS:		
NO.	DESCRIPTION	DATE

FXFOWLE

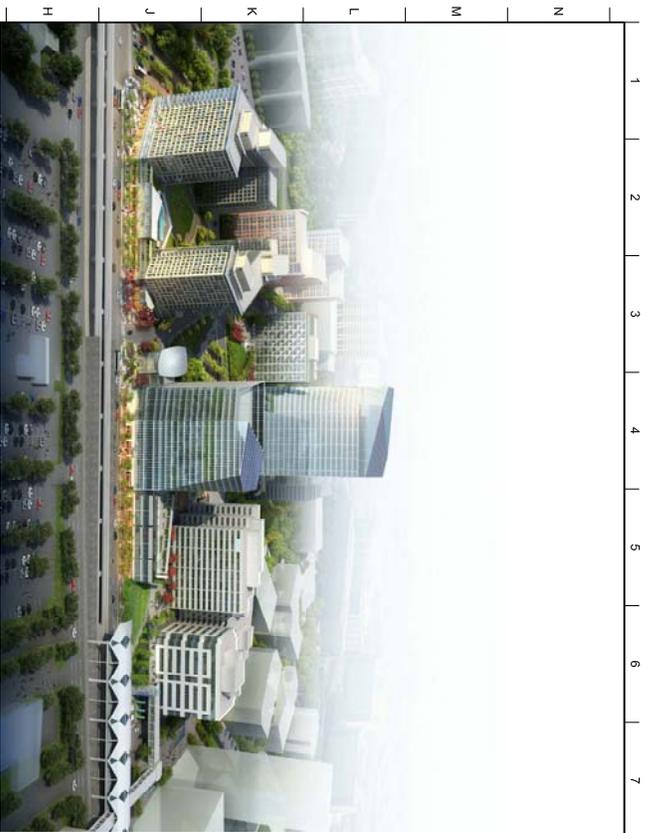
VJCA, LLC
 2100 Commonwealth Drive, Suite 2001, Fairfax, VA 22031 | 703.443.8800
 LANDSCAPE ARCHITECTS
 1000 North 17th Street, Alexandria, VA 22304 | 703.424.2754

SOLUTIONS PLAZA
GREENSBORO
 TYSONS CORNER, MCLEAN, VA

DESIGNED BY
VIEWING INTO THE SITE

	Daniel J. McLean License No. 61428 State of Virginia Mechanical Engineering
Date: 10/22/12 Scale: 1/8" = 1'-0"	Project No.: 100712.00 Client: VJCA, LLC Drawn By: [Name]

A-4.02



1 ROUTE 7 PERSPECTIVE



2 GREENSBORO DRIVE PERSPECTIVE



3 WESTPARK DRIVE PERSPECTIVE

- NOTES:
1. Grades are approximate and subject to change with final engineering.
 2. Building heights include mechanical penthouses which may project +1'-35" above roof level.
 3. All elevations and materials are for illustrative purposes only. To illustrate general concepts and character. They are subject to final architectural and engineering design.

02 CDP Reevaluation 10.22.2012 DATE
 01 CDP Reevaluation 07.17.2012 DATE
 00 REVISIONS DISCONTINUED

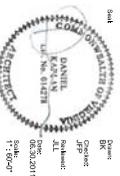
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VTKA, LLC
 1810 Commonwealth Circle, Suite 2001 | Fairfax, VA 22031 | 703.642.0700
 LANDED SIGN | Alexandria, VA 22304 | 703.546.0700
 2000 North 17th Street | Arlington, VA 22209

**SOLUTIONS PLAZA
 GREENSBORO**
 TYSONS CORNER, MOLEAN, VA

ILLUSTRATIVE PERSPECTIVES

Scale: 1/8"=1'-0"
 Date: 10/22/12
 Project: Solutions Plaza
 Drawing: Perspectives
 Drawn by: J. Smith
 Checked by: J. Smith
 Date: 10/22/12



A-4.03

1 2 3 4 5 6 7 8 9 10 11 12 13 14



HORIZONTAL BANDING

Materials and details should support a scale and character commensurate with a walkable and welcoming neighborhood. Residential light use design should provide a sense of scale and character and contribute to create visual interest and distinct identities



MASONRY INTERWOVEN WITH GLASS

The facade a variety of materials are appropriate. Masonry, terra cotta, architectural precast, metal panels and window wall systems should be considered for their color, texture and how they relate to the overall composition of materials.



INTEGRATED BALCONIES

with the overall development. Building entrances should contribute to the pedestrian experience and enhance the public realm. Balconies and other architectural features should be designed to provide a sense of scale and character and contribute to create visual interest and distinct identities



MASONRY

with the overall development. Building entrances should contribute to the pedestrian experience and enhance the public realm. Balconies and other architectural features should be designed to provide a sense of scale and character and contribute to create visual interest and distinct identities



GLASS SKINNED



SOLAR RESPONSE



CRYSTALLINE MASSES



ARTICULATED FACADE



DISTINCTIVE FORMS



DISTINCTIVE FORMS

Office towers should be designed as part of an overall composition with each individual tower responding to its own unique site conditions and program requirements. Tower design should maximize access to view corridors through the site and allow each building to have a distinct identity within the overall composition. Towers should have a clear base articulation to meet the pedestrian realm. Tower design should be varied and avoid a uniform facade. Materiality and color should be considered for their aesthetic quality and integration with the overall project. The glass color and composition should be considered in relationship to other building materials and the glass transparency/considered from both the interior and exterior. Parking should be integrated into the overall design and attention to the composition of opening and voids.

The hotel is in a prominent location in the project. The building should be designed to respect the unique character of the site and provide a sense of scale and character to the public realm. The hotel represents a semi-private realm and this should be expressed in a warm and welcoming facade that relates to its context. Canopies and other features should be incorporated to provide a sense of scale and character between the interior and exterior experiences.



REMOVED GLASS FACADE



GRAND ENTRY



FRAMED GLASS FACADE



GRIDDED PATTERN



GRIDDED PATTERN

The hotel is in a prominent location in the project. The building should be designed to respect the unique character of the site and provide a sense of scale and character to the public realm. The hotel represents a semi-private realm and this should be expressed in a warm and welcoming facade that relates to its context. Canopies and other features should be incorporated to provide a sense of scale and character between the interior and exterior experiences.

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NOTES:

- 1. Precedents are for illustrative purposes only. To illustrate general concepts and character. They are subject to final architectural and engineering design.

02	CIP Re-submission	10.22.2012
01	CIP Re-submission	07.17.2012
00	REVISIONS	DATE

FX FOWLE

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 LAND DESIGN
 10000 Old Dominion Blvd, #1000 | Norfolk, VA 23514 | 757.634.7974

SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, McLENN, VA

ARCHITECTURAL PRECEDENTS 1

Scale: 1/8" = 1'-0"

Project No.: 08/12/06

Discipline: Architecture

Prepared by: JDF

Checked by: JDF

Drawn by: JDF

Date: 10/22/2012

A-4.04

1 2 3 4 5 6 7 8 9 10 11 12 13 14



EXPRESSED PARLOUR LEVEL



VERTICAL DIVISION OF STREET WALL



REGULAR RHYTHM



TOWNHOUSE SCALE



INTEGRATED BALCONIES

LOW RISE RESIDENTIAL
The low rise residential buildings should provide a continuous and varied streetwall. They should be assigned to create an interesting pedestrian experience. Building heights should be varied to create a sense of scale, canopy's or other elements. The first floor (or ground

floor residential users should be offset from adjacent sidewalk to provide privacy for residents. Steps, ramps, or ADA compliant lifts to building access should not be used to create a sense of scale, canopy's or other elements with overall architectural expression. The low rise portions

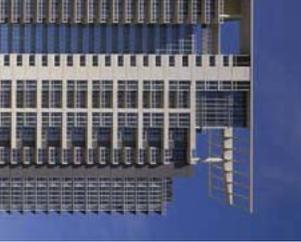
should define a distinctive building base with a change in materials or facade details that refine and support to residential scale for the block.



PROJECTING CANOPIES



CELBRATED SCREEN WALL



SUPER-SCALE CANOPIES



SLOPED PROFILE



PLANES AND MASSES

BUILDING TOPS
Create distinctive towers by incorporating features with parapets, cornices and unique tower tops and bulkheads. Building tops should support overall composition and architectural expression. The architectural expression of proposed buildings

should be integrally designed with parapets, cornices and bulkheads. Visible mechanical systems or other systems should be integrated into the overall architectural expression. The architectural expression of proposed buildings and even the pedestrian realm by

considering the vantage points of each tower.



PEDESTRIAN SCALED



INTEGRATED SIGNAGE AND LOWER ZONES



SEALERS WITH PLAZA SPACES



INTEGRATED WITH BUILDING ENTRIES



CANOPIES AND WINDOWS



MAXIMIZED TRANSPARENCY

RETAIL / SERVICE
The retail/service storefronts will be an important component in establishing the overall character of the pedestrian friendly within a consistent framework. Signage can be part of a lively streetscape and should be considered in the design of the ground floor facades where retail/service

uses are permitted. Ground floor facades should relate to the upper floors of the building through materials, colors, and scale.

uses are permitted. Ground floor facades should relate to the upper floors of the building through materials, colors, and scale.

uses are permitted. Ground floor facades should relate to the upper floors of the building through materials, colors, and scale.

uses are permitted. Ground floor facades should relate to the upper floors of the building through materials, colors, and scale.

uses are permitted. Ground floor facades should relate to the upper floors of the building through materials, colors, and scale.

NOTES:

1. Precedents are for illustrative purposes only. To illustrate general concepts and character. They are subject to final architectural and engineering design.

CPA Resubmission 10.22.2012
CPA Resubmission 07.17.2012

REVISIONS RESPONSIBLE DATE

FX FOWLE

VIA: IFC
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 LAND DESIGN | 1700 Westpark Dr, Suite 100 | Fairfax, VA 22031 | 703.462.7800
 2000 Old Lee Highway, Suite 100 | Fairfax, VA 22031 | 703.462.7800

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, McLEAN, VA**

DATE: 10.22.2012

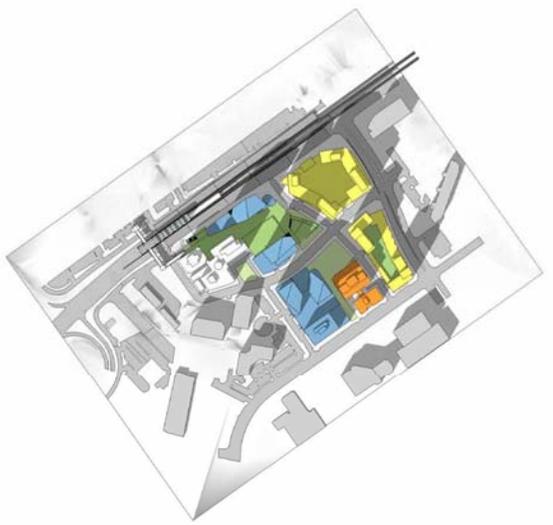
ARCHITECTURAL PRECEDENTS 2

Scale: 1/8" = 1'-0"

Project No.: 0872105
 Date: 10/22/2012
 Drawing: Planning
 Drawing Title: A-4.05

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1 2 3 4 5 6 7 8 9 10 11 12 13 14



MARCH 21 & SEPTEMBER 21 - 9:00 AM



MARCH 21 & SEPTEMBER 21 - 12:00 PM



MARCH 21 & SEPTEMBER 21 - 3:00 PM

1 2 3 4 5 6 7 8 9 10 11 12 13 14

- RESIDENTIAL
- OFFICE
- HOTEL
- RETAIL / SERVICE
- EXISTING BUILDING
- GREEN ROOF / PLAZA
- PARKING
- PUBLIC FACILITY

NO.	REVISIONS / SUBMISSIONS	DATE
05	CDP Re-submission	10/22/2012
04	CDP Re-submission	07/17/2012
03	CDP Re-submission	07/16/2012
02	CDP Re-submission	11/16/2010
01	CDP Submission	10/01/2010

FXFOWLE

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 10100 Commonwealth Blvd., Suite 2001 | Fairfax, VA 22031 | 703.462.7900
 LAND DESIGN | PLANNING | ARCHITECTURE | INTERIORS
 10000 Lakeside Drive | Alexandria, VA 22304 | 703.836.7700

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MIDDLEBURY, VA**

DESIGNED BY
SHADE AND SHADOW STUDIOS

Daniel M. Kelly, AIA
 Principal
 100721200
 Daniel M. Kelly, AIA
 Principal
 100721200
 Daniel M. Kelly, AIA
 Principal
 100721200

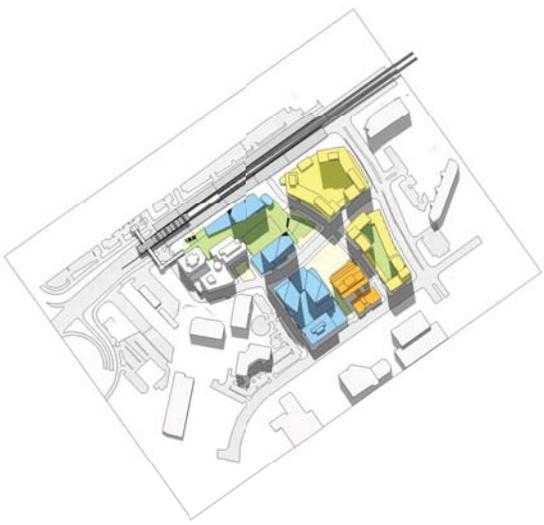
- RESIDENTIAL
- OFFICE
- HOTEL
- RETAIL / SERVICE
- EXISTING BUILDING
- GREEN ROOF / PLAZA
- PARKING
- PUBLIC FACILITY



