

**FAIRFAX COUNTY
BOARD OF SUPERVISORS
October 15, 2019**

AGENDA

8:30	Held	Domestic Violence Awareness Month (DVAM) Proclamation Reception, J. Lambert Conference Center Reception Area
9:30	Done	Presentations
10:10	Done	Items Presented by the County Executive

**ADMINISTRATIVE
ITEMS**

1	Approved	Streets into the Secondary System (Dranesville and Hunter Mill Districts)
2	Approved	Authorization to Advertise Public Hearings on Proposed Amendments to Chapter 112 (Zoning Ordinance) of the Code of the County of Fairfax, Virginia (County Code) Re: Article 11 - Regional Mall Parking Rates
3	Approved	Authorization to Advertise a Public Hearing on a Proposal to Vacate and Abandon a Portion of Rock Hill Road / Route 605 (Dranesville District)
4	Approved	Authorization for the Department of Neighborhood and Community Services to Apply for and Accept Supplemental Grant Funding from the U.S. Department of Health and Human Services Associated with the Head Start and Early Head Start Grants

ACTION ITEMS

1	Approved	Approval of and Authorization to Amend a Project Administration Agreement with the Virginia Department of Transportation for Transportation Improvements on Lee Highway (Route 29) from Union Mill Road to Buckleys Gate Drive (Springfield and Sully Districts)
2	Approved	Endorsement of Design Plans for Route 29 (Lee Highway) Phase II Widening Project from Union Mill Road to Buckleys Gate Drive (Springfield and Sully Districts)

**CONSIDERATION
ITEMS**

1	Deferred to 10/29/19 at 3:00 p.m.	Proffer Interpretation Appeal A-RZ 86-C-12, Related to the Planning Commission's Denial of Conceptual Plan CP 86-C-121-15, Filed by NS Reston LLC
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**FAIRFAX COUNTY
BOARD OF SUPERVISORS
October 15, 2019**

**INFORMATION
ITEMS**

1	Noted	Fairfax County Transportation Status Report
10:20	Done	Matters Presented by Board Members
11:10	Held	Closed Session

**PUBLIC HEARING
ITEMS**

3:30	Approved	Public Hearing on SE 2019-SU-002 (Fairfax County Water Authority) (Sully District)
3:30	Approved	Public Hearing on RZ 2017-PR-010 (Tysons Development LLC) (Providence District)
3:30	Approved	Public Hearing on PCA 2010-PR-014D (Tysons Development LLC) (Providence District)
3:30	Approved	Public Hearing on SE 2018-PR-013 (Tysons Development LLC) (Providence District)
3:30	Approved	Public Hearing on AF 2019-DR-001 (May Properties IV LLC) (Dranesville District)
3:30	Approved	Public Hearing on RZ 2018-HM-020 (APA Properties NO. 6, L.P.) (Hunter Mill District)
3:30	Approved	Public Hearing on RZ 2017-HM-018 (1900-02 Campus Commons, LLC) (Hunter Mill District)
3:30	Approved	Public Hearing on PCA 79-C-023 (1900-02 Campus Commons, LLC) (Hunter Mill District)
4:00	Approved	Public Hearing on SE 2019-DR-009 (Sunrise Development, Inc.) (Dranesville District)
4:00	Approved	Public Hearing on PCA 2011-HM-012/CDPA 2011-HM-012 (CARS-DB1, L.L.C.) (Hunter Mill District)
4:00	Approved	Public Hearing on SEA 2010-LE-025 (Costco Wholesale Corporation) (Lee District)
4:30	Approved	Public Hearing on SEA 2013-HM-012 (Blue Ocean Development, Inc.) (Hunter Mill District)

**FAIRFAX COUNTY
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**PUBLIC HEARING
ITEMS
(Continued)**

4:30	Approved	Public Hearing on PCA 74-7-047-02-02/CDPA 74-7-047-02-02 (INOVA Health Care Services) (Providence District)
4:30	Approved	Public Hearing on SE 2018-BR-028 (Classic Cottages, LLC) (Braddock District)
4:30	Deferred to 1/28/20 at 3:30 p.m.	Public Hearing on RZ 2019-PR-001 (Toll Mid-Atlantic LP Company, Inc.) (Providence District)
5:00	Approved	Public Hearing on SE 2013-LE-020 (South Alex Subsidiary LLC), (Lee District)
5:00	Approved	Public Hearing to Lease County-Owned Property at 8350 Richmond Highway to Clear Wireless LLC (Lee District)
5:00	Deferred to 1/28/20 at 3:30 p.m.	Public Hearing on RZ 2018-PR-021 (Georgelas, LLC) (Providence District)
5:00	Deferred to 1/28/20 at 3:30 p.m.	Public Hearing on RZ 2018-PR-022 (Georgelas, LLC) (Providence District)
5:30	Advertise New Public Hearing for 10/29/19 at 3:00 p.m.	Decision Only on PRC 86-C-121-06 (NS Reston LLC) (Hunter Mill District)
5:30	Advertise New Public Hearing for 10/29/19 at 3:00 p.m.	Decision Only on CP 86-C-121-15 (NS Reston LLC) (Hunter Mill District)
5:30	Held	Public Hearing to Sell Board-Owned Property North of Reston Station Boulevard to CRS Sunset Hills, LC and Proposed Amendment to Deed of Lease with Comstock Reston Station Holdings, LC to Remove Land Area (Hunter Mill District)

REVISED



Fairfax County, Virginia ***BOARD OF SUPERVISORS*** ***AGENDA***

Tuesday
October 15, 2019

9:30 a.m.

WELCOME HOME AND THANKS

To recognize Virginia Task Force 1 International Search and Rescue Team for its service in the Bahamas during the aftermath of Hurricane Dorian.
Requested by Chairman Bulova.

INTRODUCTION AND WELCOME

Introduction and welcome to Fairfax County for students and staff from Chantilly, France, who partner with Chantilly High School in Fairfax County.
Requested by Supervisor Smith.

PRESENTATIONS

- PROCLAMATION — To designate October 2019 as Head Start Awareness Month in Fairfax County. Requested by Supervisor Hudgins.
- PROCLAMATION — To designate October 2019 as Domestic Violence Awareness Month in Fairfax County. Requested by Supervisor Cook.

— more —

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- PROCLAMATION — To designate October 2019 as Cybersecurity Awareness Month in Fairfax County. Requested by Supervisor Foust.
- PROCLAMATION — To designate October 2019 as Financial Planning Month in Fairfax County. Requested by Supervisor Foust.
- PROCLAMATION — To designate Saturday, October 26, 2019, as VolunteerFest Day in Fairfax County. Requested by Supervisor Smyth.

STAFF:

Tony Castrilli, Director, Office of Public Affairs
Bill Miller, Office of Public Affairs
Austin Hendrick, Office of Public Affairs

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10:10 a.m.

Items Presented by the County Executive

Board Agenda Item
October 15, 2019

ADMINISTRATIVE - 1

Streets into the Secondary System (Dranesville and Hunter Mill Districts)

ISSUE:

Board approval of streets to be accepted into the State Secondary System.

RECOMMENDATION:

The County Executive recommends that the street(s) listed below be added to the State Secondary System:

<u>Subdivision</u>	<u>District</u>	<u>Street</u>
Wiehle Avenue Phase II	Hunter Mill	Wiehle Avenue
Wiehle Avenue Phase III	Dranesville	Wiehle Avenue

TIMING:

Routine.

BACKGROUND:

Inspection has been made of these streets, and they are recommended for acceptance into the State Secondary System.

FISCAL IMPACT:

None.

ENCLOSED DOCUMENTS:

Attachment 1 – Street Acceptance Forms

STAFF:

Rachel Flynn, Deputy County Executive
William D. Hicks, P.E., Director, Land Development Services

Street Acceptance Form For Board Of Supervisors Resolution - June 2005

FAIRFAX COUNTY BOARD OF SUPERVISORS FAIRFAX, VA Pursuant to the request to inspect certain streets in the subdivisions as described, the Virginia Department of Transportation has made inspections, and recommends that same be included in the secondary system.		VIRGINIA DEPARTMENT OF TRANSPORTATION - OFFICE OF THE ENGINEERING MANAGER, FAIRFAX, VIRGINIA REQUEST TO THE ENGINEERING MANAGER, FOR INCLUSION OF CERTAIN SUBDIVISION STREETS INTO THE STATE OF VIRGINIA SECONDARY ROAD SYSTEM.	
		PLAN NUMBER: Fairfax County Project # 6495B	
		SUBDIVISION PLAT NAME: Wiehle Avenue Phase III	
		COUNTY MAGISTERIAL DISTRICT: Dranesville	
ENGINEERING MANAGER: Houda A. Ali, PMP BY: <u>Nadia Alphonse</u>		FOR OFFICIAL USE ONLY DATE OF VDOT INSPECTION APPROVAL: <u>08/01/2019</u>	
STREET NAME	LOCATION		LENGTH MILE
	FROM	TO	
Wiehle Avenue	CL Dranesville Road (Route 228) - 486' N CL Kingstream Drive (Route 6701)	3,461 E to CL Fairfax County Parkway (Route 286)	0.66
NOTES: 5' Concrete Sidewalk on South Side to be maintained by VDOT.			TOTALS: 0.66

Street Acceptance Form For Board Of Supervisors Resolution - June 2005

FAIRFAX COUNTY BOARD OF SUPERVISORS FAIRFAX, VA Pursuant to the request to inspect certain streets in the subdivisions as described, the Virginia Department of Transportation has made inspections, and recommends that same be included in the secondary system.		VIRGINIA DEPARTMENT OF TRANSPORTATION - OFFICE OF THE ENGINEERING MANAGER, FAIRFAX, VIRGINIA REQUEST TO THE ENGINEERING MANAGER, FOR INCLUSION OF CERTAIN SUBDIVISION STREETS INTO THE STATE OF VIRGINIA SECONDARY ROAD SYSTEM.	
ENGINEERING MANAGER: Houda A. Ali, PMP BY: <u>Nadia Alphonse</u>		PLAN NUMBER: Fairfax County Project # 6495B SUBDIVISION PLAT NAME: Wiehle Avenue Phase II COUNTY MAGISTERIAL DISTRICT: Dranesville <u>Hunter Mill</u> <i>DA</i>	
		FOR OFFICIAL USE ONLY DATE OF VDOT INSPECTION APPROVAL: <u>08/01/2019</u>	
STREET NAME	LOCATION		LENGTH MILE
	FROM	TO	
Wiehle Avenue	CL Shaker Woods Road (Route 680) - 414' S CL Gilman Lane (Route 7911)	4,020' E to CL Reston Avenue (Route 7917)	0.76
NOTES:			TOTALS: 0.76
3,790' of 8' Asphalt Trail on North Side to be maintained by Fairfax County.			
3,790' of 5' Concrete Sidewalk on South Side to be maintained by VDOT.			

Board Agenda Item
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ADMINISTRATIVE - 2

Authorization to Advertise Public Hearings on Proposed Amendments to Chapter 112 (Zoning Ordinance) of the Code of the County of Fairfax, Virginia (County Code) Re: Article 11 - Regional Mall Parking Rates

ISSUE:

The proposed amendments will revise the minimum parking requirements for a regional shopping center/mall with a gross floor area (gfa) of 800,000 square feet or more from the current requirement of 4.0 spaces per 1000 square feet of gfa to a rate within the range of 2.5 and 3.0 spaces per 1000 square feet of gfa.

RECOMMENDATION:

The County Executive recommends that the Board authorize the advertisement of the proposed amendments as set forth in the Staff Report dated October 15, 2019, by adopting the Resolution in Attachment 1.

TIMING:

Board action is requested on October 15, 2019, to provide sufficient time to advertise public hearings on November 13, 2019, at 7:30 p.m. before the Planning Commission, and on December 3, 2019, at 4:00 p.m. before the Board.