JUNE 21 - 9:00 AM



JUNE 21 - 12:00 PM



JUNE 21 - 3:00 PM

FXFOWLE

FXFOWLE ARCHITECTS, LLP
 10000 Woodloch Forest Drive, Suite 200 | Fairfax, VA 22031 | 703.423.7800
 www.fxfole.com | fxfole.com | fxfole.com | fxfole.com

VJCA, LLC
 20100 Commonwealth Blvd, Suite 200 | Fairfax, VA 22031 | 703.423.7800
 LANDSCAPE ARCHITECTS | 10000 Woodloch Forest Drive, Suite 200 | Fairfax, VA 22031

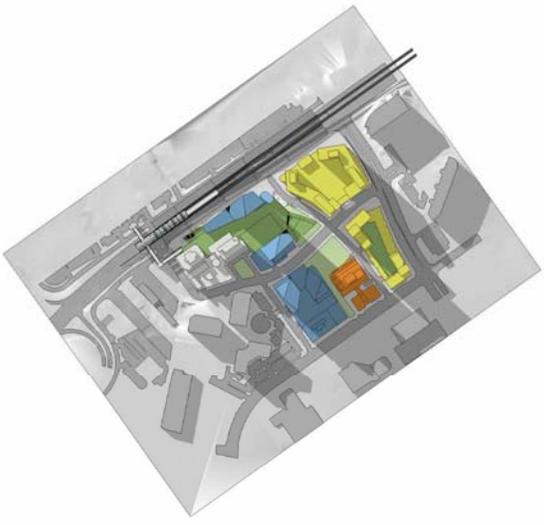
**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MIDDLEBURY, VA**

SHADE AND SHADOW STUDIES

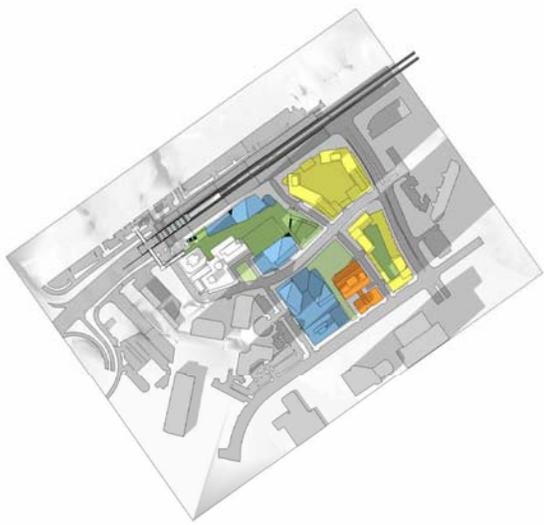
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 Date: 10/22/12
 Project No.: 100721200
 Client: VJCA, LLC
 Designer: [Name]
 Checker: [Name]



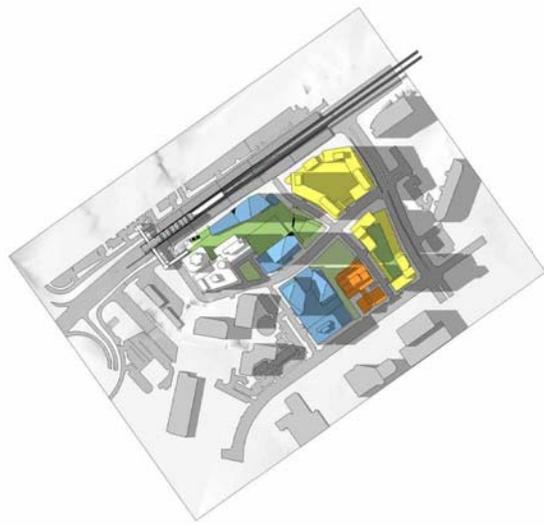
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DECEMBER 21 - 3:00 PM



DECEMBER 21 - 9:00 AM



DECEMBER 21 - 12:00 PM

- RESIDENTIAL
- OFFICE
- HOTEL
- RETAIL / SERVICE
- EXISTING BUILDING
- GREEN ROOF / PLAZA
- PARKING
- PUBLIC FACILITY

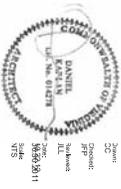
NO.	REVISIONS (S:08/03/2016)	DATE
05	CDP Re-submission	10/22/2012
04	CDP Re-submission	07/17/2012
03	CDP Re-submission	11/16/2010
02	CDP Re-submission	07/17/2010
01	CDP Re-submission	07/17/2010

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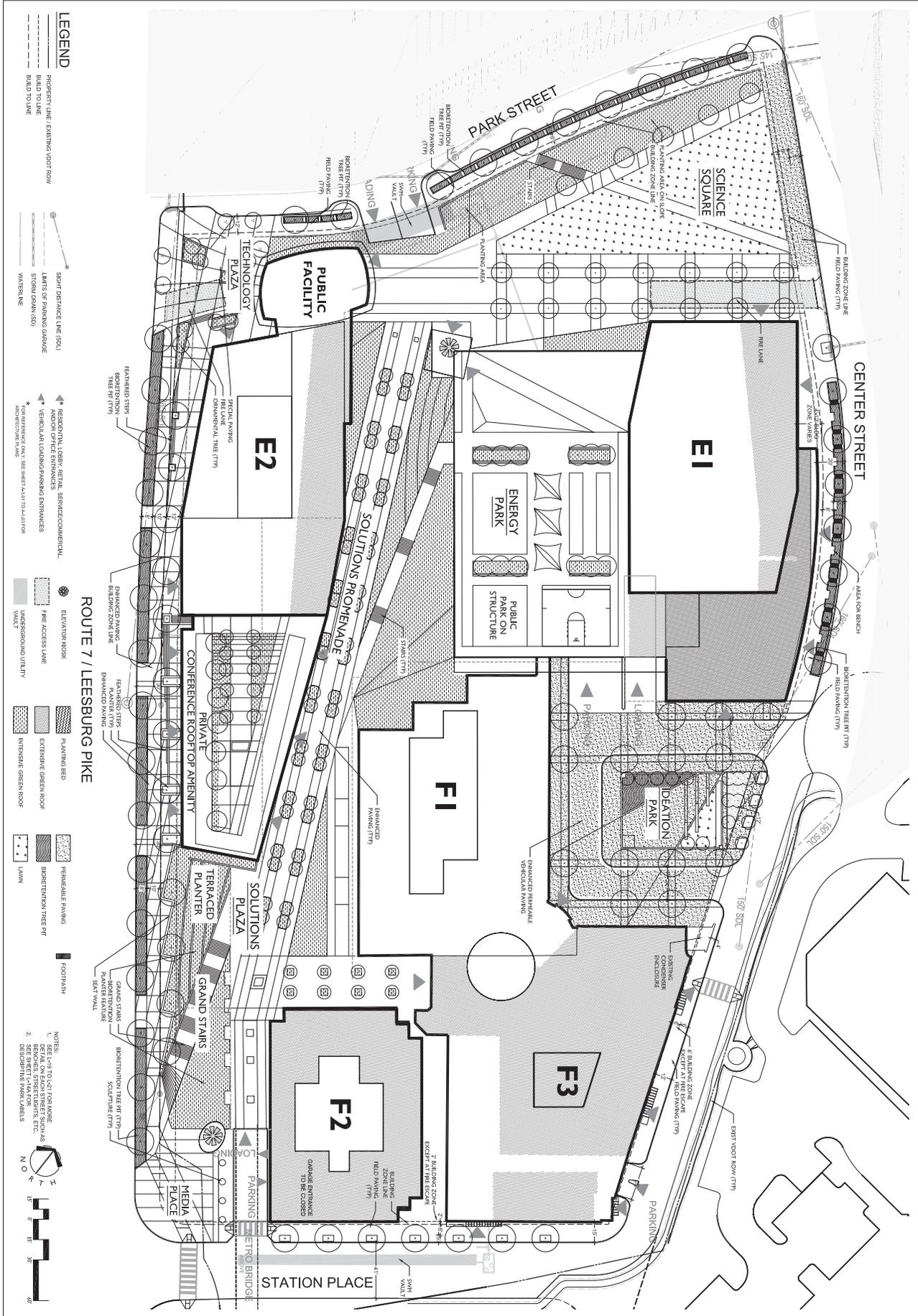
VINCA, LLC
 2100 Commonwealth Drive, Suite 2001, Midtown, VA 22102 | 703.442.9800
 LAND DESIGN | INTERIOR DESIGN | PLANNING | CONSULTING
 1000 North 17th Street, Arlington, VA 22209 | 703.442.9794

**SOLUTIONS PLAZA
 GREENSBORO
 TYSONS CORNER, MIDDLEBURY, VA**

SHADE AND SHADOW STUDIES



Project No. 10072200
 Date: 11/16/2010
 Scale: 1/8" = 1'-0"



LEGEND

- PROPERTY LINE EXISTING / NOT NOW
- BUILD TO LINE
- BUILD TO LINE
- BUILD TO LINE
- SIGHT DISTANCE LINE (SDL)
- LIMITS OF PARKING GARAGE
- STORM DRAIN (SD)
- WATER LINE
- RESIDENTIAL LOBBY, RETAIL, SERVICES/COMMERCIAL
- AND/OR OFFICE ENTRANCES
- VEHICULAR LOADS/PARKING ENTRANCES
- AS REFERENCE ONLY, SEE SHEET 7-A-111 & 112 FOR ARCHITECTURE PLAN
- ELEVATOR NOOK
- FF&E ACCESS LAINE
- IMPERVIOUS WALKWAY UTILITY
- VALET
- PAVING BED
- EXTENSIVE GREEN ROOF
- INTENSIVE GREEN ROOF
- PERMEABLE PAVING
- FOOTPATH
- 1. SEE L-10 TO L-10-1 FOR MORE INFORMATION ON SIGN SYSTEMS, SIGNAGE, AND LIGHTING
- 2. SEE SHEET L-10-A FOR DISCUSS THE SIGN SYSTEMS

NOTES

1. SEE L-10 TO L-10-1 FOR MORE INFORMATION ON SIGN SYSTEMS, SIGNAGE, AND LIGHTING

2. SEE SHEET L-10-A FOR DISCUSS THE SIGN SYSTEMS

SCALE 1" = 30'

PROJECT # 2010049

SHEET NUMBER
L-5

ROUTE 7 / LEESBURG PIKE

Solutions Plaza
 CDP
 Lincoln Properties Company / JM ZELL; McLean, Virginia
STREETSCAPE & LANDSCAPE TREATMENTS - BLOCKS E & F
 ENLARGEMENT

LandDesign
 200 S. Rippon St., Alexandria, VA 22314
 V. 703.949.7294 F. 703.949.4784
 www.LandDesign.com



A RT. 7 MEDIA PLACE VIEW TO PARK ST.
L7 / PERSPECTIVE

0048-PS001
NTS



C RT. 7 DITTMAR PLAZA VIEW TO METRO STATION
L7 / PERSPECTIVE

0048-PS003
NTS



B RT. 7 BLOCK E AMENITY FRONTAGE
L7 / PERSPECTIVE

0048-PS002
NTS



D WESTPARK DR. DITTMAR PLAZA VIEW TO CENTER ST.
L7 / PERSPECTIVE

0048-PS004
NTS



E CENTER ST/WESTPARK DR. VIEW TO RT. 7
L-8 PERSPECTIVE

0046-PS206
NTS



FB WESTPARK DR. SIDEWALK VIEW TO CENTER ST.
L-8 PERSPECTIVE

0046-PS206
NTS



FA CENTER ST. PLAZA VIEW TO GREENSBORO DR.
L-8 PERSPECTIVE

0046-PS206
NTS



G WESTPARK DR. SIDEWALK VIEW TO GREENSBORO DR.
L-8 PERSPECTIVE

0046-PS206
NTS

DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JCK/GLP/BH
CHECKED BY: SP
C.C. BY:
SCALE: NTS
PROJECT #: 2010049
REVISIONS:
11/17/2010
06/30/2011
07/16/2012
10/22/2012
SHEET NUMBER
L-8

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CDP
Lincoln Properties Company / JM ZELL; McLean, Virginia
PERSPECTIVES

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H CORNER OF WESTPARK DR. & GREENSBORO DR.

0046-PS009
NTS



J GREENSBORO DR. RETAIL FRONTAGE

0046-PS011
NTS



L GREENSBORO DR. VIEW TO SOLUTIONS DR.

0046-PS010
NTS



K CORNER OF GREENSBORO DR. & SOLUTIONS DR.

0046-PS012
NTS

DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JCK/GLP/BH
CHECKED BY: SP
C.C. BY:
SCALE: NTS
PROJECT #: 2010049

REVISIONS:
11/17/2010
06/30/2011
07/16/2012
10/22/2012

SHEET NUMBER:
L-9

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L-10 SOLUTIONS DR. VIEW TO CENTER ST.

0046-PS013
NTS



N-10 CENTER ST. VIEW TO SOLUTIONS DR.

0046-PS015
NTS



M-10 SOLUTIONS DR. VIEW TO GREENSBORO DR.

0046-PS014
NTS



O-10 STAFF'S WAY VIEW TO CENTER STREET

0046-PS016
NTS

DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JCK/GLP/BH
CHECKED BY: SP
Q.C. BY:
SCALE: NTS
PROJECT #: 2010049

SHEET NUMBER
L-10

REVISIONS:
11/17/2010
06/30/2011
07/16/2012
10/22/2012

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PERSPECTIVES

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P IDEATION PARK FROM E1 CORNER
L-11 / PERSPECTIVE

0049-PS018
NTS



R IDEATION PARK FROM SAIC BUILDING ENTRANCE
L-11 / PERSPECTIVE

0049-PS018
NTS



Q IDEATION PARK AT PLAZA
L-11 / PERSPECTIVE

0049-PS018
NTS



S BIRD'S EYE FROM IDEATION PARK
L-11 / PERSPECTIVE

0049-PS018
NTS

DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JCK/GLP/BH
CHECKED BY: SP
C.C. BY:
SCALE: NTS
PROJECT #: 2010049

REVISIONS:
11/17/2010
06/30/2011
07/16/2012
10/22/2012

SHEET NUMBER:
L-11

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CDP
Lincoln Properties Company / JM ZELL; McLean, Virginia
PERSPECTIVES

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V. 703.549.7394 F. 703.549.4994
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T VIEW FROM OVERLOOK TERRACE
L-12 PERSPECTIVE

0046-PS018
NTS



V CENTER STREET VIEW TO SCIENCE SQUARE NORTH
L-12 PERSPECTIVE

0046-PS018
NTS



U PARK STREET VIEW TO SCIENCE SQUARE NORTH
L-12 PERSPECTIVE

0046-PS018
NTS



W CENTER ST. VIEW TO SCIENCE SQUARE SOUTH
L-12 PERSPECTIVE

0046-PS017
NTS

DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JCK/GLP/BH
CHECKED BY: SP
C.C. BY:
SCALE: NTS
PROJECT #: 2010049

REVISIONS:
11/17/2010
06/30/2011
07/16/2012
10/22/2012

SHEET NUMBER
L-12

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X PARK ST. VIEW TO RT. 7
L-13 PERSPECTIVE

0046-PS016
NTS



Z SOLUTIONS PROMENADE VIEW TO SCIENCE SQUARE
L-13 PERSPECTIVE

0046-PS018
NTS



Y SCIENCE SQUARE NORTH ELEVATOR KIOSK
L-13 PERSPECTIVE

0046-PS018
NTS

DATE: 10/01/2010
DESIGNED BY: PC / GC / SP
DRAWN BY: JCK/GLP/BH
CHECKED BY: SP
C.C. BY:
SCALE: NTS
PROJECT #: 2010049

REVISIONS:
11/17/2010
06/30/2011
07/16/2012
10/22/2012

SHEET NUMBER
L-13

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CDP
Lincoln Properties Company / JM ZELL; McLean, Virginia
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DATE: 10/01/2010
 DESIGNED BY: PC / CC / SP
 DRAWN BY: KS / CC / KP
 CHECKED BY: SP
 C.C. BY:
 SCALE: 1" = 60'
 PROJECT #: 2010049

REVISIONS:
 10/27/2010
 09/16/2012
 06/30/2011

SHEET NUMBER:
L-14A

Solutions Plaza
 CDP
 Lincoln Properties Company / JM ZELL; McLean, Virginia
 OVERALL ILLUSTRATIVE

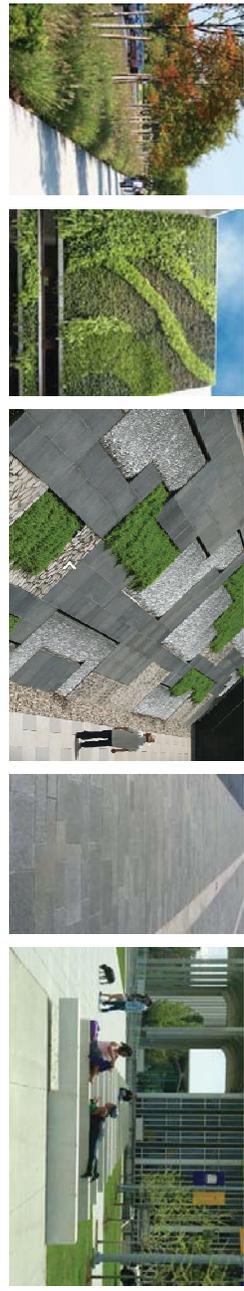
LandDesign

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 www.LandDesign.com



SAC / Sub District (Neighborhood In North Tyson District) Character Description:

Urban Design Character (Science + Technology)
 The color and material palette for this district is focused on sleek, modern and color (such as stainless steel) in contrast to the more vibrant greens of the plant materials. The sleek metals represent hard sciences and technologies of today and tomorrow and the softer greens represent the new technologies and sciences that are focused on sustainability, environment and economy. The site will provide many opportunities for public art greater business events-space, using lighting, materials, and electronics to create a vibrant space with a modern, sleek, and sophisticated feel. The design will provide a high quality, modern, and sophisticated experience. The parking patterns will provide a hard structure in contrast to the softer forms of the site furnishings and lighting. Opportunities are provided both for history and quick passes. The grade transitions allow for the creation of unique spaces and outdoor rooms comfortable for one person or hundreds.



- 1) Walk Place**
 Gateway to the world of futurismology
 - 1st branding opportunity
 - Observation space
- 2) Solutions Promenade**
 Information, Technology & Discovery
 - Encouraging movement from Metro and Metra
 - Technology in motion
 - Place to Energy Park and Science Square
- 3) Energy Park**
 Energy and Environment
 - Adventure play court
 - Physical activities
- 4A) Science Square North**
 Environment & Sustainability
 Life Sciences, Discovery
 - Public facility access
 - Multi-use/programmed space
 - Central gathering/assembly space
- 4B) Science Square South**
 Water and Nature
 Life Sciences, Discovery
 - People watching space
 - Hub of activities and self-programming
- 5) Innovation Park**
 Knowledge
 - A place to share knowledge and ideas
 - Opportunities for social interaction
 - Secluded from the building commercial neighborhood making it a sanctuary from the high velocity from street
- 6) Technology Plaza**
 - Front door to Public Facility
 - Gathering space for Public Facility Patrons
- 7) Dinnar Gateway Plaza**
 - Transition from Route 7 to neighborhood
 - Residential expression/visible on Route 7
- 8) Center Street Gateway**
 - Residential Gateway
 - Residential expression/visible on Route 7
- 9) Black D Area**
 - Environmental and nature
 - Respite from the urban hustle and bustle
 - Area for social and recreational interaction
 - Color to be enjoyed from the pedestrian level as well as from the upper tower levels

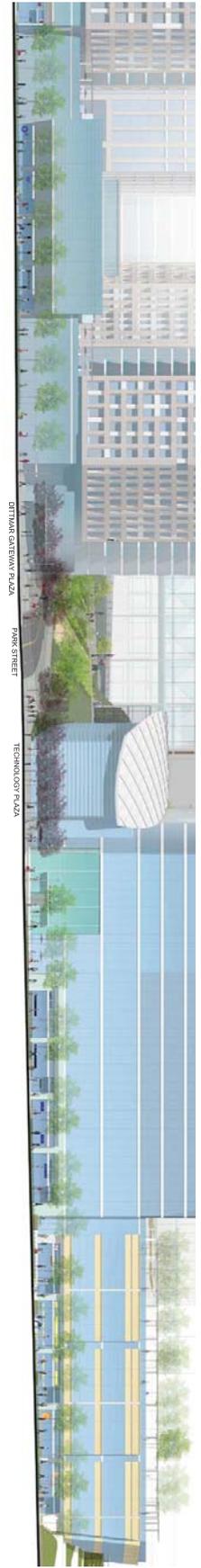
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 CHECKED BY: SP
 C.C. BY:
 SCALE: 1" = 40'
 PROJECT #: 2010049

REVISIONS:
 10/01/2010
 06/02/2011
 07/16/2012
 07/22/2012

SHEET NUMBER:
L-14B

Solutions Plaza
CDP
 Lincoln Properties Company / JM ZELL; McLean, Virginia
URBAN PARK CHARACTER IMAGES

LandDesign
 200 S. Peyton St., Alexandria, VA 22314
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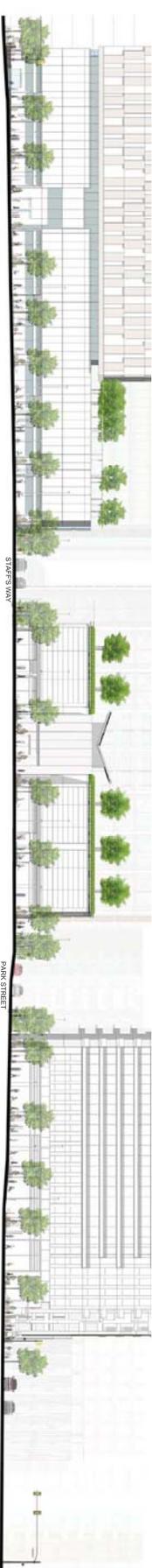
1 ROUTE 7
L-15 ELEVATION

NTS



2 WESTPARK DR.
L-15 ELEVATION

NTS



3 GREENSBORO DR.
L-15 ELEVATION

NTS



4 SOLUTIONS DR.
L-15 ELEVATION

NTS

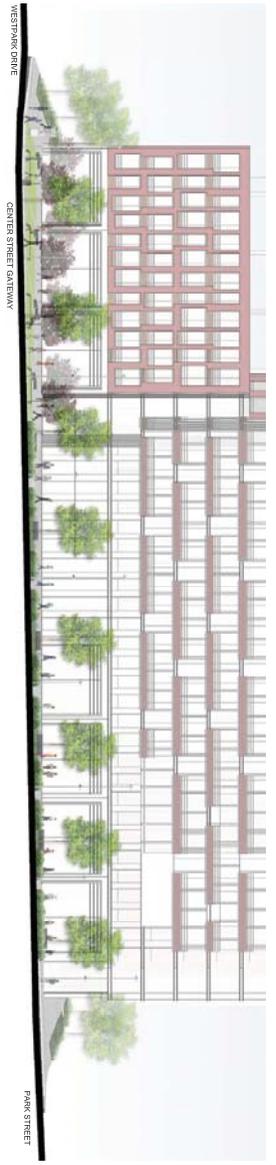
DATE: 10/01/2010
 DESIGNED BY: PC / CC / SP
 DRAWN BY: JS / KG
 CHECKED BY: SP
 Q.C. BY:
 SCALE: AS NOTED
 PROJECT #: 2010049

REVISIONS:
 10/17/2010
 06/30/2011
 07/16/2012
 10/27/2012

SHEET NUMBER:
L-15

Solutions Plaza
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 ELEVATIONS

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1 CENTER ST. BLOCK A
L-16 ELEVATION

NTS



2 CENTER ST. BLOCK D
L-16 ELEVATION

NTS



3 CENTER ST. BLOCK B & C
L-16 ELEVATION

NTS



4 CENTER ST. BLOCK E & F
L-16 ELEVATION

NTS

DATE: 10/01/2010
 DESIGNED BY: PCJ/GC/SP
 DRAWN BY: JG/KG
 CHECKED BY: SP
 Q.C. BY: JG/KG
 SCALE: AS NOTED
 PROJECT #: 2010049

REVISIONS:
 10/17/2010
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 10/27/2012

SHEET NUMBER:
L-16

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1 PARK ST. BLOCK A
L-17 ELEVATION

NTS



2 PARK ST. BLOCK B
L-17 ELEVATION

NTS



3 PARK ST. BLOCK D
L-17 ELEVATION

NTS



4 PARK ST. BLOCK E
L-17 ELEVATION

NTS

DATE: 10/01/2010
 DESIGNED BY: PCJ/CC/SP
 DRAWN BY: JG/KG
 CHECKED BY: SP
 Q.C. BY:
 SCALE: AS NOTED
 PROJECT #: 2010049

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 10/27/2012

SHEET NUMBER:
L-17

Solutions Plaza
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1 STAFF'S WAY BLOCK B
L-18 ELEVATION

2 STAFF'S WAY BLOCK C
L-18 ELEVATION

NTS

NTS

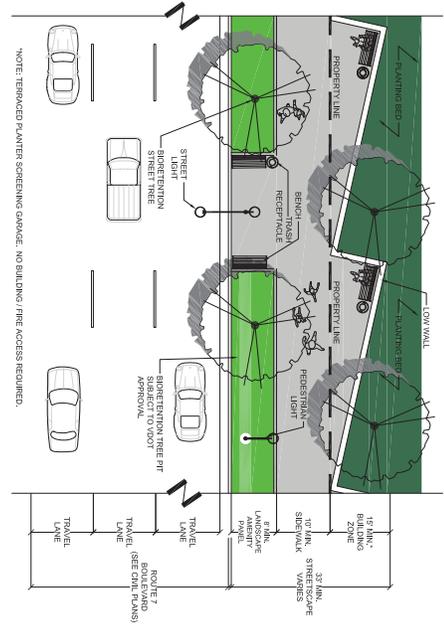
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REVISIONS:
 11/17/2010
 06/30/2011
 07/16/2012
 10/27/2012