BACKGROUND:

The proposed parking rate change is in response to a request by the Board for staff to review the current parking requirement for large regional shopping centers/malls in excess of 800,000 square feet of gfa. Fairfax County has four such regional malls – Fair Oaks, Tysons Corner Center, Springfield Town Center, and the Tysons Galleria. The proposed amendment was added to the 2019 Priority 1 List of the Zoning Ordinance Amendment Work Program. To expedite the review and analysis of the parking rates, staff engaged Nelson/Nygaard, part of the Clarion team assisting the County with the zMOD initiative, to conduct an independent review and analysis of parking rates and parking demand at large regional shopping centers/malls. The review and analysis included a review of available industry and jurisdictional parking data, as well as a review of the parking utilization counts performed by the Taubman Company at Fair Oaks Mall. In addition, Nelson/Nygaard conducted a parking count at the Springfield Town Center to further analyze the parking demand for these types of large regional shopping centers.

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This analysis is detailed in the attached Staff Report (Attachment 2) and a copy of the Nelson/Nygaard study is presented as an Attachment to the Staff Report. In summary, the consultant found that less than 65 percent of the available spaces on each of the analyzed mall sites were occupied during the peak of peak occupancy, which typically occurs during the holiday season. The analysis by Nelson/Nygaard recommended that a range between 2.5 and 3.0 parking spaces per 1000 gross square feet of gfa for a regional mall with 800,000 square feet or more of gfa be considered. This is a more realistic parking requirement and, if implemented, would continue to provide an oversupply of parking at peak demand on weekdays and weekends during all times of the year.

The proposed amendment will revise the parking rate in Article 11 of the Zoning Ordinance for shopping centers from the current 4.0 spaces per 1000 square feet of gfa for shopping centers with more than 800,000 square feet of gfa to a rate within a range of 2.5 and 3.0 spaces per 1000 square feet of gfa. The amendment will be advertised to allow consideration of any rate between 2.5 and the current rate of 4.0 spaces per 1000 square feet of gfa. Staff is recommending that the Board consider a rate of 2.8 spaces per 1000 square feet of gfa with continued review of shopping center/mall rates expected during the zMOD process.

The amendment will also reduce the threshold gross floor area applicable to this new parking rate from 1 million square feet down to 800,000 square feet of gfa. The revision from 1 million square feet to 800,000 square feet would align the County's large commercial shopping center size categories with industry standards. This modification accounts for converting from a gross leasable area measure often used by the retail industry to the gfa standard as defined in the Ordinance. Overall, the changes will provide Fairfax County's largest commercial retail centers additional flexibility to react to a changing retail marketplace.

The proposed amendment was presented to the Board's Development Process Committee on September 10, 2019. It was also discussed with stakeholders at the zMOD citizen and land use attorney working groups. In addition, the Nelson/Nygaard report was presented to all four mall property owners for their review and input.

REGULATORY IMPACT:

No new regulatory requirements are proposed. The lowering of parking rates for a regional mall is a lessening of current regulatory requirements.

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FISCAL IMPACT:

There is no fiscal impact to the County. The proposed amendments will not require any additional staff to implement. Staff time will be reduced because of reduced processing time for some parking reduction requests.

ENCLOSED DOCUMENTS:

Attachment 1 – Resolution
Attachment 2 – Staff Report

STAFF:

Rachel Flynn, Deputy County Executive
Barbara A. Byron, Director, Department of Planning and Development
William D. Hicks, P.E., Director, Land Development Services
Leslie B. Johnson, Zoning Administrator
Michael A. Davis, Parking Program Manager, Land Development Services

ASSIGNED COUNSEL:

F. Hayden Coddington, Assistant County Attorney
T. David Stoner, Deputy County Attorney

RESOLUTION

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center Building, Fairfax, Virginia, on October 15, 2019, at which meeting a quorum was present and voting the following resolution was adopted:

WHEREAS, on February 5, 2019, the Board of Supervisors (Board) noted that Fair Oaks Mall, as well as other regional malls within the County, have a parking supply that is underutilized even at peak demand; and,

WHEREAS, the Board directed staff to review current parking requirements for regional malls in excess of 800,000 square feet; and,

WHEREAS, staff, in partnership with Nelson/Nygaard, a transportation/parking consulting firm associated with Clarion Associates, the County's zMOD consultant, conducted an independent review and analysis of parking information submitted by Fair Oaks Mall and undertook a parking study of Springfield Town Center; and,

WHEREAS, changing shopping and demographic patterns have produced a steady decline in the use of personal vehicles for shopping; and,

WHEREAS, the analysis determined that a parking rate between 2.5 and 3.0 parking spaces per 1000 gross square feet of floor area rather than the current rate of 4.0 spaces per 1000 square feet of gross floor area for a regional mall of 800,000 square feet or more of gross floor area is a more realistic parking requirement and if implemented would still provide for an adequate supply of parking during peak demand ; and

WHEREAS, the public necessity, convenience, general welfare, and good practice require consideration of the proposed revisions to Article 11, Off Street Parking and Loading, Private Streets of Chapter 112 (Zoning Ordinance) of the County Code.

NOW, THEREFORE, BE IT RESOLVED, for the foregoing reasons and as further set forth in the Staff Report, the Board of Supervisors authorizes the advertisement of the proposed amendments to the Zoning Ordinance of the County Code, as recommended by staff.

Given under my hand this 15th day of October, 2019.

A Copy Teste:

Jill G. Cooper
Clerk for the Board of Supervisors



**FAIRFAX
COUNTY**

ATTACHMENT 2

STAFF REPORT

V I R G I N I A

PROPOSED ZONING ORDINANCE AMENDMENT

Article 11 – Regional Mall Parking Rates

PUBLIC HEARING DATES

Planning Commission

November 13, 2019 at 7:30 p.m.

Board of Supervisors

December 3, 2019 at 4:00 p.m.

**PREPARED BY
ZONING ADMINISTRATION DIVISION
DEPARTMENT OF PLANNING AND DEVELOPMENT
703-324-1314, AND**

**PERMITTING AND CODE ADMINISTRATION
LAND DEVELOPMENT SERVICES
703-324-3065**

October 15, 2019

MAD



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call 703-324-1334 or TTY 711 (Virginia Relay Center).

STAFF REPORT

STAFF RECOMMENDATION

Staff recommends that the Board of Supervisors (the Board) adopt the proposed amendment as set forth in this Staff Report dated October 15, 2019.

BACKGROUND

The proposed amendment was developed in response to a request by the Board of Supervisors (Board) on February 5, 2019, directing staff to review the current parking requirements for regional malls in excess of 800,000 square feet of gross floor area (gfa) to determine if a lower rate is appropriate. This request was added to the 2019 Zoning Ordinance Priority Work Program.

The Board's request noted that organizations such as the Urban Land Institute, the International Council of Shopping Centers, and the Institute of Transportation Engineers acknowledge a trend in reduced parking demand for retail developments. For example, while the current parking supply at the Fair Oaks Mall addressed typical seasonal demand in the 1980s and 1990s, less than 70 percent of that supply would be needed to accommodate peak demand for holiday shopping today, according to data submitted by the property owner of the mall, the Taubman Company.

Reducing required parking is expected to help the County meet several key goals, ranging from reducing environmental impacts, including stormwater runoff and heat island effects, to better utilization of mall property, to creating a more pedestrian-friendly context that supports transit and other sustainable transportation modes. Changes to the parking requirements for large regional shopping centers could potentially impact all four of the County's regional malls – Fair Oaks, Springfield Town Center, Tysons Corner Center, and Tysons Galleria.

Conventional malls composed of multiple large-format anchor stores, a food court, and in-line shops surrounded by surface parking have responded to changing retail trends by trying to reinvent themselves to remain competitive. Malls around the United States are repurposing underused surface parking areas for redevelopment activities including the addition of new residential and commercial development, urban plazas, and enhanced design for pedestrian activities. Locally, Tysons Corner Mall and Springfield Town Center have similar approved plans for redevelopment that utilize surface parking. These redevelopments also take advantage of nearby alternative transportation modes which further reduces parking demand.

Fair Oaks Mall is also currently looking at redevelopment opportunities and an evaluation of the parking rates is viewed as critical to ensure the long-term vitality of the mall.

In an effort to expedite this analysis of parking rates for regional shopping centers with 800,000 square feet or more of gfa, County staff, working with Fair Oaks Mall and other regional centers, partnered with Nelson/Nygaard, part of the Clarion team assisting the County with the zMOD effort, to undertake this independent review of parking rates for large regional shopping centers. A copy of the Nelson/Nygaard report is included as Attachment A to the Staff Report.

DISCUSSION

Currently, the Zoning Ordinance provides for a tiered parking rate for shopping centers based on the total gfa for the shopping center as follows:

- A. 100,000 square feet of gfa or less: 4.3 spaces per 1,000 square feet of gfa
- B. Greater than 100,000 but equal to or less than 400,000 square feet of gfa: 4.0 spaces per 1,000 square feet of gfa
- C. Greater than 400,000 but less than 1 million square feet of gfa: 4.8 spaces per 1,000 square feet of gfa,
- D. 1 million square feet of gfa or more: 4.0 spaces per 1000 square feet of gfa

The above parking requirement is applicable to all uses in a shopping center, except that the area occupied by offices, restaurants or restaurants with a drive-through establishment that exceeds 5000 square feet of gfa, and hotels is parked separately in accordance with the applicable standards for those uses as set forth in Article 11-104, Minimum Required Spaces for Commercial and Related Uses.

According to the Urban Land Institute, shopping centers are defined as follows by floor area size:

- Community Shopping Center: <400,000 gross leasable area (gla)
- Regional Shopping Center: 400,000 to 600,000 gla
- Super Regional Shopping Center: >600,000 gla

In order to bring the County's large commercial shopping center size categories generally in line with industry standards, it is recommended to modify the minimum shopping center threshold in Paragraph D from 1 million square feet of gfa to 800,000 square feet of gfa and to modify the maximum shopping center threshold for Paragraph C from 1 million square feet of gfa to 800,000 square feet of gfa. This accounts for converting from gla to gfa as currently defined in the Ordinance and will provide Fairfax County's largest commercial retail centers additional flexibility to react to a changing retail marketplace.

The County's consultant, Nelson/Nygaard, collected data from other US jurisdictions on trends in changes to retail parking rates and reviewed the parking demand information submitted by the Taubman Company, owners of Fair Oaks Mall. The Taubman Company commissioned an analysis of mall parking demand during the 2017 and 2018 holiday seasons at Fair Oaks Mall, when annual peak parking occurs. The analysis found that less than 65 percent of the available spaces on the mall site were occupied during the peak of peak occupancy. As part of the analysis, staff also requested Nelson/Nygaard to conduct a parking demand study of Springfield Town Center. This was completed in August 2019. The consultant then projected holiday demand at this center and anticipates that, at 100% occupancy of the available retail space, approximately 65% of the parking spaces will be full during the peak of peak occupancy. This information is summarized in Table 1 below.