SHEET NUMBER
L-18

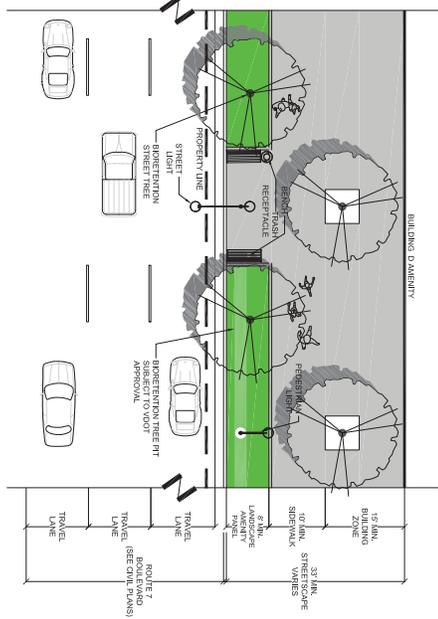
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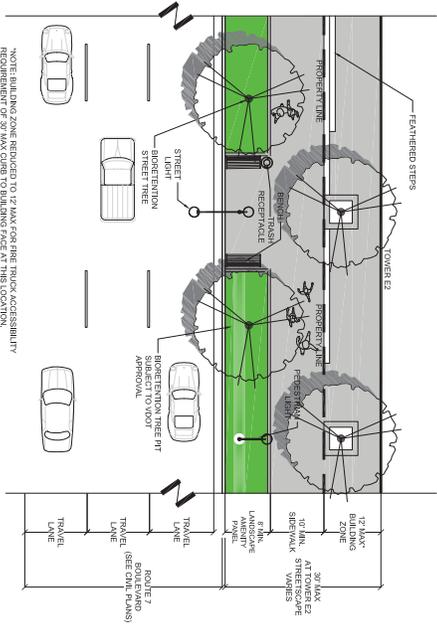
1 ROUTE 7 BLOCK F
L-19 STREETScape ENLARGEMENT

0046.SSE01
1" = 10'



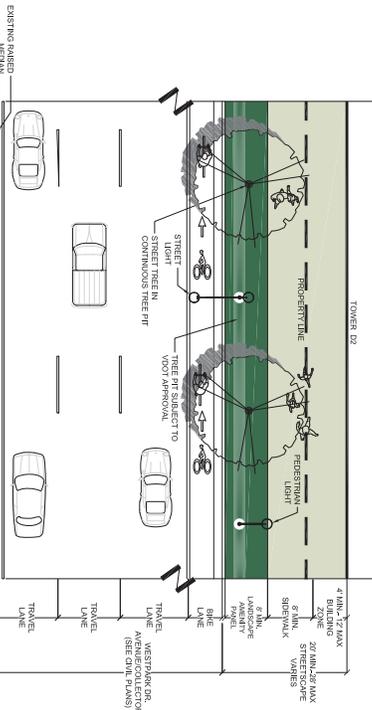
3 ROUTE 7 BLOCK D
L-19 STREETScape ENLARGEMENT

0046.SSE03
1" = 10'



2 ROUTE 7 BLOCK E
L-19 STREETScape ENLARGEMENT

0046.SSE02
1" = 10'



4 WESTPARK DR. BLOCK D
L-19 STREETScape ENLARGEMENT

0046.SSE04
1" = 10'

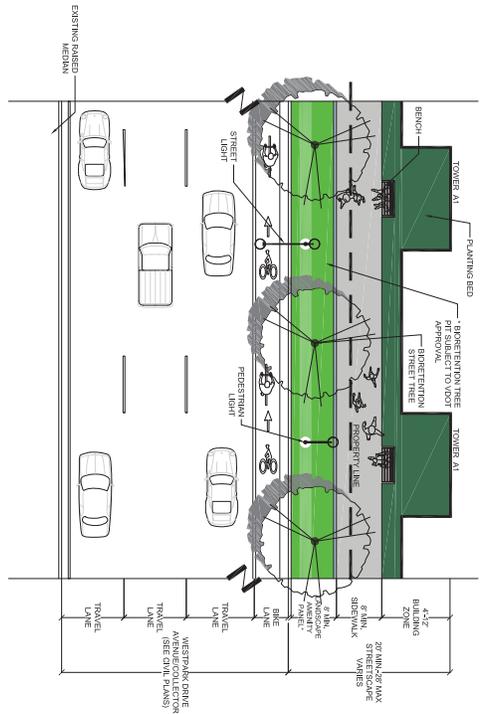
DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JG / KG
CHECKED BY: SP
C.C. BY: JG
SCALE: AS NOTED
PROJECT #: 2010049

REVISIONS:
10/20/2010
06/30/2011
09/16/2012
09/27/2012

SHEET NUMBER
L-19

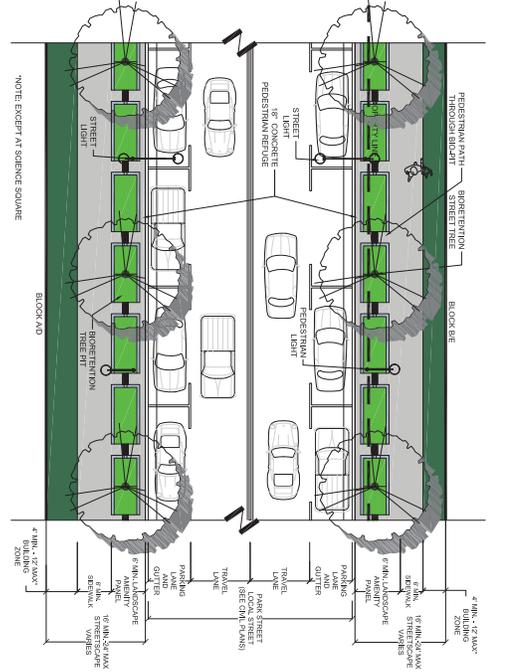
Solutions Plaza
CDP
Lincoln Properties Company / JM ZELL: McLean, Virginia
TYP. STREETScape ENLARGEMENTS

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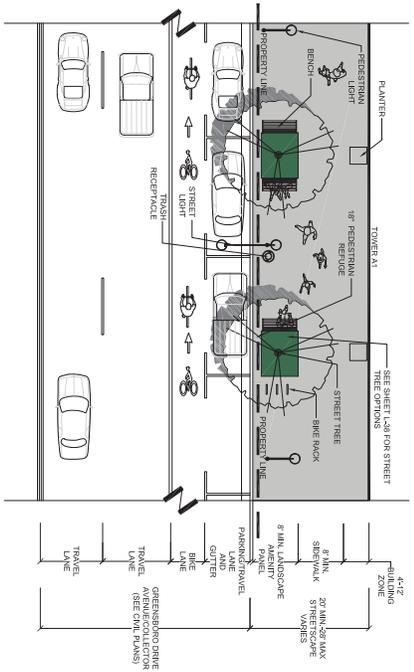
1 WESTPARK DR. BLOCK A
L-20 STREETScape ENLARGEMENT

0046.SSE01
1" = 10'



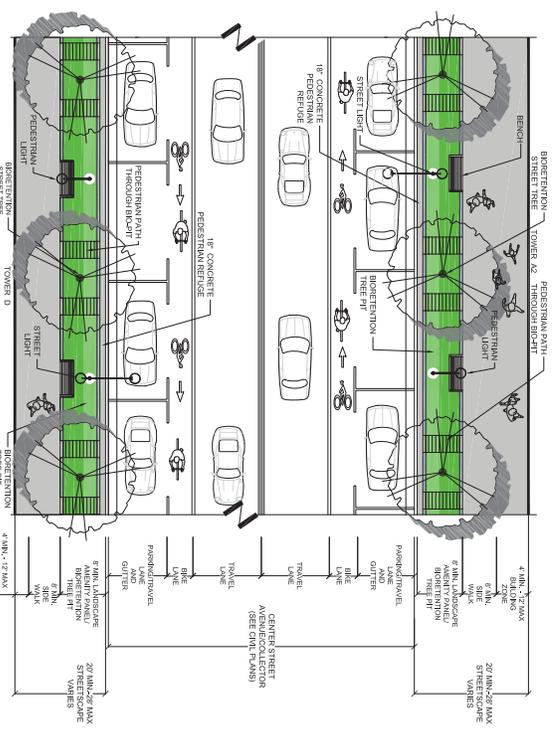
3 PARK ST. (AT BLOCKS A, B, D & E, EXCLUDING SCIENCE SQUARE)
L-20 STREETScape ENLARGEMENT

0046.SSE03
1" = 10'



2 GREENSBORO DR.
L-20 STREETScape ENLARGEMENT

0046.SSE02
1" = 10'



4 CENTER ST. BLOCK A/D
L-20 STREETScape ENLARGEMENT

0046.SSE04
1" = 10'

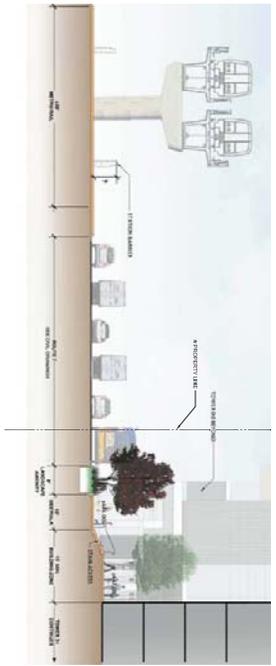
DATE: 10/01/2010
DESIGNED BY: PC/C/CC/SP
DRAWN BY: JG/KG
CHECKED BY: SP
C.C. BY: JG/KG
SCALE: AS NOTED
PROJECT #: 2010049

REVISIONS:
06/20/2011
09/16/2011
2/12/2012

SHEET NUMBER
L-20

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TYP. STREETScape ENLARGEMENTS

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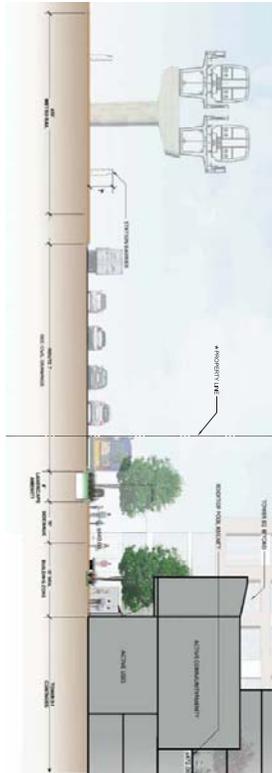
1 ROUTE 7: AT TOWER D1 (BOULEVARD)
L-23 SECTION

0046-SS507
1/8" = 1'-0"



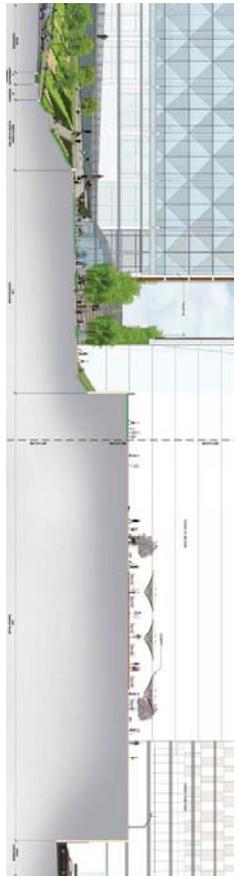
4 ROUTE 7: THROUGH ENERGY PARK
L-23 SECTION

0046-SS510
1" = 20"



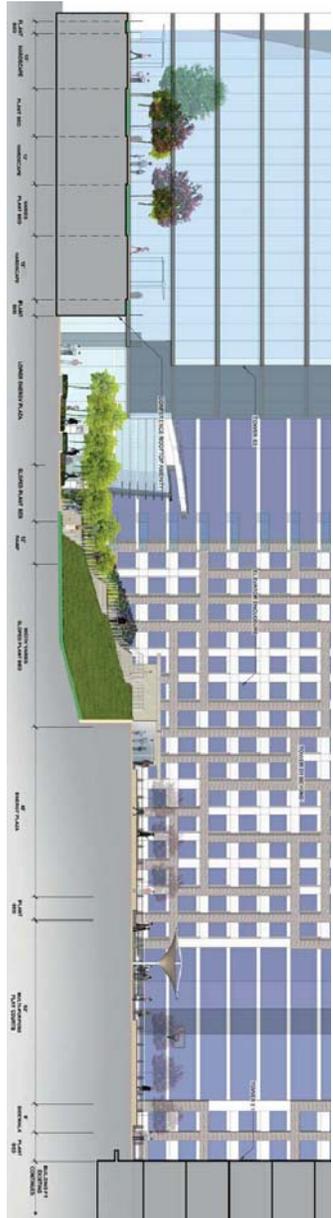
2 ROUTE 7: AT DITTMAR AMENITY (BOULEVARD)
L-23 SECTION

0046-SS508
1/8" = 1'-0"



5 PARK ST.: THROUGH SCIENCE SQUARE AND ENERGY PARK
L-23 SECTION

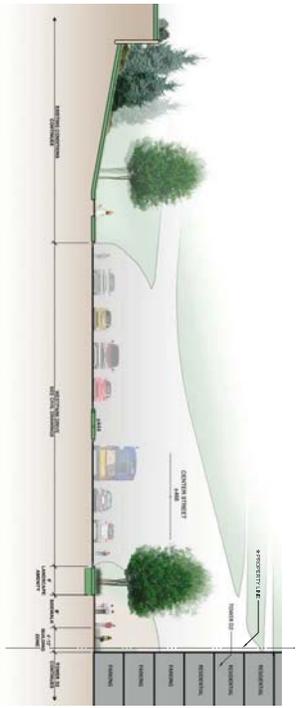
0046-SS511
1" = 20"



3 ROUTE 7: THROUGH E2 PODIUM & ENERGY PARK
L-23 SECTION

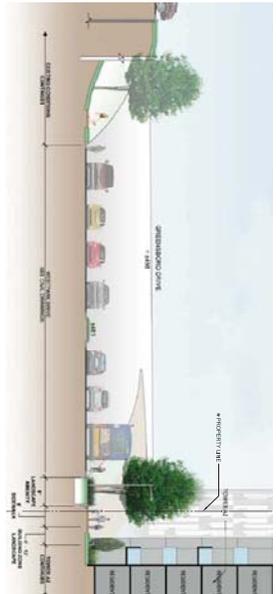
0046-SS509
1/8" = 1'-0"

*NOTE: ALL INFORMATION SHOWN OUTSIDE PROPERTY LINES IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.



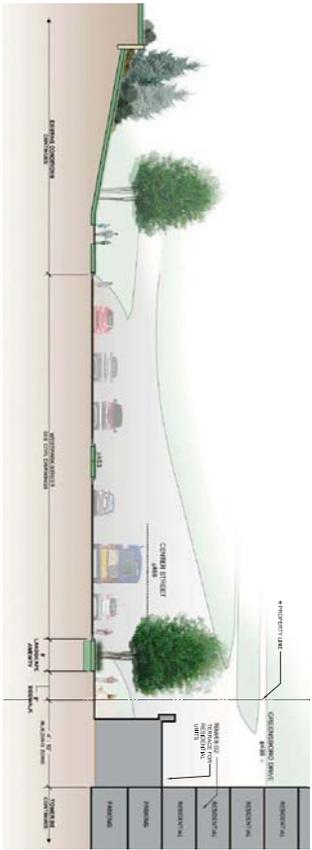
1 WESTPARK DR: AT TOWER D2 (AVENUE/COLLECTOR)

0046-SS312
1/16" = 1'-0"



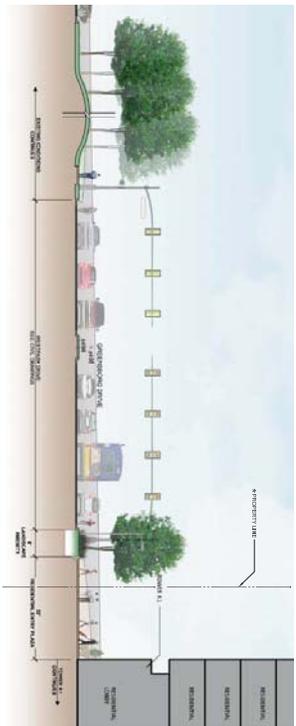
4 WESTPARK DR: THROUGH BUILDING A1 (AVENUE/COLLECTOR)

0046-SS315
1/16" = 1'-0"



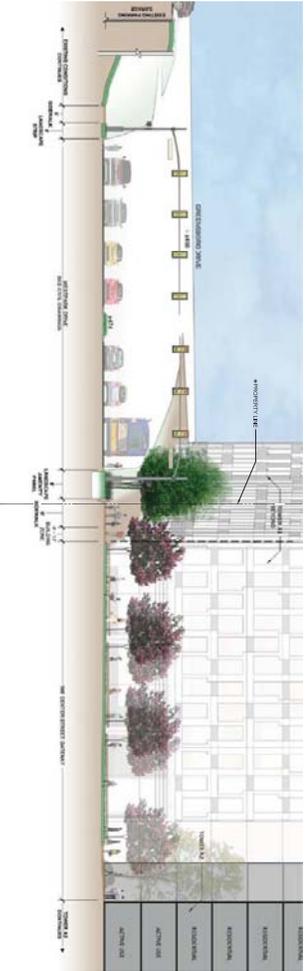
2 WESTPARK DR: AT TOWER D2 AND PODIUM (AVENUE/COLLECTOR)

0046-SS313
1/16" = 1'-0"



5 WESTPARK DR: AT TOWER A1 RESIDENTIAL ENTRY (AVENUE/COLLECTOR)

0046-SS316
1/16" = 1'-0"



3 WESTPARK DR: AT CENTER STREET GATEWAY (AVENUE/COLLECTOR)

0046-SS314
1/16" = 1'-0"



6 GREENSBORO DR: AT BUILDING A1 (AVENUE/COLLECTOR)

0049-SS315A
1" = 6'

*NOTE: ALL INFORMATION SHOWN OUTSIDE PROPERTY LINE IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.

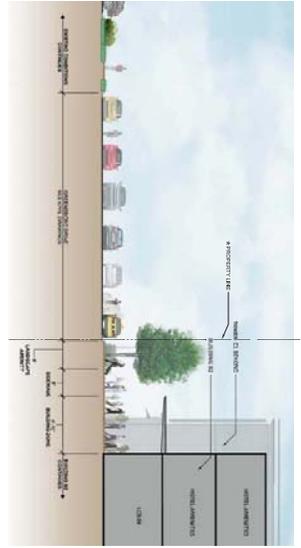
DATE: 10/01/2010
DESIGNED BY: PCC/CC/SP
DRAWN BY: JG/KG/BH
CHECKED BY: SP
SCALE: AS NOTED
PROJECT #: 2010049

SHEET NUMBER
L-24

Solutions Plaza
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SECTIONS

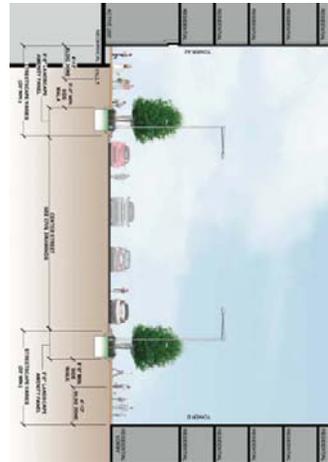
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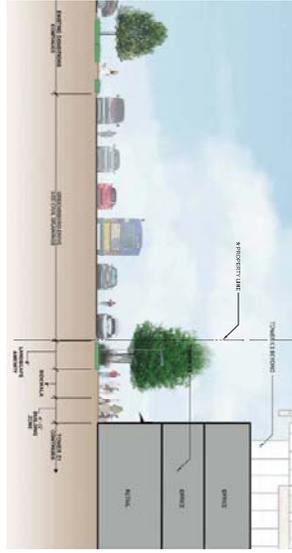
1 GREENSBORO DRIVE: AT BUILDING B2 (AVENUE/COLLECTOR)

0048-SSS17
1/16" = 1'-0"



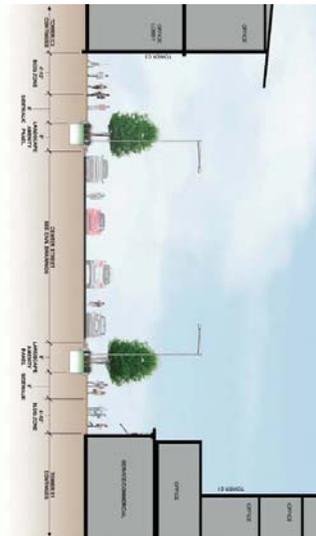
4 CENTER ST.: AT TOWER A2 AND TOWER D1 (AVENUE/COLLECTOR)

0048-SSS20
1/16" = 1'-0"



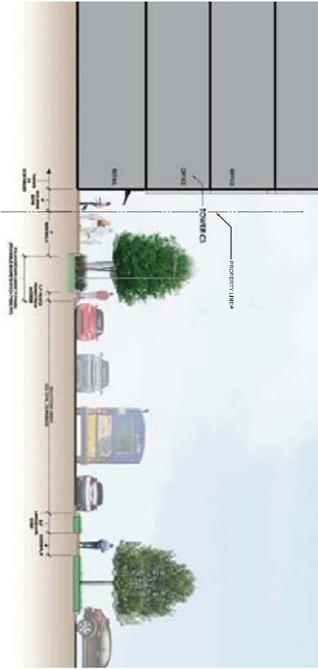
2 GREENSBORO DRIVE: AT TOWER C1 (AVENUE/COLLECTOR)

0048-SSS18
1/16" = 1'-0"



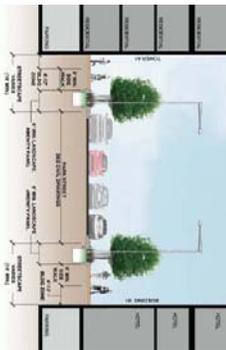
5 CENTER ST.: AT TOWER C3 AND TOWER E1 (AVENUE/COLLECTOR)

0048-SSS21
1/16" = 1'-0"



3 SOLUTIONS DRIVE AT TOWER C3 (LOCAL STREET)

0048-SSS19
1/16" = 1'-0"



6 PARK ST.: AT TOWER A1 AND BUILDING B1 (LOCAL STREET)

0048-SSS22
1/16" = 1'-0"

*NOTE: ALL INFORMATION SHOWN OUTSIDE PROPERTY LINE IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.

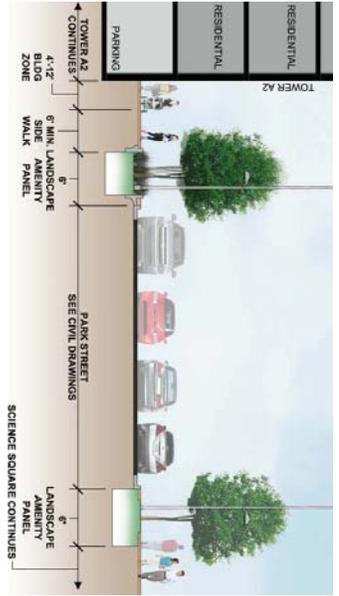
DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JG / KG / BH
CHECKED BY: SP
S.C. BY:
SCALE: AS NOTED
PROJECT #: 2010049

SHEET NUMBER
L-25

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SECTIONS

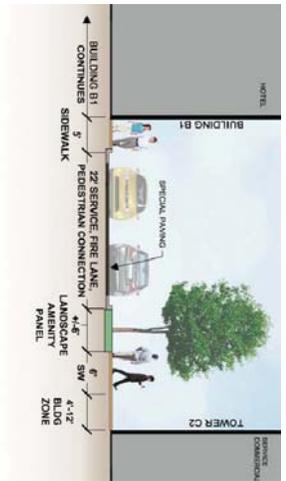
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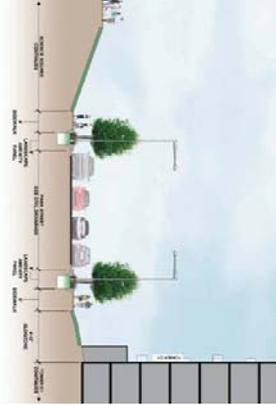
1 PARK ST: AT TOWER A2 AND SCIENCE SQUARE (LOCAL STREET)

0046-SSS17
1/8" = 1'-0"



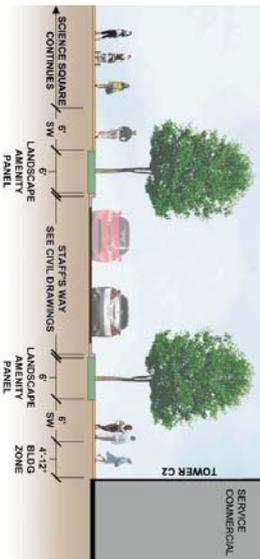
4 STAFFS WAY: AT BUILDING B1 AND TOWER C2 (SERVICE STREET)

0046-SSS20
1/8" = 1'-0"



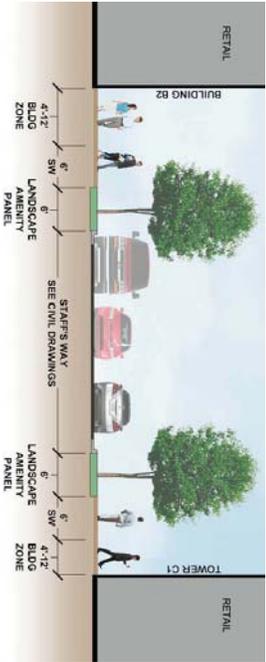
2 PARK ST: AT TOWER D1 AND SCIENCE SQUARE (LOCAL STREET)

0046-SSS18
1/8" = 1'-0"



5 STAFFS WAY: AT TOWER C2 AND SCIENCE SQUARE (LOCAL STREET)

0046-SSS21
1/8" = 1'-0"