Table 1 Existing Conditions Summary

	Parking Required by Code	Existing Parking Supply	Peak Weekday Parking Utilization			Peak Weekend Parking Utilization		
			Total	% Occ.	Per 1000 sf gfa	Total	% Occ.	Per 1000 sf gfa
Fair Oaks Mall (1.79 million sf gfa)	4/ 1000gfa*							
December 2018 Surveys**	7,610	7,736						
- At then 85% tenant occupancy			2,793	36%	1.56	4,363	56%	2.44
- At 100% tenant occupancy			3,260	42%	1.82	5,092	66%	2.84
December 2017 Surveys**	7,610	7,736						
- At then 90% tenant occupancy			2,585	33%	1.44	4,864	63%	2.72
- At 100% tenant occupancy			2,847	37%	1.56	5,356	69%	2.99
Springfield Town Center (1.69 million sf gfa)	4/ 1000gfa*							
June 2019 Surveys	7,559	7,588						
- At current 91% tenant occupancy			2,331	31%	1.38	3,312	44%	1.96
- At 100% tenant occupancy			2,562	34%	1.52	3,640	48%	2.15
December Projections***	7,559	7,588						
- At current 91% tenant occupancy			3,100	41%	1.83	4,405	58%	2.60
- At 100% tenant occupancy			3,407	45%	2.01	4,841	64%	2.86

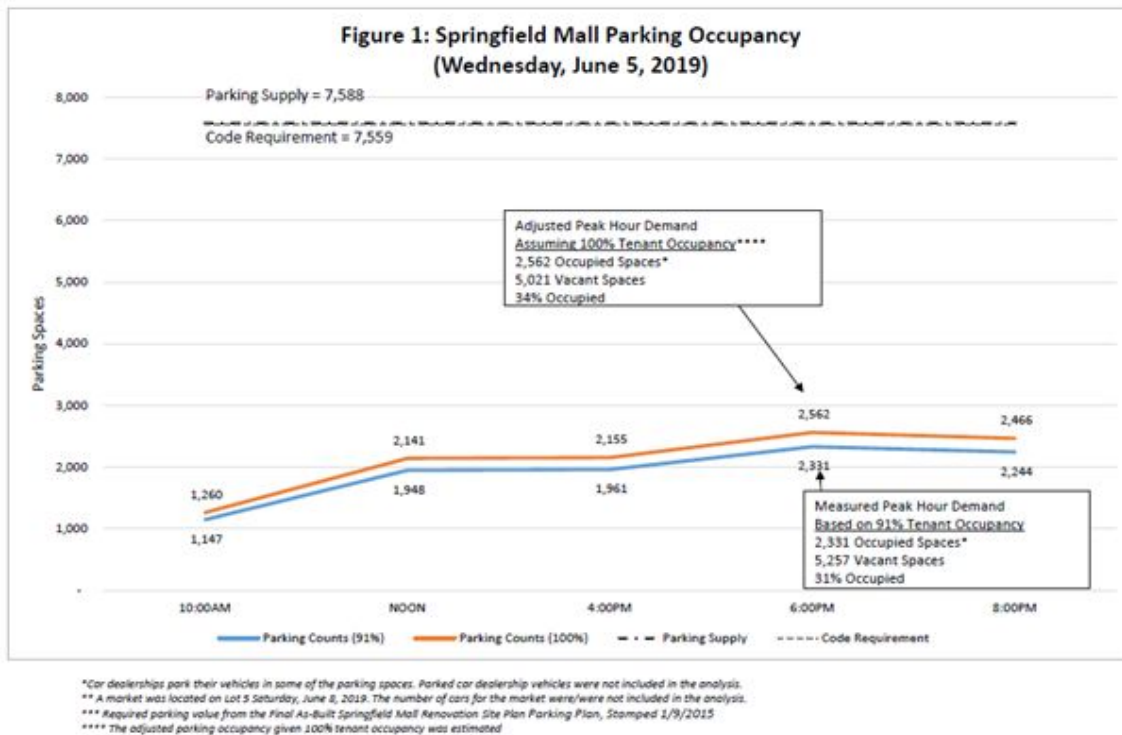
*Required for Shopping Centers with greater than 1,000,000 gfa (not including supporting uses such as restaurants, movie theaters, etc)

** Surveys undertaken by Fair Oaks Mall Owners Consultants

*** December projections for Springfield Town Center utilize ULI monthly parking demand factors

An examination of current and recent parking utilization at Fair Oaks Mall and Springfield Town Center shows peak occupancy for a limited time period in a single day of approximately 2.8 spaces per 1000 square feet of retail development. However, during most of the year, parking demand is much less. Typically, parking is not designed to address peak demand but, instead, average demand. Infrequent times of peak demand may create a tight parking supply with difficulty finding a space, but the tradeoff is a right-sized parking facility for 90 percent of its operational time. An oversupply of parking is an inefficient use of land resources and creates environmental, design, and aesthetic issues. Figure 2 below shows parking demand in June 2019 for the Springfield Town Center which demonstrates the underutilization of parking supply occurring at regional mall sites today. Overall, parking demand at these sites is

declining. This is a trend that is expected to continue even at economically healthy malls.



Nelson/Nygaard's analysis recommends that the County consider reducing its minimum parking requirement for large regional malls within a range of 2.5 – 3.0 parking spaces per 1000 square feet of retail development. The 2.8 spaces per 1000 square feet previously discussed represents peak parking during December, which is typically the highest demand period for parking. Staff has advertised the range of 2.5 – 3.0 spaces per 1000 square feet of gfa to allow maximum flexibility for the Board's consideration. However, as an interim first step, staff believes a rate of 2.8 spaces per 1000 square feet of gfa for shopping centers with 800,000 square feet or more of gfa is reasonable and will address the oversupply of parking currently experienced at our regional malls. This topic will be revisited during Phase II of the County's zMOD effort which will include a broad review of all the parking rates within Article 11 of the Zoning Ordinance.

STAKEHOLDER OUTREACH

In addition to a presentation to the Board's Development Process Committee on September 10, 2019, the proposed amendment was included as a discussion topic during the Zoning Open House held at the South County Government Center on September 10, 2019. The amendment was also discussed with stakeholders at the zMOD citizen and land use attorney's working group. In addition, the Nelson/Nygaard Report was presented to all four mall property owners for their review and input.

CONCLUSION

The proposed amendment lessens parking requirements for retail developments over 800,000 square feet of gfa. This provides greater flexibility for existing retail development of this type to repurpose parking areas which will provide economic, environmental, and public welfare benefits. The analysis supports a significantly lower minimum parking ratio for large regional malls in Fairfax County. Therefore, staff recommends adoption of a minimum parking requirement of 2.5 - 3.0 spaces per 1,000 square feet of gfa for shopping centers of 800,000 square feet or more of gfa, with an effective date of 12:01 am the day following adoption.

**PROPOSED ZONING ORDINANCE AMENDMENT
CHAPTER 112 OF THE FAIRFAX COUNTY CODE**

This proposed Zoning Ordinance amendment is based on the Zoning Ordinance in effect as of October 15, 2019, and there may be other proposed amendments which may affect some of the numbering, order or text arrangement of the paragraphs or sections set forth in this amendment, which other amendments may be adopted prior to action on this amendment. In such event, any necessary renumbering or editorial revisions caused by the adoption of any Zoning Ordinance amendments by the Board of Supervisors prior to the date of adoption of this amendment will be administratively incorporated by the Clerk in the printed version of this amendment following Board adoption.

Amend Article 11, Off-Street Parking and Loading, Private Streets, Part 1, Off-Street Parking, as follows:

- Amend Sect. 11-104, Minimum Required Spaces for Commercial and Related Uses, by revising Paragraph 23, to read as follows:

23. Shopping Center:

- A. 100,000 square feet of gross floor area or less: ~~Four and three-tenths (4.3)~~ spaces per 1000 square feet of gross floor area
- B. Greater than 100,000 but equal to or less than 400,000 square feet of gross floor area: ~~Four (4)~~ spaces per 1000 square feet of gross floor area
- C. Greater than 400,000 but less than ~~800,000~~1,000,000 square feet of gross floor area: ~~Four and eight-tenths (4.8)~~ spaces per 1000 square feet of gross floor area
- D. ~~800,000~~1,000,000 square feet of gross floor area or more: ~~Four (4)~~ 2.8 spaces per 1000 square feet of gross floor area ***[Advertised to permit the Board to consider a rate from 2.5 spaces up to 4.0 spaces per 1000 square feet of gross floor area]***

For purposes of determining whether Par. A, B, C or D above is applicable, the size of the shopping center is based on the definition of gross floor area as set forth in Article 20, and includes any gross floor area devoted to offices, restaurants, restaurants with drive-through and hotels. The gross floor area calculation as qualified in Sect. 102 above is used to determine the required number of parking spaces.

The off-street parking requirement set forth above applies to all uses in a shopping center, except that the area occupied by offices, any restaurant or restaurant with drive-through establishment that exceeds 5000 square feet of

gross floor area, and hotels is parked in accordance with the applicable standards for such uses as set forth in this Section. For shopping centers subject to Par. A, B or C above, the area occupied by theaters is parked in accordance with the applicable shopping center requirement; however, for theaters with more than 2000 seats, an additional three-tenths (0.3) space must be provided for each seat above 2000 seats. For shopping centers subject to Par. D above, the area occupied by theaters is parked in accordance with the applicable shopping center requirement; however, for theaters with more than 750 seats, an additional six (6) spaces must be provided for each 100 seats above 750 seats.

In addition, for all shopping centers, stacking spaces as required by this Part must be provided for those uses which have drive-in or drive-through facilities. Spaces designated for curbside pickup cannot be counted toward the minimum required number of parking spaces.



MEMORANDUM

To: Leslie Johnson, Fairfax County Zoning Administrator
From: Nelson\Nygaard
Date: August 20, 2019
Subject: Development of recommended minimum parking ratios for large commercial retail properties in Fairfax County

1 INTRODUCTION

BACKGROUND

In early February 2019, the Fairfax County Board of Supervisors directed the County Department of Planning and Zoning to review current parking requirements for regional malls, those in excess of 800,000 square feet (sf) of gross floor area (gfa). This work was added to the Zoning Ordinance Priority Work Program, as part of the Zoning Ordinance Modernization (zMOD) process and contract. This direction came in response to a proposal from the Taubman Companies, owners of Fair Oaks Mall, that the County evaluate its minimum parking requirements for large commercial properties, to recognize current and future conditions in way that could allow owners of those properties to better match the amount of parking they provide to that desired by their customers.

As Commissioner Herrity noted in directing this review, "Fair Oaks Mall is surrounded by a sea of asphalt" which is never more than 70% occupied with parked vehicles. Reducing this oversupply could help the County meet several key goals, ranging from the economic health of such regional malls, to reducing environmental impacts including stormwater runoff and heat island effects, to creating more walking-friendly contexts that support transit and other sustainable transportation modes. Changes could potentially impact all four of the County's regional malls – Fair Oaks, Springfield Town Center, Tysons Corner Center, and Tysons Galleria. All four property owners welcome this review of minimum parking ratios for shopping centers of 800,000 sf and larger.

PURPOSE

The purpose of the parking requirement review is to develop recommended minimum parking ratios for large commercial retail properties in Fairfax County. Upon review by staff, a recommendation would be provided to the Board of Supervisors for possible action.

APPROACH

Nelson\Nygaard's approach, developed in consultation with County DPZ staff, was to analyze current and potential future demand for parking, using existing and newly collected utilization data from the County's regional malls. This direct, local experience was compared to current practices in other jurisdictions to ensure the recommendation reflects national trends in parking policy as well.

2 PLANNING CONTEXT

In the mid-1990's the number of conventional shopping malls in the U.S. peaked at over 1,500, while the intervening years have seen that number drop by over 1/3 to 1000. Conventional malls composed of multiple large-format anchor stores, a food court, and inline shops surrounded by surface parking have responded to retail trends by trying to reinvent themselves to remain competitive. For example, Fair Oaks has changed its tenant mix, has an 85% tenant occupancy, remains in a strong position but continues to have a low daily parking demand. Other malls have worked to remain relevant by using mixed-use strategies to build "downtowns" within the mall. Examples include the following:

- Many malls have repurposed underused parking lots to host regular and special events. For example, Springfield Town Center in Fairfax County, Smith Haven Mall in New York, and Everett Mall in Washington state host weekly farmers' markets, annual car shows, weeks-long circus residencies, and summer concert series.
- Northgate Mall outside Seattle devoted its two southern parking quadrants into 1200 condominium units aimed at residents 55 years old and older.
- The Streets at Southpoint in Durham, NC, developed a walking-friendly outdoor component and continues to replace parking with expanded outdoor options and new residential and commercial development.

Within Fairfax County, the four regional malls have observed shifting shopping (and parking) patterns in recent years and responded in different ways according to their context. The two Tysons malls are part of the coordinated Tysons Corner Urban Center plan, which envisions a future far less dependent on parking. Springfield Town Center has planned for the addition of some 800,000 sf of office space alongside residential and hotel units. Despite the rapidly changing context, the four regional malls remain competitive, with all recently above 90% occupancy.

However, the need for repurposing of vacant commercial space is an issue that the Board of Supervisors has recently addressed with an amendment of the Comprehensive Plan. In October 2018 the Board approved County staff's proposal to amend the comprehensive plan to allow non-office commercial buildings to be repurposed for different but compatible uses. This enables alternative uses for former retail spaces such as offices, public or institutional uses like an art

Minimum Parking Ratios – Large Commercial Retail Properties
Fairfax County, VA

gallery or library, indoor recreation, medical and healthcare uses, community colleges and training centers, and temporary or pop-up uses.

Currently, Article 11 of the County's Zoning Ordinance outlines required minimum off-street parking spaces accessory to the Shopping Center use, differentiated by size:

- 100,000 sf gfa or less: Four and three-tenths (4.3) spaces per 1000 sf gfa
- Greater than 100,000 but equal to or less than 400,000 sf gfa: Four (4) spaces per 1000 sf gfa
- Greater than 400,000 but less than 1,000,000 sf gfa: Four and eight tenths (4.8) spaces per 1000 sf gfa
- 1,000,000 sf gfa or more: Four (4) spaces per 1000 sf gfa
- The off-street parking requirement applies to all uses in a shopping center, except the area occupied by offices, any restaurant or restaurant with drive-through establishment that exceeds 5000 square feet of gross floor area, and hotels. These uses are parked in accordance with the applicable standards for such uses in the Zoning Code.

These parking space ratios are generally higher than current industry standard requirements, and in the range of the requirements imposed by adjacent jurisdictions:

Industry Standards

- Institute of Transportation Engineers Parking Generation Manual (5th Edition)
 - Non-December: 1.95 vehicles (weekdays) / 2.91 vehicles (Saturday) per 1000 sf of gross leasable area (gla)
 - December: 3.77 vehicles (weekdays) / 4.58 vehicles (Saturday) per 1000 sf gla
- Urban Land Institute Shared Parking 2nd Edition: 3.20 spaces per 1000 sf gla (weekday – regional mall) 3.60 spaces per 1000 sf gfa (weekend- regional mall)

Local Jurisdictions

- Arlington County, VA – 1 space per 250 sf gfa, or 4 spaces per 1000 sf gfa
- Montgomery County, MD – 5 spaces per 1000 sf gfa (all retail outside of Parking Lot Districts)
- Prince William County, VA - 1 space per 250 net sf, or 4 spaces per 1000 net sf (properties over 300,000 sf gfa) – note that net area omits some unleaseable space, meaning this requirement will produce fewer than 4 spaces per 1000 sf gfa
- Loudoun County, VA - 4.25 spaces per 1000 sf gfa (properties over 600,000 sf gfa)

Nationwide there are few examples of jurisdictions that have modified their zoning ordinances specifically to reflect lower parking requirements for retail and shopping centers. More jurisdictions have chosen to eliminate minimum requirements completely, at least in some districts, typically downtowns or other transit-oriented areas. These examples include:

Minimum Parking Ratios – Large Commercial Retail Properties
Fairfax County, VA

- City of Portland, OR: In some zones, minimum of 1 space per 500 sf gfa and maximum 1 space per 196 sf gfa (5.1 spaces per 1000 sf gfa). In other zones, no minimum number of spaces.
- City of Pittsburgh, PA: Minimum of 1 space per 500 sf gfa (above first 2,400 sf) and maximum 1 per 175 sf gfa (5.7 spaces per 1000 sf gfa).
- City of Richmond, VA: Minimum of 1 space per 300 sf gross leasable area (3.3 spaces per 1000 sf gla). With a typical ratio for malls of gla being 85% of gfa, this equates to roughly 2.8 spaces per 1000 sf gfa. No minimums in specific districts.
- City of Buffalo, NY: No parking minimums.
- City of Hartford, CT: No parking minimums.

From this review we see a range of minimum required parking from zero to 2.8 spaces per 1000 sf gfa, and maximums from 5.1 to 5.7 spaces per 1000 sf gfa.

3 EXISTING CONDITIONS

The Nelson\Nygaard team received parking inventory and utilization data for Fair Oaks Mall, collected by the property owner in December 2017 and December 2018. This data was supplemented with inventory and utilization data for Springfield Town Center, collected by Nelson\Nygaard on behalf of Fairfax County in June, 2019. These data provide existing conditions for two of the four regional malls in the County, and thus insight into current parking conditions and trends.

Table 1 below summarizes the existing parking conditions at Fair Oaks Mall and the Springfield Town Center. The full data summaries are included as Appendix A.

Minimum Parking Ratios – Large Commercial Retail Properties
Fairfax County, VA

Table 1 Existing Conditions Summary

	Parking Required by Code	Existing Parking Supply	Peak Weekday Parking Utilization			Peak Weekend Parking Utilization		
			Total	% Occ.	Per 1000 sf gfa	Total	% Occ.	Per 1000 sf gfa
Fair Oaks Mall (1.79 million sf gfa)	4/ 1000gfa*							
December 2018 Surveys**	7,610	7,736						
- At then 85% tenant occupancy			2,793	36%	1.56	4,363	56%	2.44
- At 100% tenant occupancy			3,260	42%	1.82	5,092	66%	2.84
December 2017 Surveys**	7,610	7,736						
- At then 90% tenant occupancy			2,585	33%	1.44	4,864	63%	2.72
- At 100% tenant occupancy			2,847	37%	1.56	5,356	69%	2.99
Springfield Town Center (1.69 million sf gfa)	4/ 1000gfa*							
June 2019 Surveys	7,559	7,588						
- At current 91% tenant occupancy			2,331	31%	1.38	3,312	44%	1.96
- At 100% tenant occupancy			2,562	34%	1.52	3,640	48%	2.15
December Projections***	7,559	7,588						
- At current 91% tenant occupancy			3,100	41%	1.83	4,405	58%	2.60
- At 100% tenant occupancy			3,407	45%	2.01	4,841	64%	2.86

*Required for Shopping Centers with greater than 1,000,000 gfa (not including supporting uses such as restaurants, movie theaters, etc)

** Surveys undertaken by Fair Oaks Mall Owners Consultants

*** December projections for Springfield Town Center utilize ULI monthly parking demand factors

The surveys of Fair Oaks Mall took place in December 2017 and December 2018. Over that 12-month period the peak parking occupancy (at 100% tenant occupancy) declined by 264 spaces (to 66%) on the weekend but a 5% increase in the peak weekday occupancy (to 42%).

Fair Oaks Mall and Springfield Town Center differ in their transportation context in some important ways. Fair Oaks is largely surrounded by limited-access and arterial roads and service from the three bus routes is adjacent to the Mall. Springfield is located within a short walk from the Franconia-Springfield Metrorail station, and is served by seven bus lines. The transit access decreases the demand for parking at Springfield Town Center. As a result of decreased demand, the mall owner currently leases parking spaces to local dealerships for vehicle storage, and leases part of one garage for commuter parking. In the recent utilization survey, car dealership storage amounted to 336 vehicles during the weekday peak and 348 during the weekend peak. These vehicles were not included in the parking utilization summarized in Table 1. Commuter parking is available on designated levels of the parking garage, and comprises 500 undesignated spaces as per agreement with the Fairfax County Department of Transportation. For that reason, they can

Minimum Parking Ratios – Large Commercial Retail Properties
Fairfax County, VA

not be easily separated from mall parking and the parking utilization in Table 1 therefore includes commuter parking. Field observations and data collected by garage floor level show that the parking levels designated for commuter parking were less than 10% occupied on both weekday and weekend. However, this will result in an overstatement of the real demand for mall parking when looking at Table 1.

Based on the existing conditions, both the regional malls surveyed showed parking utilization well below the minimum requirements of the current Zoning Ordinance. Table 2 below highlights the required Zoning Ordinance minimum off-street parking spaces accessory to the Shopping Center use compared to the surveyed conditions.

Table 2 Zoning Ordinance Minimum Off-Street Parking Comparison

Location	Shopping Center Size	Zoning Ordinance Minimum Parking	Current Peak Weekday*	Current Peak Weekend*
Fair Oaks Mall December 2018 Surveys	1.79 million gsf	4 spaces per 1000gsf	1.82 spaces per 1000gsf	2.84 spaces per 1000gsf
Springfield Town Center December Projections	1.69 million gsf	4 spaces per 1000gsf	2.01 spaces per 1000gsf	2.86 spaces per 1000gsf

*Based on 100% tenant occupancy and December Surveys/Projections

4 SUMMARY AND RECOMMENDATION

This analysis supports a significantly lower minimum parking ratio for large regional malls in Fairfax County. An examination of current and recent parking utilization at two of the four such malls shows peak occupancy of approximately 2.8 spaces per 1000 sf gfa, and a declining trend that can be expected to continue even at economically healthy malls. A review of current practice in other jurisdictions nationwide shows generally lower minimum requirements, in some cases (especially in more urban and transit-oriented locations) removing the minimums entirely and imposing maximums.

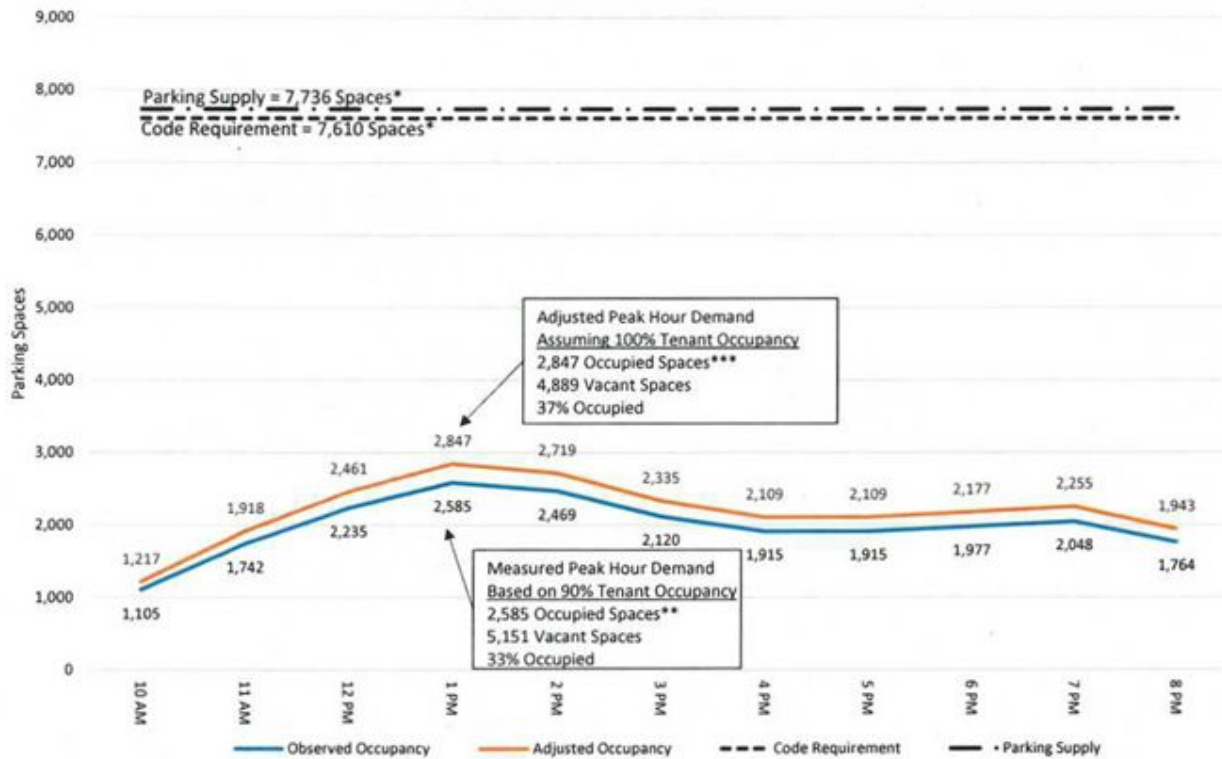
It is noted however, that both the tenant mix of regional malls and time of year is an important consideration in relation to parking demand. The mix of accessory uses incorporating office, restaurants and entertainment can influence the parking demand with those larger than 5,000 gsf required to park at their own applicable standards. This typically lowers the parking demand of the mall uses themselves. Additionally, the year sees parking demand peak during the December holiday period with lows during summer weekdays.

Our resulting recommendation is that Fairfax County consider reducing its minimum parking requirement for large regional malls within a range of 2.5 – 3.0 parking spaces per 1000 sf gfa. This recommendation range if implemented would result in continuing to oversupply parking at peak demand on weekdays and weekends over 350 days out of the year. On peak December weekends, parking demand could approach capacity at fully leased malls.