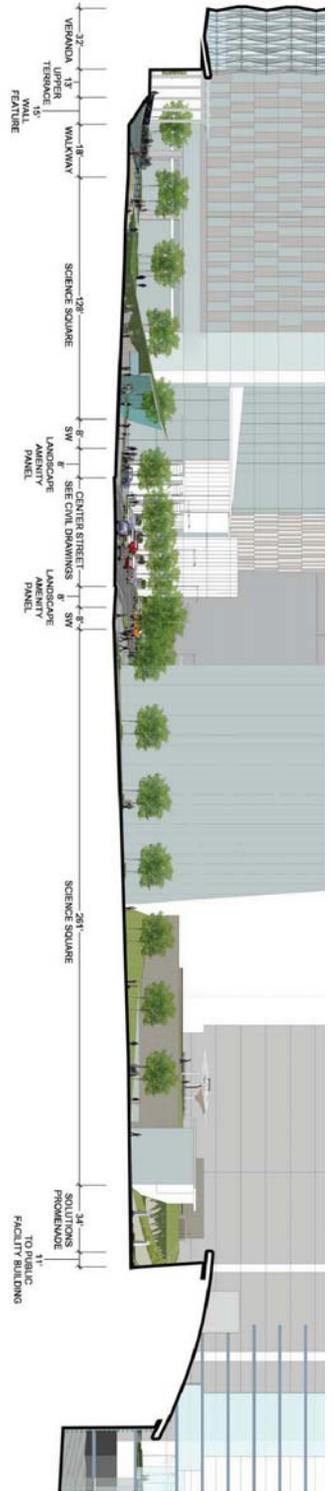


3 STAFFS WAY: AT BUILDING B2 AND TOWER C1 (LOCAL STREET)

0046-SSS19
1/8" = 1'-0"

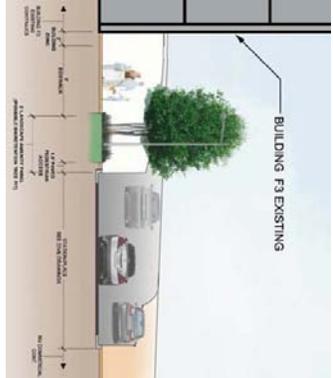
1 SCIENCE SQUARE FROM BUILDING B1 TO PUBLIC FACILITY

0046-SS521
1" = 30'



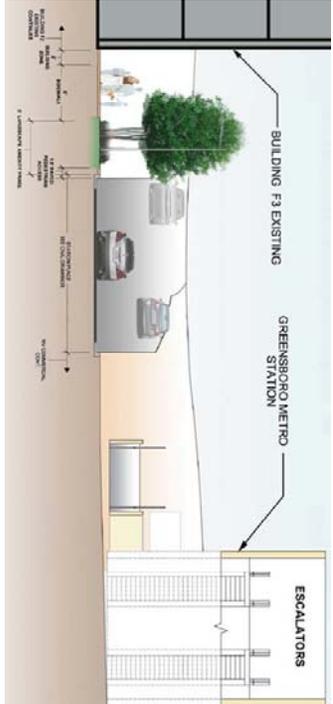
2 STATION PLACE: AT BUILDING F3 (LOCAL STREET)

0046-SS522
1/8" = 1'-0"



3 STATION PLACE: AT BUILDING F2 (LOCAL STREET)

0046-SS522
1/8" = 1'-0"



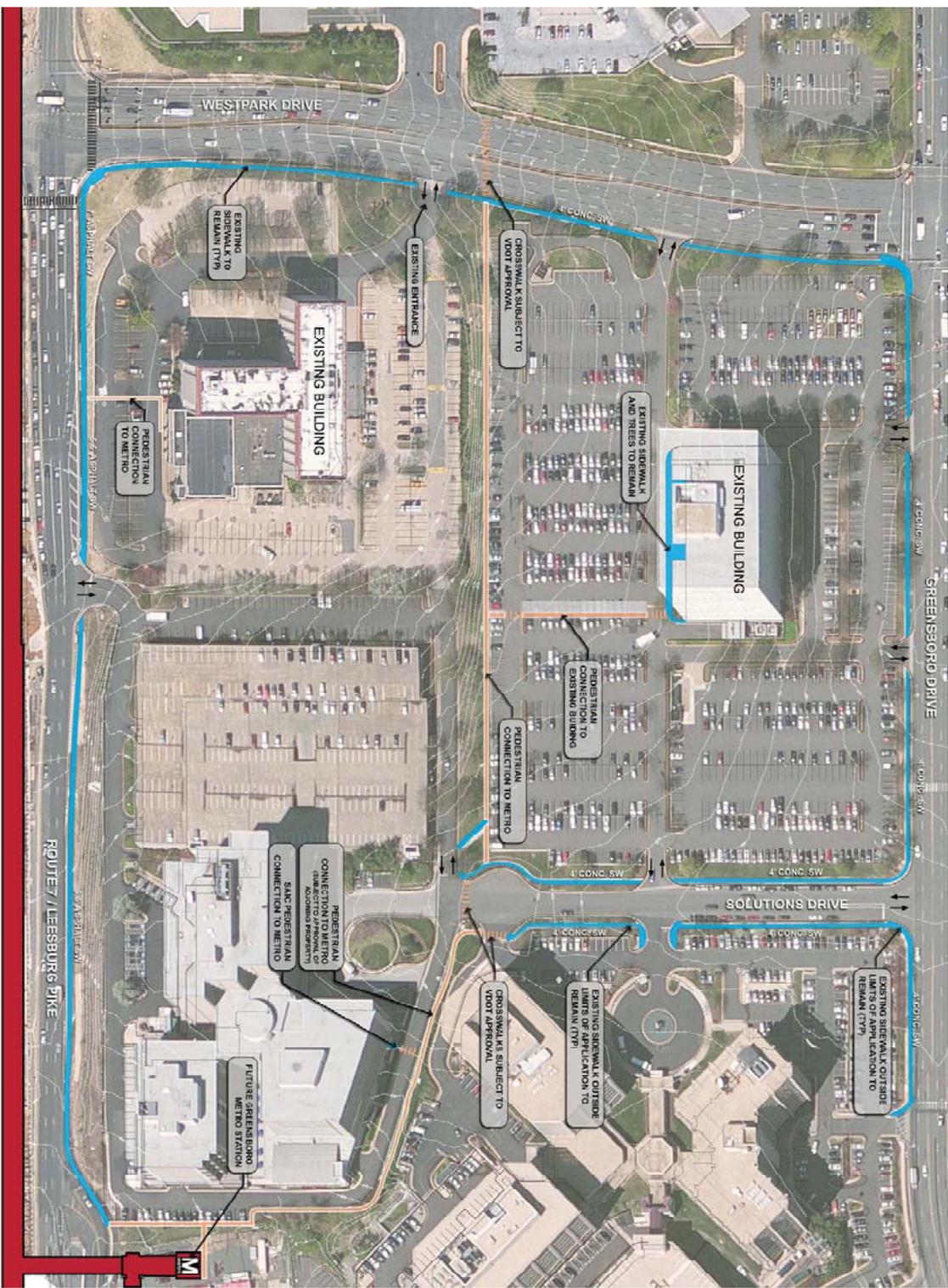
DATE: 10/01/2010
DESIGNED BY: PC / CC / SP
DRAWN BY: JS / KG / BH
CHECKED BY: SP
C.C. BY:
SCALE: AS NOTED
PROJECT #: 2010049

REVISIONS:
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SHEET NUMBER:
L-27

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INITIAL METRO PEDESTRIAN CONNECTION PLAN



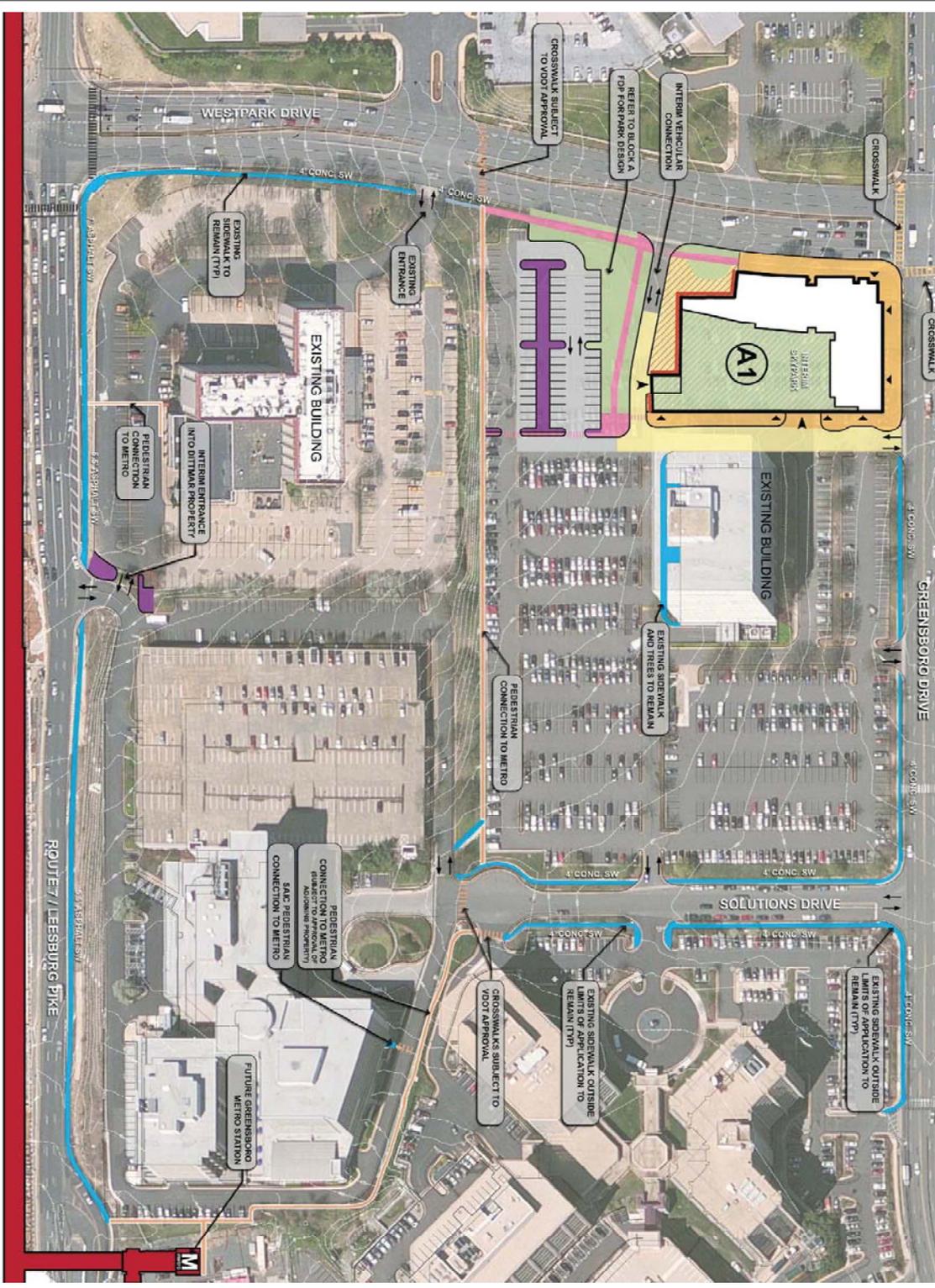
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 DESIGNED BY: PC/CC/SP
 DRAWN BY: JG/KG
 CHECKED BY: SP
 C.C. BY: JG/KG
 SCALE: 1" = 60'
 PROJECT #: 2010049