Appendix A Mall Parking Data

Fair Oaks Mall Parking Data

**Figure 1: Fair Oaks Mall Parking Occupancy
(Thursday, December 7, 2017)**

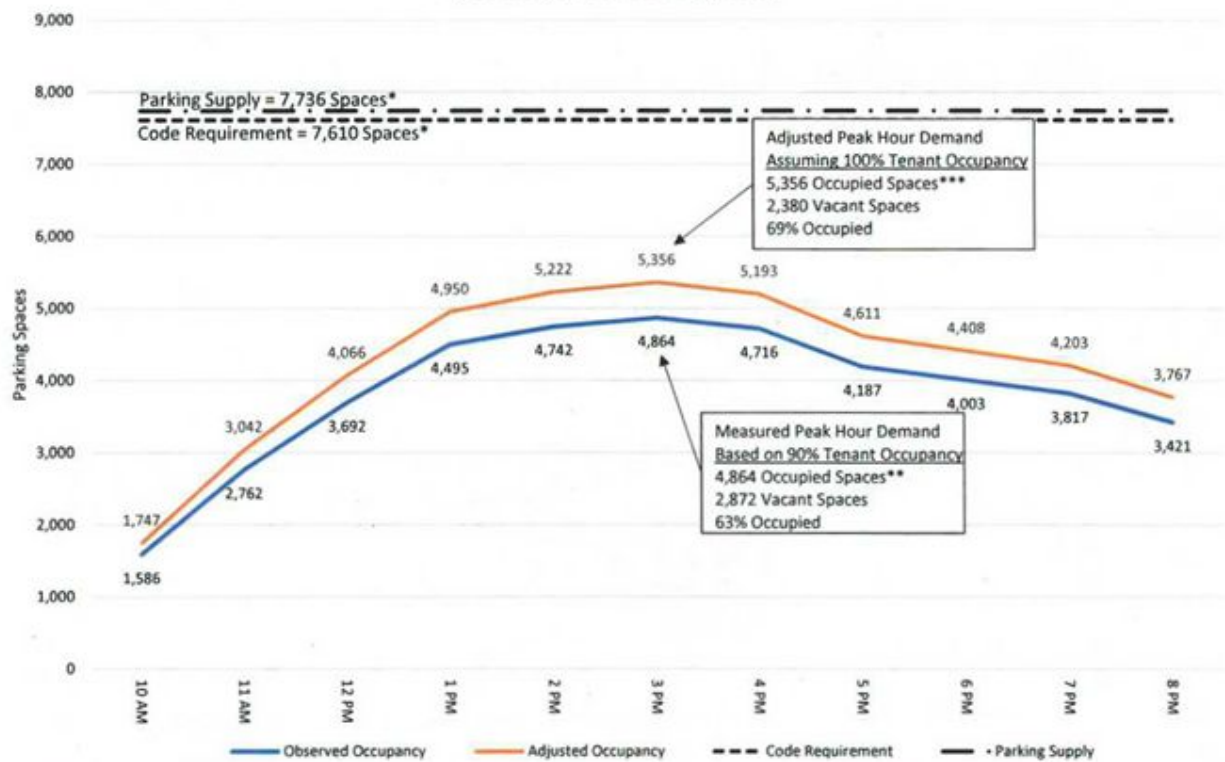


* - Parking supply and code requirement numbers based on latest parking tabulation (2509-PKS-012-2) by Walter L. Phillips, Inc dated August 3, 2017 and approved on August 17, 2018

** - Measured parking occupancies include only Fair Oaks Mall Areas A thru R.

*** - Parking occupancy and code requirement adjusted based on approximately 90% tenant occupancy at the time of the parking count.

**Figure 2: Fair Oaks Mall Parking Occupancy
(Saturday, December 16, 2017)**

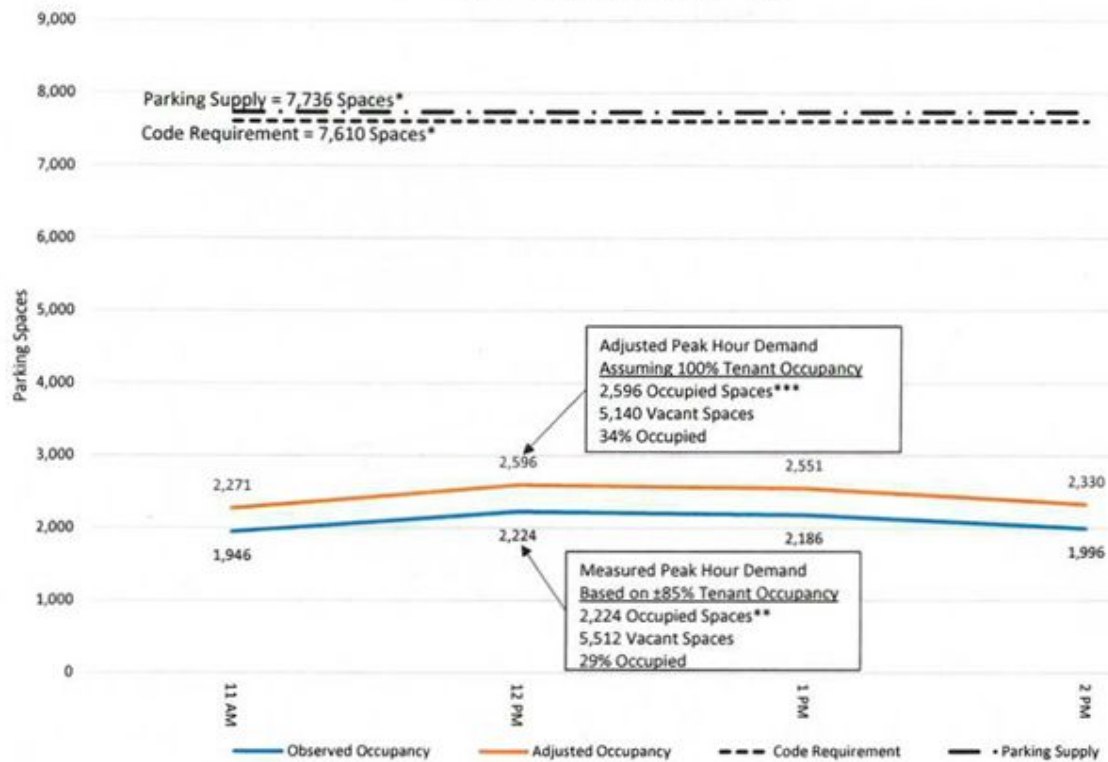


* - Parking supply and code requirement numbers based on latest parking tabulation (2509-PKS-012-2) by Walter L. Phillips, Inc dated August 3, 2017 and approved on August 17, 2018

** - Measured parking occupancies include only Fair Oaks Mall Areas A thru R.

*** - Parking occupancy and code requirement adjusted based on an approximate 90% tenant occupancy at the time of the parking counts.

**Figure 3: Fair Oaks Mall Parking Occupancy
(Thursday, December 6, 2018)**

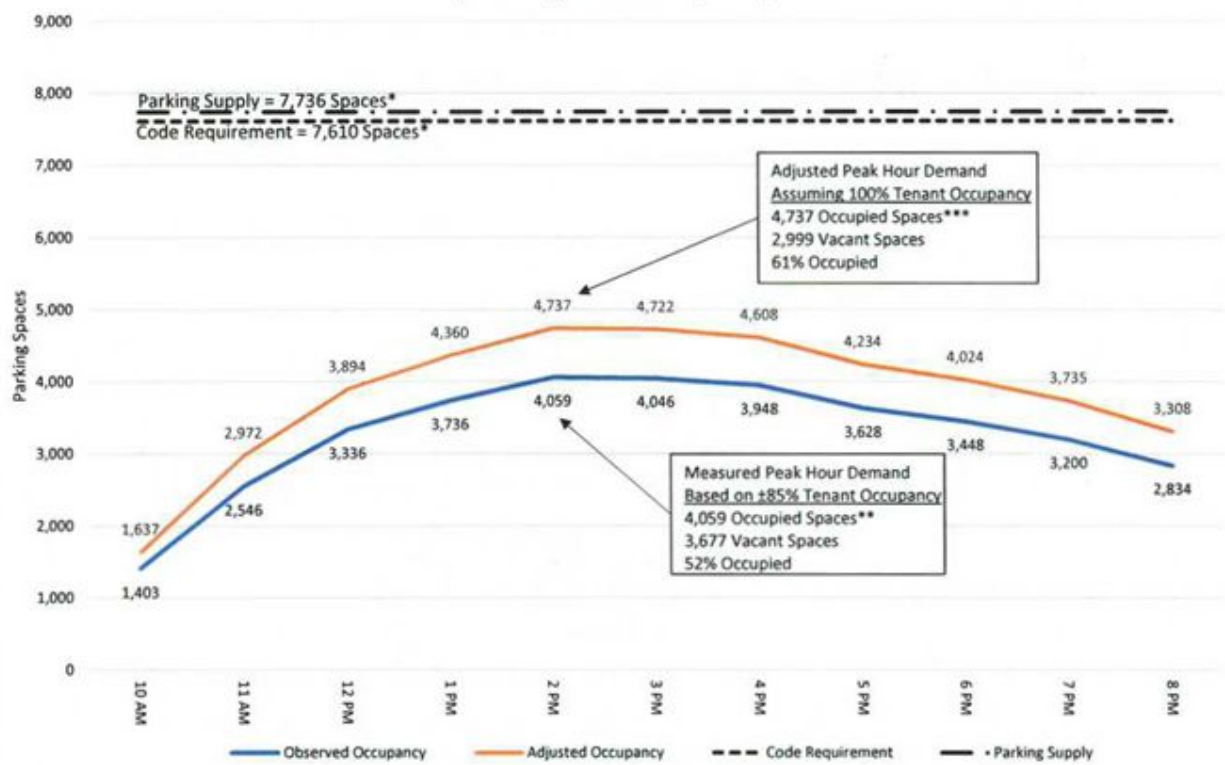


* - Parking supply and code requirement numbers based on latest parking tabulation (2509-PKS-012-2) by Walter L. Phillips, Inc dated August 3, 2017 and approved on August 17, 2018

** - Measured parking occupancies include only Fair Oaks Mall Areas A thru R.

*** - Parking occupancy and code requirement adjusted based on approximately 85% tenant occupancy at the time of the parking count.

**Figure 4: Fair Oaks Mall Parking Occupancy
(Saturday, December 8, 2018)**

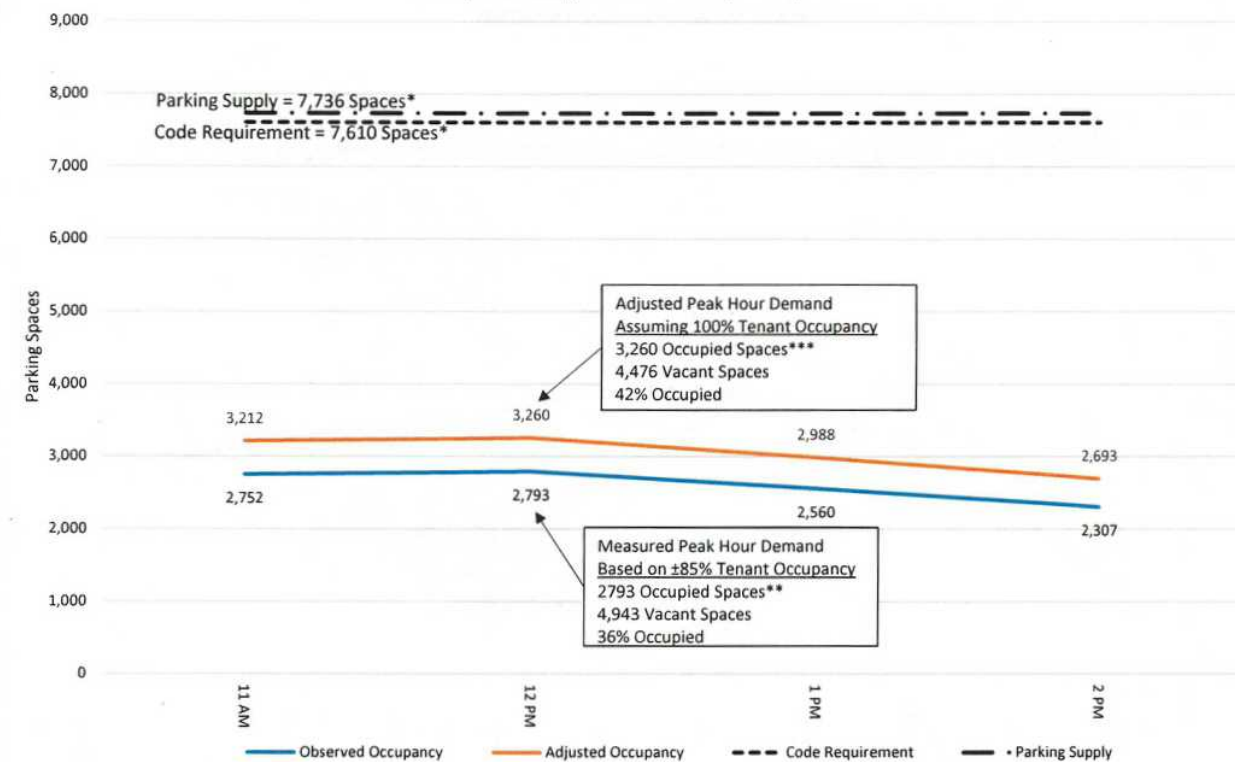


* - Parking supply and code requirement numbers based on latest parking tabulation (2509-PKS-012-2) by Walter L. Phillips, Inc dated August 3, 2017 and approved on August 17, 2018

** - Measured parking occupancies include only Fair Oaks Mall Areas A thru R.

*** - Parking occupancy and code requirement adjusted based on an approximate 85% tenant occupancy at the time of the parking counts.

**Figure 5: Fair Oaks Mall Parking Occupancy
(Thursday, December 13, 2018)**

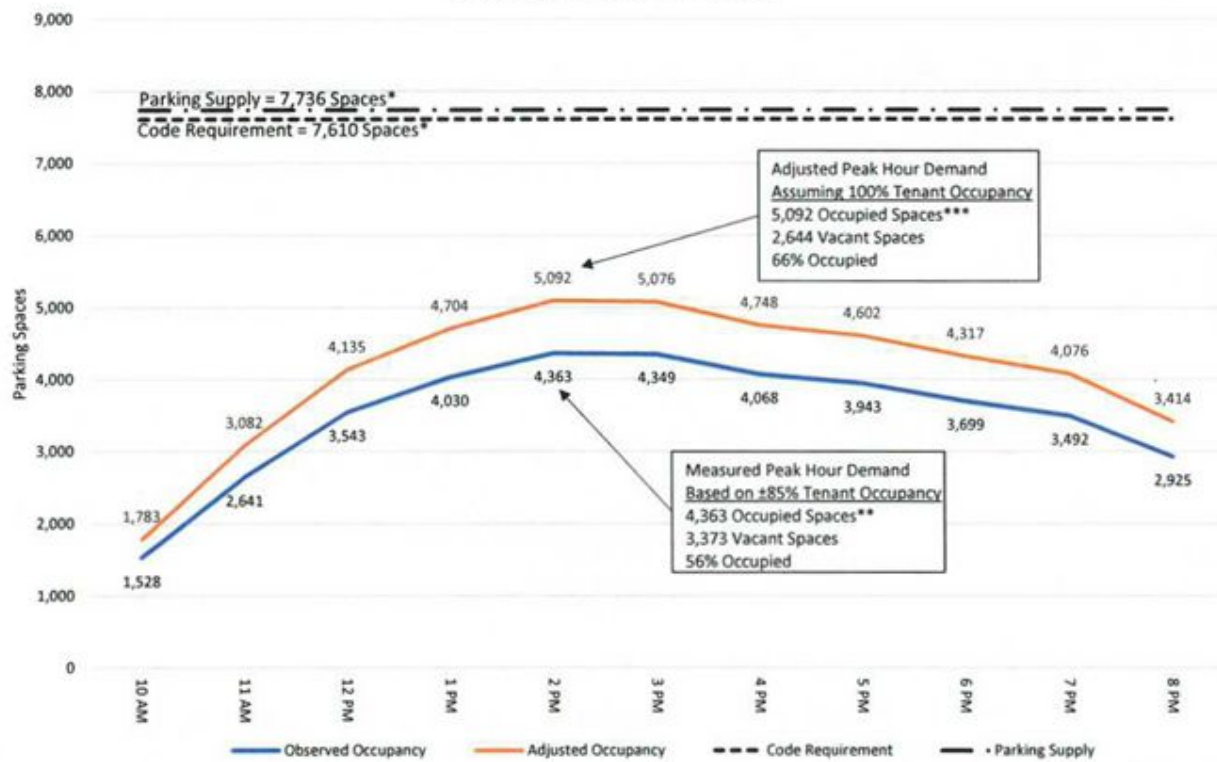


* - Parking supply and code requirement numbers based on latest parking tabulation (2509-PKS-012-2) by Walter L. Phillips, Inc dated August 3, 2017 and approved on August 17, 2018

** - Measured parking occupancies include only Fair Oaks Mall Areas A thru R.

*** - Parking occupancy and code requirement adjusted based an approximately 85% tenant occupancy at the time of the parking count.

**Figure 6: Fair Oaks Mall Parking Occupancy
(Saturday, December 15, 2018)**



* - Parking supply and code requirement numbers based on latest parking tabulation (2509-PKS-012-2) by Walter L. Phillips, Inc dated August 3, 2017 and approved on August 17, 2018
 ** - Measured parking occupancies include only Fair Oaks Mall Areas A thru R.
 *** - Parking occupancy and code requirement adjusted based on an approximate 85% tenant occupancy at the time of the parking counts.