REVISIONS:
 10/22/2012
 09/16/2012
 06/30/2011

SHEET NUMBER
L-28

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BUILDING A1

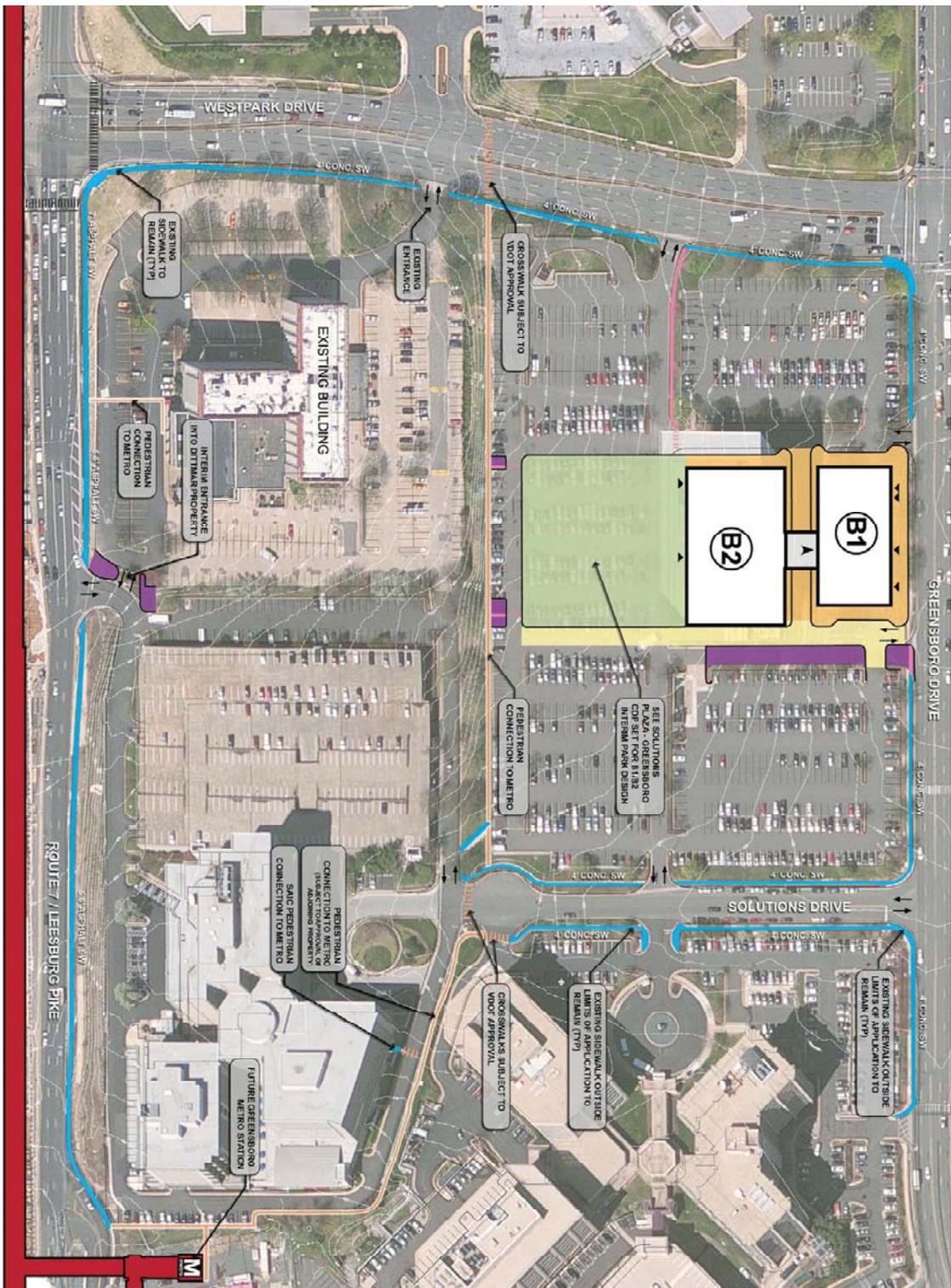
	EXISTING BIOWALK
	FUTURE GREENSBORO METRO
	INITIAL PEDESTRIAN CONNECTION
INTERIM CONDITIONS**	
	INTERIM CONDITIONS
	ADDITIONAL INTERIM SCREENING
	INTERIM PRIVATE SEWAGE
	INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
	NEGOTIATION TO PARKING LOT COMPLETION PER PHASE (INTERIM CONDITION)****
	INTERIM PEDESTRIAN CONNECTION
	SCREENED WALL AT INTERIM CONDITION
	RETAINING WALL WITH RAIL
FINAL CONDITIONS**	
	FINAL CONSTRUCTION CONDITIONS
	PEDESTRIAN BUILDING ENTRY
	VEHICULAR TRAILING GARAGE ENTRY

* NOT ALL ITEMS IN LEGEND WILL SHOW UP ON EVERY PHASING SCENARIO
 ** ALL AREAS INDICATED IN COLOR ARE REQUIRED AT FDP
 *** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK ELEMENTS AS REQUIRED BY FAIRFAX COUNTY CODE OF ORDINANCES AND CSP PROVISIONS
 **** ALL MODIFICATIONS OR ETC TO PARKING LOT CONFIGURATIONS PER PHASE IN THE INTERIM SHALL BE IN ACCORDANCE WITH THE LOCAL ORDINANCES

DATE: 10/01/2010
 DESIGNED BY: PC/CC/SP
 DRAWN BY: JG/KG
 CHECKED BY: SP
 C.C. BY:
 SCALE: 1" = 60'
 PROJECT #: 2010049
 SHEET NUMBER: L-29

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PHASING

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BUILDING B1 & B2



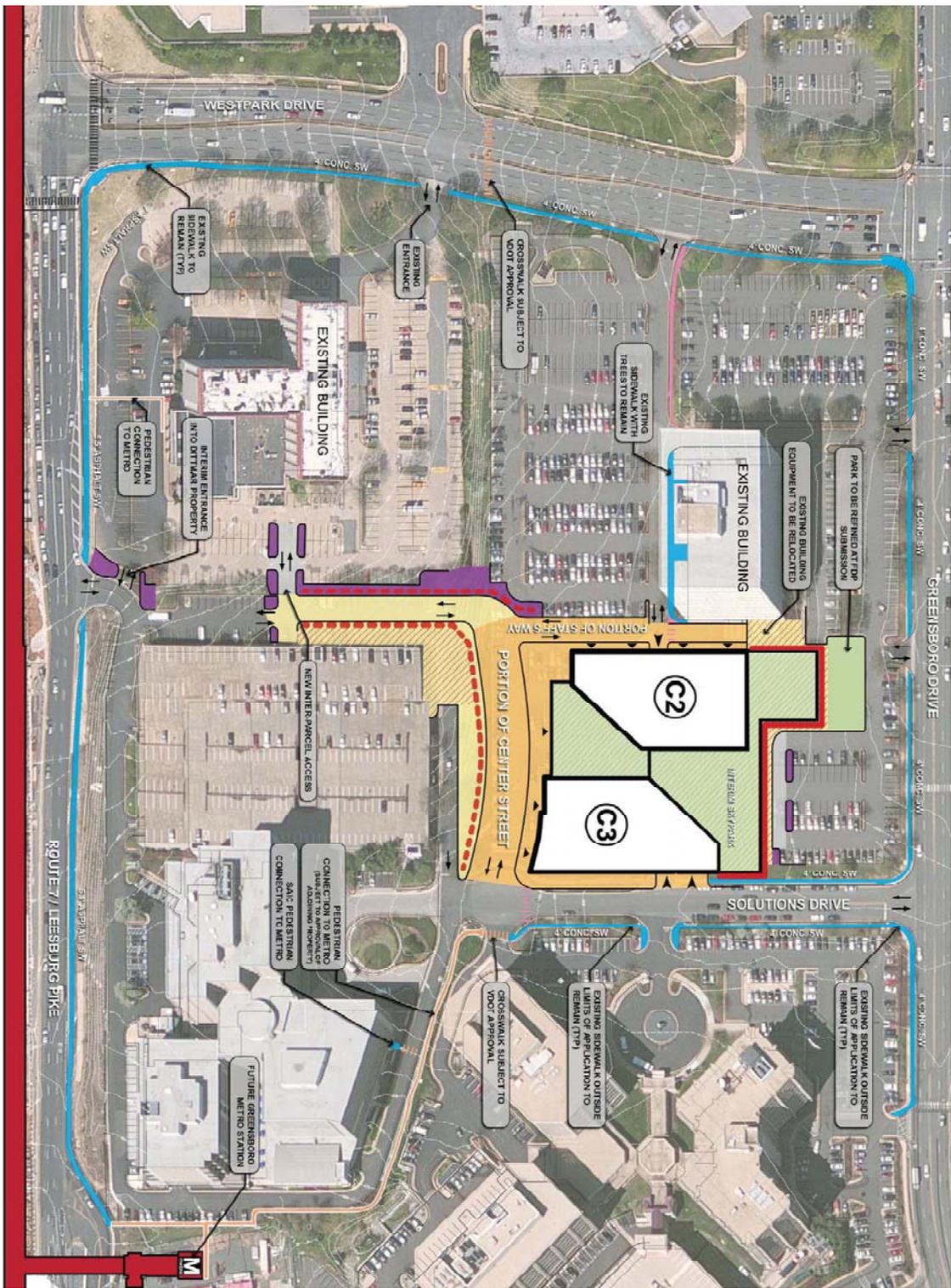
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 DESIGNED BY: PC/CC/SP
 DRAWN BY: JG/KG
 CHECKED BY: SP
 C.C. BY:
 SCALE: 1" = 60'
 PROJECT #: 2010049

REVISIONS:
 10/17/2010
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 07/16/2012
 10/22/2012

SHEET NUMBER:
L-31

Solutions Plaza
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BUILDING C2 & C3

- EXISTING SIDEWALK
- FUTURE GREENBORO METRO
- INITIAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE SEWERAGE
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***

- NOTIFICATION TO PARKING LOT COMPLETION FOR FINAL INTERIM CONDITION****
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR TRAILING GARAGE ENTRY
- NOT ALL ITEMS IN LEGEND WILL SHOW UP ON EVERY PHASING SCENARIO
- ** ALL AREAS INDICATED IN COLOR ARE REFINED AT FDP
- *** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK ELEMENTS AS REQUIRED BY FARRAZ COUNTY CODE OF ORDINANCES AND CSP PROVISIONS
- **** ALL MODIFICATIONS OR CHANGES TO THE INTERIM PHASING PLAN SHALL BE IN ACCORDANCE WITH THE FINAL PHASING PLAN AND ALL ORDINANCES



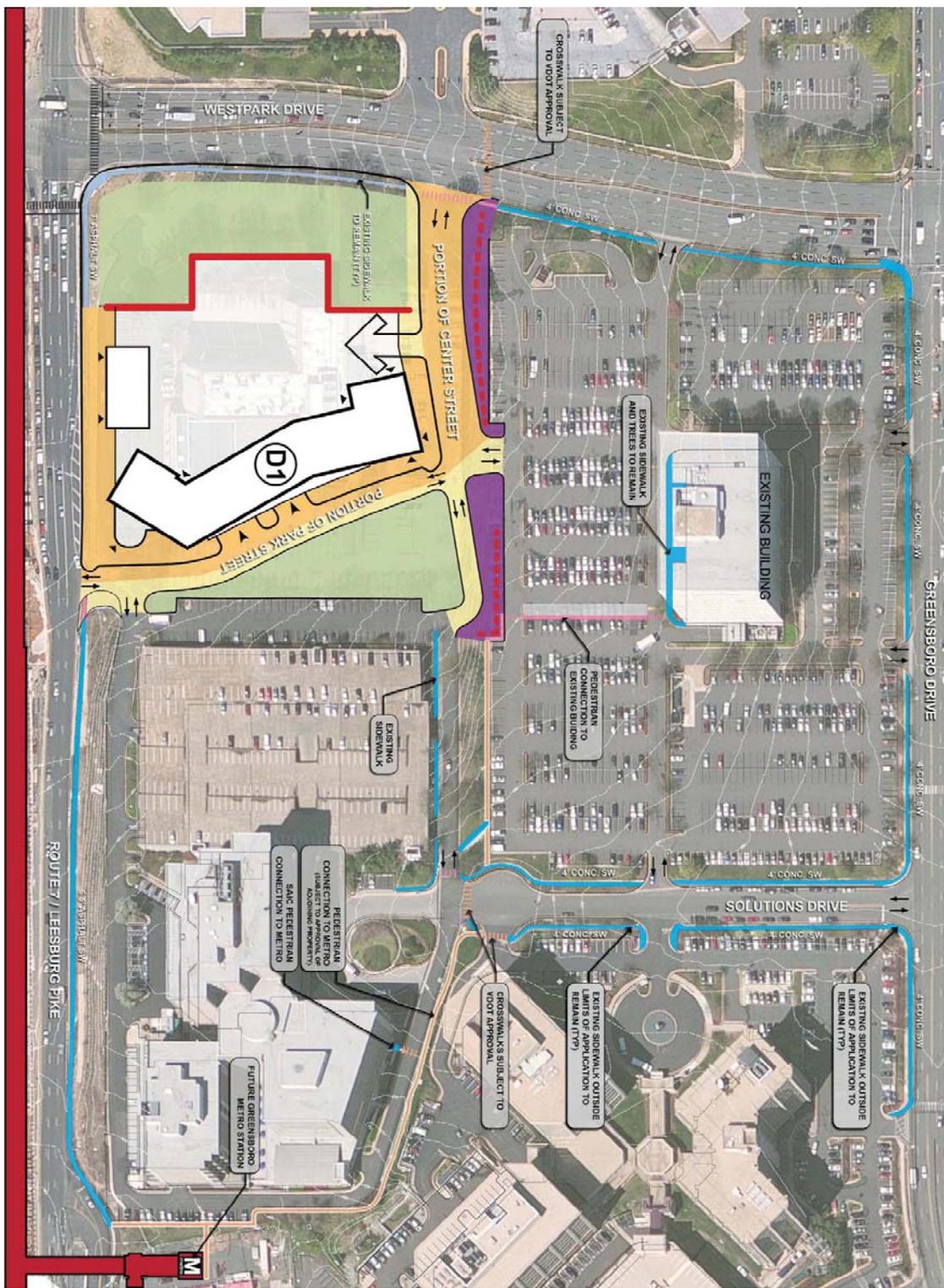
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 DESIGNED BY: PC/CC/SP
 DRAWN BY: JG/KG
 CHECKED BY: SP
 C.C. BY: JG/KG
 SCALE: 1" = 60'
 PROJECT #: 2010049