EXHIBIT 2

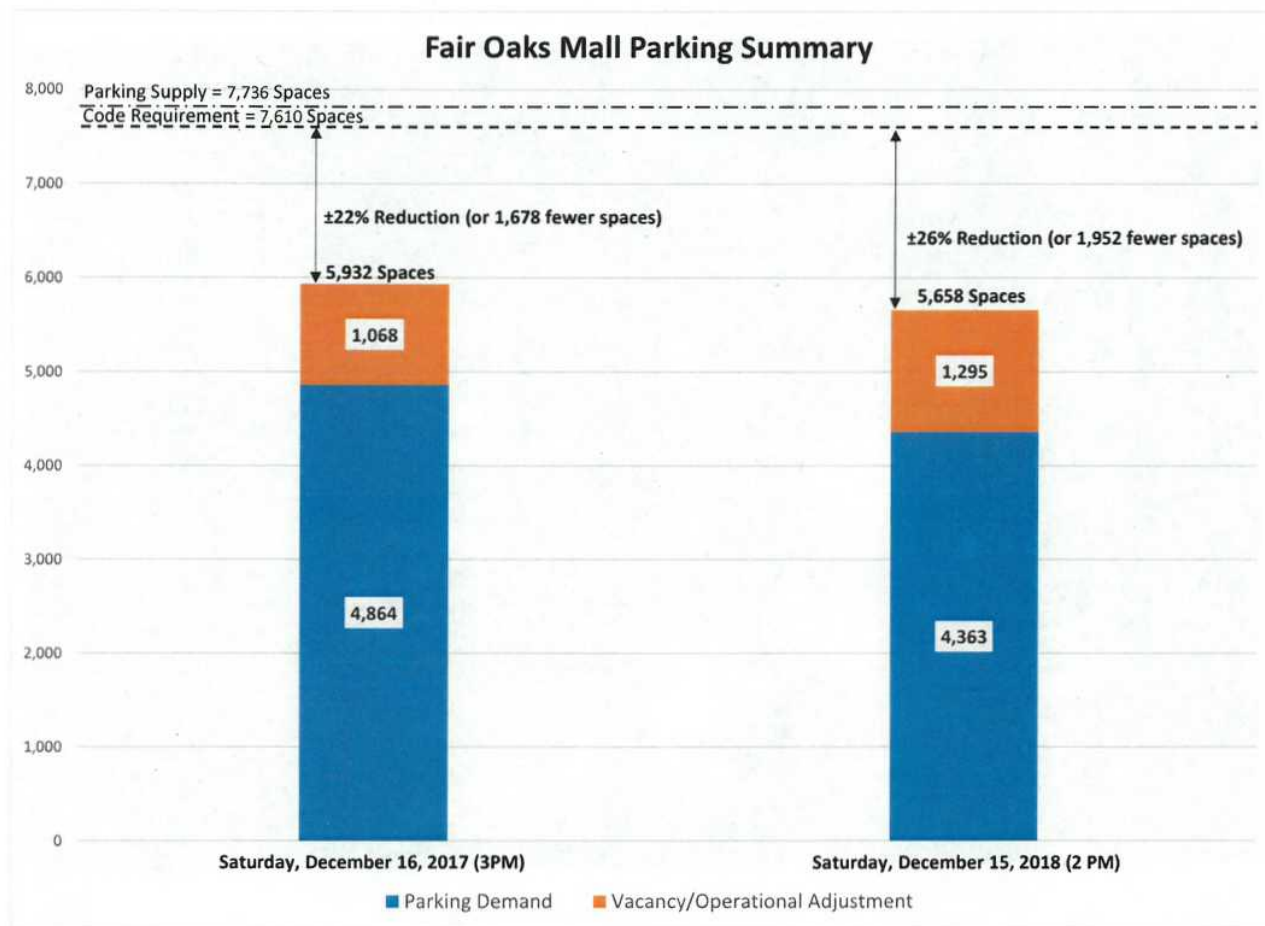


EXHIBIT 4

O:\PROJECTS\7001 - 7500\7377 FAIR OAKS MALL\GRAPHICS\7377 FAIR OAKS MALL PARKING GRAPHICS (2.14.2019).DWG



Figure 1
Parking Location Map

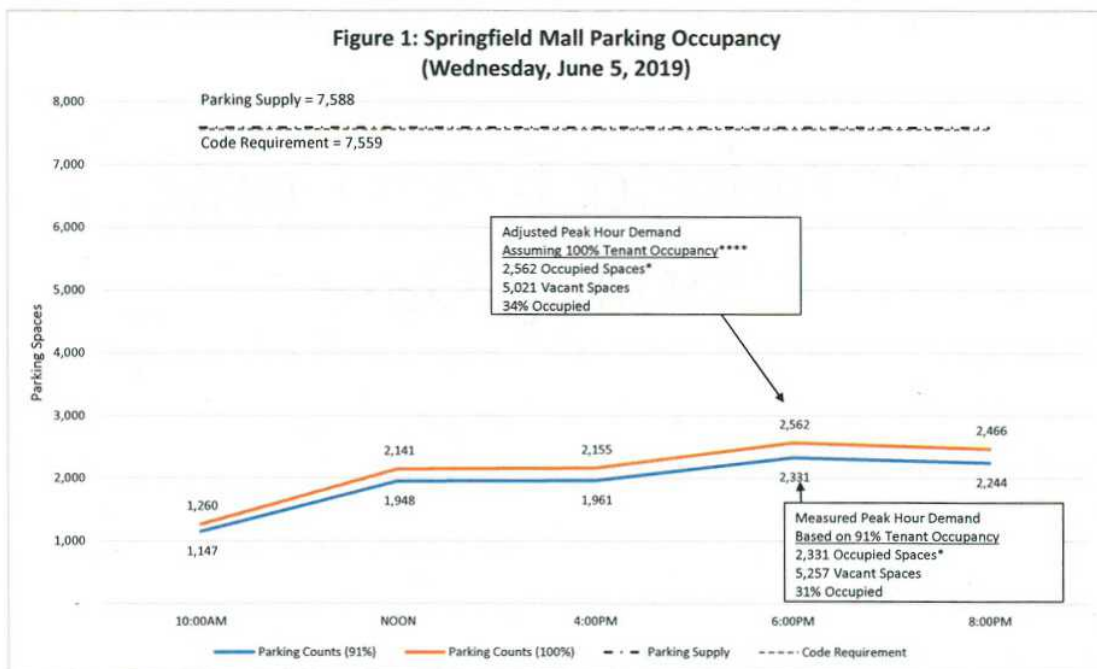
Dec. 2017
Dec. 2018
##% / ##%

NORTH
Fair Oaks Mall
Fairfax County, Virginia

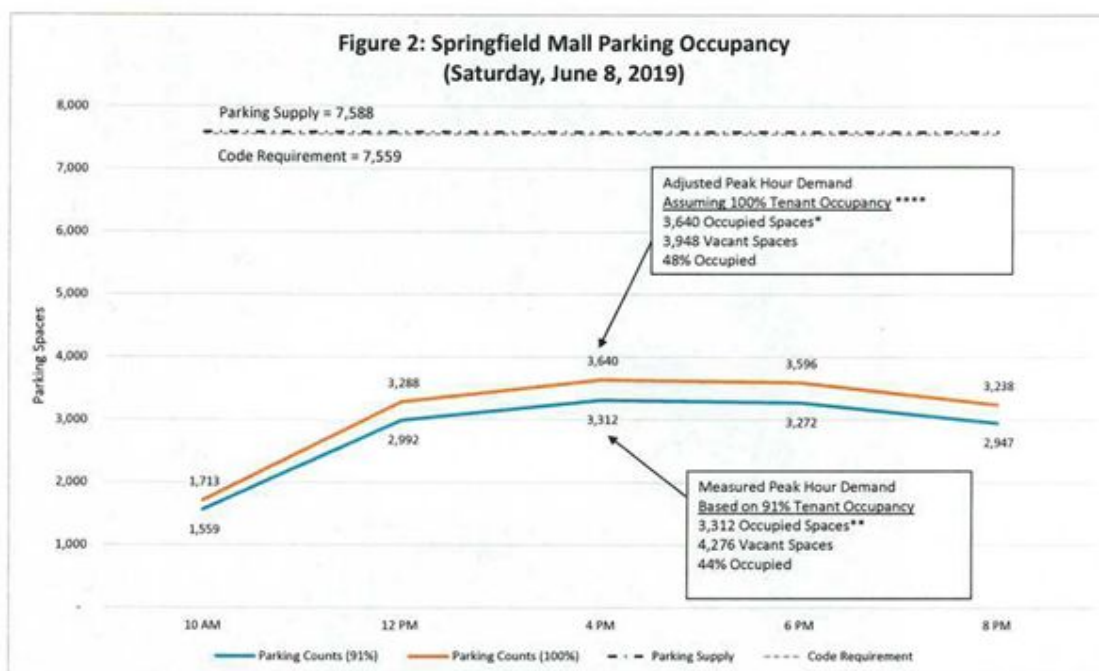


Springfield Town Center Parking Data

**Figure 1: Springfield Mall Parking Occupancy
(Wednesday, June 5, 2019)**



*Car dealerships park their vehicles in some of the parking spaces. Parked car dealership vehicles were not included in the analysis.
** A market was located on Lot S Saturday, June 8, 2019. The number of cars for the market were/were not included in the analysis.
*** Required parking value from the Final As-Built Springfield Mall Renovation Site Plan Parking Plan, Stamped 1/9/2015
**** The adjusted parking occupancy given 100% tenant occupancy was estimated.



*Car dealerships park their vehicles in some of the parking spaces. Parked car dealership vehicles were not included in the analysis.
 ** A market was located on Lot 5 Saturday, June 8, 2019. The number of cars for the market were/were not included in the analysis.
 *** Required parking value from the Final As-Built Springfield Mall Renovation Site Plan Parking Plan, Stamped 1/9/2015
 **** The adjusted parking occupancy given 100% tenant occupancy was estimated

Parking Occupancy Summary By Lot

###% / ###%

Saturday June 8, 2019
Wednesday June 5, 2019

*Car dealerships park their vehicles in some of the parking spaces. Parked car dealership vehicles were not included in the analysis.

** A market was located on Lot 5 Saturday, June 8, 2019. The number of cars for the market were/were not included in the analysis.

*** Required parking value from the Final As-Built Springfield Mall Renovation Site Plan Parking Plan, Stamped 1/9/2015



ADMINISTRATIVE - 3

Authorization to Advertise a Public Hearing on a Proposal to Vacate and Abandon a Portion of Rock Hill Road / Route 605 (Dranesville District)

ISSUE:

Authorization of a public hearing on a proposal to vacate and abandon a portion of Rock Hill Road / Route 605.

RECOMMENDATION:

The County Executive recommends that the Board authorize the advertisement of a public hearing to consider the vacation and abandonment of the subject right-of-way.

TIMING:

The Board should take action on October 15, 2019, to provide sufficient time to advertise the public hearing for November 19, 2019, at 4:00 p.m.

BACKGROUND:

The applicant, Markur LLC, on behalf of the Dulles Corridor Metrorail Project, is requesting that a portion of Rock Hill Road / Route 605 be vacated under §15.2-2272(2) of the Virginia Code and abandoned under Virginia Code §33.2-909.

The subject portion of Rock Hill Road, at the north side of the intersection of Innovation Avenue, has been reconstructed in a different location that aligns with access to the Dulles Corridor Metrorail Project's Kiss-and-Ride facility and Passenger pavilion at "Innovation Station." These facilities will ultimately be operated and maintained by Fairfax County. Consequently, the portions of the existing Rock Hill Road that are the subject of this request are no longer necessary. The property that abuts both sides of the existing right-of-way to be vacated and abandoned is currently owned by The Innovation and Entrepreneurship Investment Authority ("CIT") – the entity to which the land would revert after the vacation and abandonment.

Traffic Circulation and Access

The vacation and abandonment will have no long-term impact on pedestrian, transit, or vehicle circulation and access. The new alignment of Rock Hill Road is in service and will perform all functions of the previous alignment.

Board Agenda Item
October 15, 2019

Easements

The project manager has certified that all easement requirements for the project have been met.

The proposal to vacate and abandon this right-of-way was circulated to the following public agencies and utility companies for review: Office of the County Attorney, Department of Public Works and Environmental Services, Fairfax County Department of Transportation, Department of Planning and Zoning, Fairfax County Park Authority, Fairfax County Water Authority, Fairfax County School Board, Fire and Rescue, Virginia Department of Transportation, Dominion Virginia Power, Washington Gas Light Company, and Verizon. None of these indicate any opposition to the proposal.

FISCAL IMPACT:

None.

ENCLOSED DOCUMENTS:

Attachment I: Application Letter
Attachment II: Notice of Intent to Abandon & Vacate
Attachment III: Order of Abandonment
Attachment IV: Ordinance of Vacation
Attachment V: Metes and Bounds Description
Attachment VI: Vacation and Abandonment Plat
Attachment VII: Vicinity Map

STAFF:

Rachel Flynn, Deputy County Executive
Tom Biesiadny, Director, Fairfax County Department of Transportation (FCDOT)
Gregg Steverson, Division Chief, FCDOT
Michelle Guthrie, FCDOT

ASSIGNED COUNSEL:

Pamela K. Peltó, Assistant County Attorney



Markur, LLC
109 Carpenter Drive, Suite 130
Sterling, VA 20164
Office: (571) 525-2025

July 30, 2019

Attention: Michelle Guthrie

Fairfax County Department of Transportation
4050 Legato Rd
Fairfax, VA 22033

Reference: Dulles Corridor Metrorail Project – Phase 2; Request and Justification for Vacation/Abandonment of (portion of) Rock Hill Road ROW

Dear Michelle,

On behalf of the Dulles Corridor Metrorail Project, (sponsored and funded by the Metropolitan Washington Airports Authority, Fairfax County and Loudoun County), please accept this request and justification for the above referenced vacation and/or abandonment.

The subject portion of Rock Hill Road, at the north side of the intersection of Innovation Avenue, has been reconstructed in a location that aligns with access to the Dulles Corridor Metrorail Project's Kiss and Ride facility and Passenger pavilion at "Innovation Station" – these facilities shall ultimately be operated and maintained by Fairfax County. Fairfax County, as a funding-partner of the Metrorail Project, supports this request as outlined by the attached letter from Mark Canale dated May 17th, 2019. (Please note: this request for Vacation/Abandonment shall be "FEE EXEMPT" per previous Fairfax County mandate. Please contact Mark Canale, cc'd herein, if further confirmation is required.)

The property that abuts both sides of the existing ROW to be Vacated/Abandoned, is currently owned by The Innovation and Entrepreneurship Investment Authority ("CIT") – the entity to which the land would revert. Per an action of the Virginia General Assembly in 2016, the Virginia State controlled CIT property has been designated as "Surplus" and falls within the oversight of Department of General Services ("DGS"). Attached are letters dated May 17, 2019 from Phil DeLeon - on the behalf of the Department of Rail and Public Transportation - that further justifies this request as part of a requirement by DGS, and James Van Zee letter dated January 9, 2018 this requested action as a Dulles Corridor Metrorail Project commitment.

All underlying utilities and easements have been identified as shown on the Recordable Plat that is provided with this request, and all other required, applicable information and documentation is being provided as part of this submission. The submission does not provide the \$200 fee as outlined above, nor the site plan/development plan which is also not-applicable.



Running Down Results

July 30, 2019

Reference: Vacation/Abandonment of (portion of) Rock Hill Road ROW

Page 2 of 2

Thank you in advance for your time and attention to this matter. Please contact me at Stacie.Kurzahls@Markurllc.com or 703 675-6486 with any questions, comments, and or requests in regard to this submission.

Sincerely,

MARKUR, LLC



Stacie Kurzahls

President/Project Manager

Phone: 571-525-2025

Stacie.kurzahls@markurllc.com

cc. James Van Zee, Airports Authority
Mark Canale, Fairfax DOT
Martha Coello, Fairfax DOT
Sarah Ross, Airports Authority
File



Running Down Results

NOTICE OF INTENT TO ABANDON AND INTENT TO
ADOPT AN ORDINANCE VACATING
A PART OF A PLAT ON WHICH IS SHOWN

ROCK HILL ROAD

DRANESVILLE DISTRICT
Fairfax County, Virginia

Notice is hereby given that the Board of Supervisors of Fairfax County, Virginia, will hold a public hearing on November 19, 2019, at 4:00 PM during its regular meeting in the Board Auditorium of the Fairfax County Government Center, 12000 Government Center Parkway, Fairfax, VA, pursuant to Virginia Code Ann. § 15.2-2204 on:

- (i) the proposed abandonment of a portion of the public road known as Rock Hill Road pursuant to Virginia Code § 33.2-909 consisting of the following areas:
 - (i) approximately 4,657 square feet in the location as shown on that certain plat entitled “Plat Showing Vacation/Abandonment of Public Right of Way Vacation to the Properties of FAIRFAX COUNTY BOARD OF SUPERVISORS Deed Book 6184 Page 1298/Byrd Act, Deed Book 10268 Page 0668,” dated September 13, 2019 and prepared by Wiles Mensch Corporation (the “Plat”);
 - (ii) approximately 2,497 square feet recorded in Deed Book 18863, at Page 1162, and
 - (iii) approximately 1,500 square feet recorded in Deed Book 10268, at Page 0668, in the locations as shown on the above-referenced Plat; and
- (ii) the proposed vacation of portions of the plats of Rock Hill Road pursuant to Virginia Codes § 15.2-2270; § 15.2-2272(2), consisting of (i) approximately 2,497 square feet recorded in Deed Book 18863, at Page 1162, and approximately 1,500 square feet recorded in Deed Book 10268, at Page 0668, in the locations as shown on the above-referenced Plat.

The road is located on Tax Map 015-2, and is described and shown on the metes and bounds schedule and plat prepared by Wiles Mensch Corporation, dated September 13, 2019, both of which are on file with the Fairfax County Department of Transportation, 4050 Legato Road, Suite 400, Fairfax, Virginia 22033, Telephone Number (703) 877-5600.

ATTACHMENT II

All persons wishing to speak on this subject may call the Office of the Clerk to the Board, (703) 324-3151, to be placed on the Speaker's List, or may appear and be heard.