REVISIONS:
 10/01/2010
 06/30/2011
 09/16/2012
 10/02/2012

SHEET NUMBER
L-33

Solutions Plaza
 CDP
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BUILDING D1

- EXISTING SIDEWALK
- FUTURE GREENSBORO METRO
- INITIAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE SEWERAGE
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- SCREENED WALL WITH RAIL

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR TRAILING GARAGE ENTRY

*** ALL MODIFICATIONS OR IMPROVEMENTS SHALL INCLUDE PARK ELEMENTS AS REQUIRED BY FAIRFAX COUNTY CODE OF ORDINANCES AND CSP PROVISIONS

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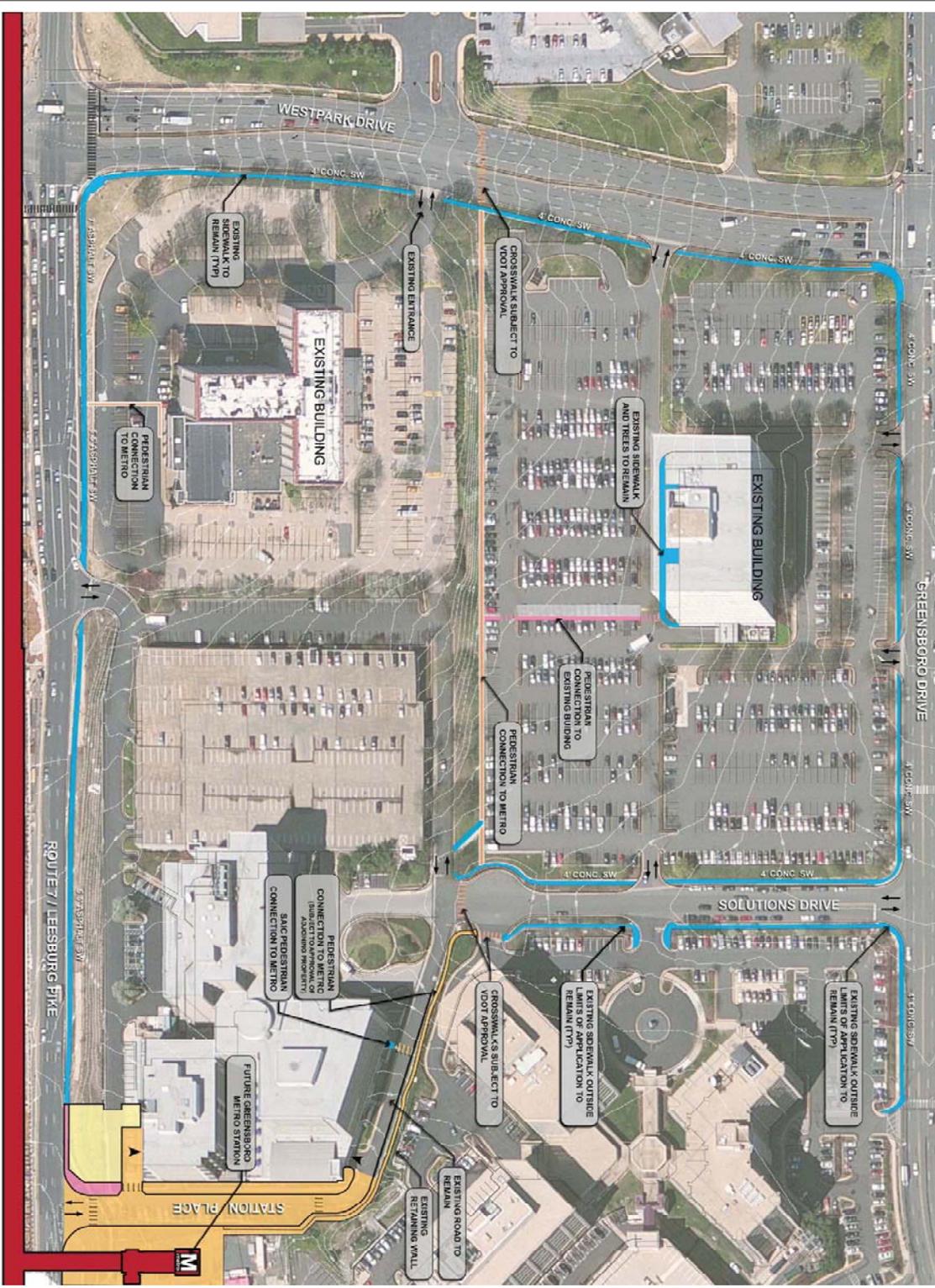
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 DRAWN BY: JG/JG/KG
 CHECKED BY: SP
 Q.C. BY: SP
 SCALE: 1" = 60'
 PROJECT #: 2010049

REVISIONS:
 10/01/2010
 06/30/2011
 09/16/2012
 10/02/2012

SHEET NUMBER:
L-34

Solutions Plaza
 CDP
 Lincoln Properties Company / JM ZELL; McLean, Virginia
 PHASING

LandDesign
 200 S. Peyton St., Alexandria, VA 22314
 V. 703.547.7394 F. 703.547.4764
 www.LandDesign.com



STATION PLACE

- EXISTING SIDEWALK
- FUTURE GREENSBORO METRO
- INITIAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE SEWAGE
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- NEGOTIATION TO PARKING LOT COMPLETION FOR PHASE INTERIM CONDITION****
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR TRADING GARAGE ENTRY

* NOT ALL ITEMS IN LEGEND WILL SHOW UP ON EVERY PHASING SCENARIO
 ** ALL AREAS INDICATED IN COLOR ARE REFINED AT FDP
 *** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK ELEMENTS AS REQUIRED BY FARMAX COUNTY CODE OF ORDINANCES AND CSP PROVISIONS
 **** ALL MODIFICATIONS OR ETC TO PARKING LOT CONFIGURATIONS PER PHASE IN THE INTERIM SHALL BE PERMITTED BY FARMAX COUNTY CODE OF ORDINANCES



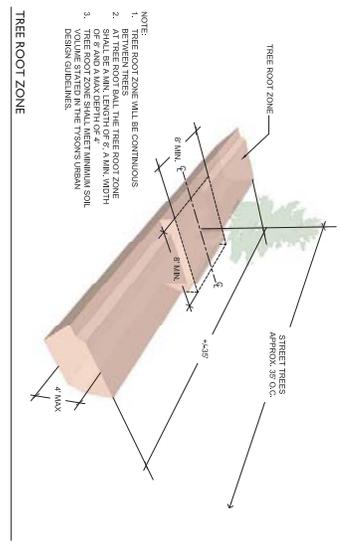
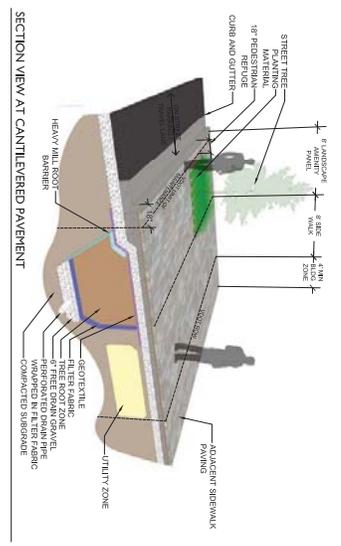
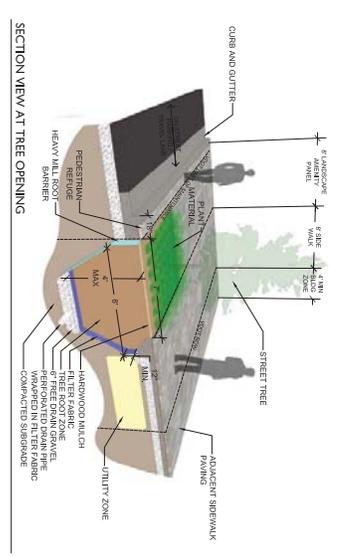
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Solutions Plaza
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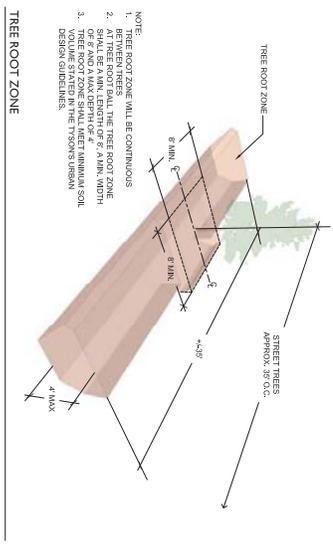
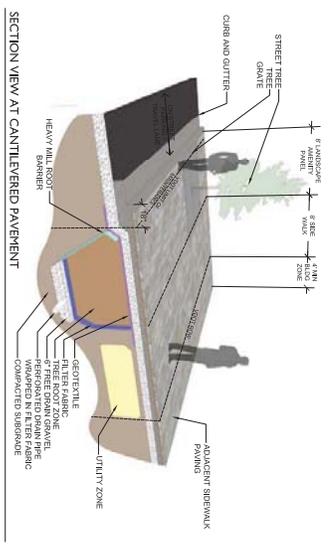
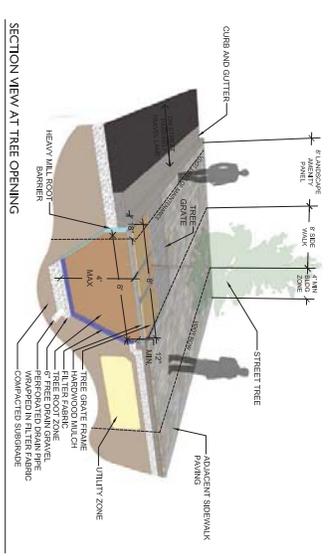
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1 CANTILEVERED PAVEMENT OVER TREE ROOT ZONE - STREET TREE OPTION

SECTION VIEW AT CANTILEVERED PAVEMENT

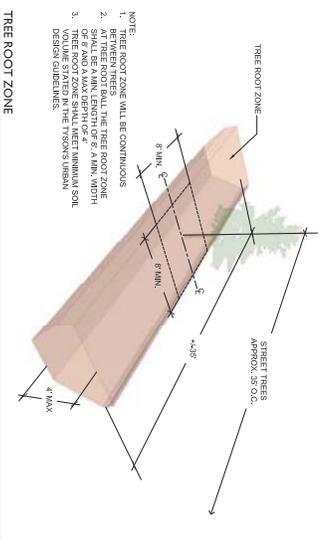
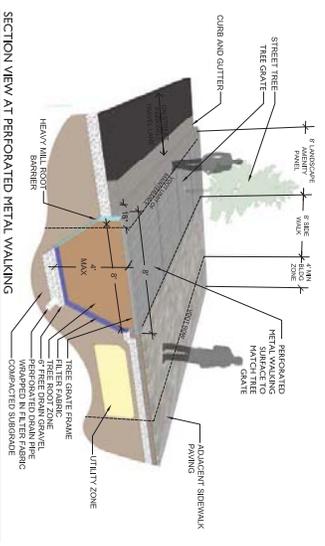
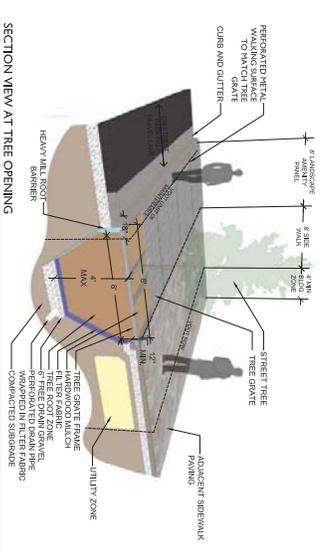
NOTE:
1. TREE ROOT ZONE WILL BE CONTINUOUS BETWEEN TREES.
2. TREE ROOT ZONE SHALL BE A MIN. LENGTH OF 6' A MIN. WIDTH OF 4' AND A MAX. DEPTH OF 2' IN MINERAL SOIL.
3. TREE ROOT ZONE SHALL MEET MINIMAL SOIL VOLUME SPECIFIED IN THE TYPICAL URBAN DESIGN GUIDELINES.



2 CANTILEVERED PAVEMENT OVER TREE ROOT ZONE WITH TREE GRATE - STREET TREE OPTION (GREENSBORO DRIVE)

SECTION VIEW AT CANTILEVERED PAVEMENT

NOTE:
1. TREE ROOT ZONE WILL BE CONTINUOUS BETWEEN TREES.
2. AT TREE ROOT SHALL THE TREE ROOT ZONE SHALL BE A MIN. LENGTH OF 6' A MIN. WIDTH OF 4' AND A MAX. DEPTH OF 2' IN MINERAL SOIL.
3. TREE ROOT ZONE SHALL MEET MINIMAL SOIL VOLUME SPECIFIED IN THE TYPICAL URBAN DESIGN GUIDELINES.



3 TREE GRATE / PERFORATED METAL WALKING SURFACE OVER TREE ROOT ZONE - STREET TREE OPTION (GREENSBORO DRIVE)

SECTION VIEW AT PERFORATED METAL WALKING SURFACE

NOTE: SIMILAR DETAILS PROPOSED FOR STAIRS WAY, STREETSCAPE ENLARGEMENT 4, SHEET L241 FOR ORIGINAL DRAWINGS

1 STREET TREE OPTIONS

08A-XXX
NTS