DRANESVILLE DISTRICT

§ 33.2-909; § 15.2-2270; § 15.2-2272(2)

ORDER OF ABANDONMENT

Rock Hill Road

DRANESVILLE DISTRICT,
Fairfax County, Virginia

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held this ____ day of _____ 2019, it was duly moved and seconded that:

WHEREAS, after conducting a public hearing pursuant to notice as required by Virginia Code §33.2-909, and after giving due consideration to the historic value, if any, of such road, the Board has determined that no public necessity exists for continuance of this road as a public road, and that the safety and welfare of the public will be served best by an abandonment,

WHEREFORE, BE IT ORDERED:

That a portion of the public road known as Rock Hill Road, consisting of the following areas: **(i)** approximately **4,657 square feet**, located on Tax Map 015-2, and described on the metes and bounds schedule plat entitled “Plat Showing Vacation/Abandonment of Public Right of Way FAIRFAX COUNTY BOARD OF SUPERVISORS Deed Book 6184 Page 1298/Byrd Act, Deed Book 10268 Page 0668,” dated September 13, 2019, and prepared by Wiles Mensch Corporation, and attached hereto and incorporated herein (the “Plat”), **(ii)** approximately **2,497 square feet** recorded in Deed Book 18863, at Page 1162, and **(iii)** approximately **1,500 square feet** recorded in Deed Book 10268, at Page 0668, in the locations as described on the above-referenced Plat, be and the same is **hereby abandoned** as a public road pursuant to Virginia Code §33.2-909.

In accordance, with Virginia Code Ann. §33.2-909, fee simple ownership in and to the abandoned portion of Rock Hill Road, consisting of approximately 4,657 square feet shall hereby vest in the owner of Tax Map #015-2-01-0015.

This abandonment is subject to any right, privilege, permit, license, or easement in favor of any public service company, utility, or other person or entity, including any political subdivision, whether located above, upon, or under the surface, either presently in use or of record, including the right to operate, maintain, replace, alter, extend, increase or decrease in size any facilities in the abandoned roadway, without any permission of the landowner(s).

A Copy Teste:

Jill G. Cooper
Clerk for the Board

§33.2-909

ADOPTION OF AN ORDINANCE VACATING
A PART OF A PLAT ON WHICH IS SHOWN

Rock Hill Road

DRANESVILLE DISTRICT,
Fairfax County, Virginia

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium of the Governmental Center in Fairfax County, Virginia, on _____, 2019, at which meeting a quorum was present and voting, the Board, after conducting a public hearing upon due notice given pursuant to Virginia Code Ann. §15.2-2204 and as otherwise required by law, adopted the following ordinance, to-wit:

BE IT ORDERED by the Board of Supervisors of Fairfax County, Virginia: that those portions of plats of Rock Hill Road consisting of **(i) approximately 2,497 square feet** recorded in Deed Book 18863, at Page 1162 ; and **(ii) approximately 1,500 square feet** recorded in Deed Book 10268, at Page 0668, located on Tax Map 015-2, and described and shown on the metes and bounds schedule and plat entitled “Plat Showing Vacation/Abandonment of Public Right of Way FAIRFAX COUNTY BOARD OF SUPERVISORS Deed Book 6184 Page 1298/Byrd Act, Deed Book 10268 Page 0668,” dated September 13, 2019, and prepared by Wiles Mensch Corporation, and attached hereto and incorporated herein, be and the same are **hereby vacated**, pursuant to Virginia Code Ann. §15.2-2270 and §15.2-2272(2).

In accordance, with Virginia Code Ann. §15.2-2270 and §15.2-2272(2), fee simple ownership in and to the vacated portions of the plats, consisting of approximately 2,497 square feet recorded in Deed Book 18863, at Page 1162 shall hereby vest in the owner of Tax Map #015-2-01-0015, and fee simple ownership in and to the vacated portions of the plats consisting of approximately 1,500 square feet recorded in Deed Book 10268, at Page 0668 shall hereby vest in the owner of Tax Map #015-2-01-0017.

This vacation is subject to any right, privilege, permit, license, easement, in favor of any public service company, utility, or other person or entity, including any political subdivision, whether located above, upon, or under the surface, either presently in use or of record, including the right to operate, maintain, replace, alter, extend, increase, or decrease in size any facilities in the vacated roadway, without any permission of the landowner.

A Copy Teste:

Jill G. Cooper
Clerk for the Board of Supervisors

§15.2-2270; §15.2-2272(2)

A

Portion of Rock Hill Road Right of Way to be Vacated

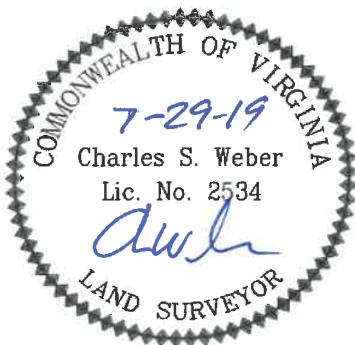
Commencing at a point, said point being on the westerly line of Rock Hill Road (Route 605) and the southeasterly corner of the property of The Innovation and Entrepreneurship Investment Authority (Tax Map 012-2-01-0015) as recorded in Deed Book 6188 Page 1830 among the land records of Fairfax County, Virginia; thence N28°23'21"E 44.87 feet with said westerly line of Rock Hill Road to the Point of Beginning; thence

Continuing with said westerly line of Rock Hill Road N28°23'21"E 292.38 feet to a point; thence

Departing said westerly line of Rock Hill Road along a curve to the left with a radius of 410.23 feet, a distance of 68.16 feet, with a chord bearing and distance of S19°56'43"W 68.08 feet to a point; thence

S28°23'21"W 220.08 feet to a point; thence

N87°59'58"W 11.16 feet to the Point of Beginning and containing 2,497 square feet or 0.05732 acres of land.



B**Portion of Rock Hill Road Right of Way to be Abandoned**

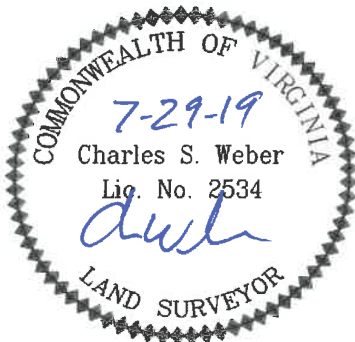
Commencing at a point, said point being on the westerly line of Rock Hill Road (Route 605) and the southeasterly corner of the property of The Innovation and Entrepreneurship Investment Authority (Tax Map 012-2-01-0015) as recorded in Deed Book 6188 Page 1830 among the land records of Fairfax County, Virginia; thence N28°23'21"E 44.87 feet with said westerly line of Rock Hill Road to a point; thence S87°59'58"E 11.16 feet to the Point of Beginning; thence

N28°23'21"E 220.08 feet to a point; thence

Along a curve to the left with a radius of 410.23 feet, a distance of 86.47 feet, with a chord bearing and distance of S09°08'51"W 86.31 feet to a point; thence

S29°12'37"W 125.39 feet to a point; thence

N87°59'58"W 29.75 feet to the Point of Beginning and containing 4,657 square feet or 0.10691 acres of land.



C

Portion of Rock Hill Road Right of Way to be Vacated

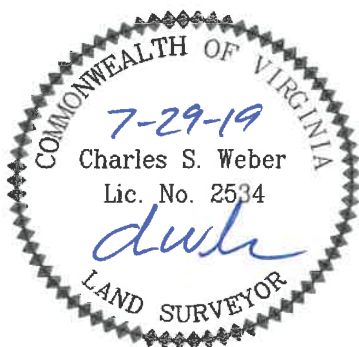
Commencing at a point, said point being on the westerly line of Rock Hill Road (Route 605) and the southeasterly corner of the property of The Innovation and Entrepreneurship Investment Authority (Tax Map 012-2-01-0015) as recorded in Deed Book 6188 Page 1830 among the land records of Fairfax County, Virginia; thence $N28^{\circ}23'21''E$ 44.87 feet with said westerly line of Rock Hill Road to a point; thence $S87^{\circ}59'58''E$ 40.91 feet to the Point of Beginning; thence

$N29^{\circ}12'37''E$ 67.95 feet to a point; thence

$S60^{\circ}47'23''E$ 9.48 feet to a point; thence

Along a curve to the left with a radius of 43.00 feet, a distance of 65.76 feet, with a chord bearing and distance of $S17^{\circ}35'04''E$ 59.54 feet to a point; thence

$N87^{\circ}59'58''W$ 59.46 feet to the Point of Beginning and containing 1,500 square feet or 0.03443 acres of land.



NOTES:

1. THE PROPERTY SHOWN HEREON IS LOCATED ON MAP# 015-2-01-0015 AND 015-2-01-0017 AND IS ZONED "I-4".
2. THE PROPERTY SHOWN HEREON IS NOW IN THE NAME OF THE FAIRFAX COUNTY BOARD OF SUPERVISORS, AND IS PART OF THE PARCEL ACQUIRED FROM DAVID B. NOURSI AND JOHN F. CARMAN BY DEED DATED JULY 17, 1985, RECORDED IN DEED BOOK 6184 AT PAGE 1298 AND ACQUIRED BY THE BYRD ACT (TAX MAP 015-2-01-0015), AND IS PART OF THE PARCEL ACQUIRED FROM THE INNOVATIVE TECHNOLOGY AUTHORITY AND DULLES GREENE, LP BY DEED DATED FEBRUARY 5, 1998, RECORDED IN DEED BOOK 10268 AT PAGE 0668 (TAX MAP 015-2-01-0017); BOTH AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
3. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON FAIRFAX COUNTY LAND RECORDS AND DOES NOT REPRESENT A BOUNDARY SURVEY BY WILES MENSCH CORPORATION.
4. THE PROPERTY SHOWN HEREON IS LOCATED WITHIN ZONE "X" AND "A" AS SHOWN ON F.I.R.M. (FLOOD RATE INSURANCE MAP) COMMUNITY PANEL NUMBER 51059C 0110E. MAP EFFECTIVE DATE: SEPTEMBER 17, 2010.

AREA TABULATION

ORIGINAL AREA		
TAX MAP No.		
015-2-01-0015	326,180 SQ.FT.	7.4881 ACRES
TOTAL AREA	326,180 SQ.FT.	7.4881 ACRES

STREET VACATION/ABANDONMENT

TAX MAP No.		
015-2-01-0015	326,180 SQ.FT.	7.4881 ACRES
STREET ABANDONMENT	4,657 SQ.FT.	0.1069 ACRES
STREET VACATION	2,497 SQ.FT.	0.0573 ACRES
TOTAL AREA	333,334 SQ.FT.	7.6523 ACRES

ORIGINAL AREA

TAX MAP No.		
015-2-01-0017	577,770 SQ.FT.	13.2638 ACRES
TOTAL AREA	577,770 SQ.FT.	13.2638 ACRES

STREET VACATION/ABANDONMENT

TAX MAP No.		
015-2-01-0017	577,770 SQ.FT.	13.2638 ACRES
STREET VACATION	1,500 SQ.FT.	0.0344 ACRES
TOTAL AREA	579,270 SQ.FT.	13.2982 ACRES

SURVEYORS CERTIFICATE

I, CHARLES S. WEBER, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT THE LAND EMBRACED IN THIS SITE IS NOW IN THE NAME OF FAIRFAX COUNTY BOARD OF SUPERVISORS, IN DEED BOOK 6184 AT PAGE 1298/BYRD ACT AND DEED BOOK 10268 AT PAGE 0668, BOTH AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

REV	COMMENT	DATE

WETLANDS STATEMENT

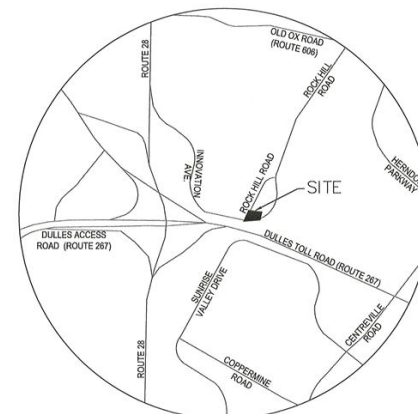
I HEREBY CERTIFY THAT ALL WETLANDS PERMITS REQUIRED BY LAW WILL BE OBTAINED PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.

SIGNATURE _____

OWNER/DEVELOPER _____

NAME

TITLE



VICINITY MAP
SCALE: Not to Scale



APPROVED	
FAIRFAX COUNTY HEALTH DEPARTMENT	
DATE _____	HEALTH OFFICIAL _____

THIS APPROVAL IS NOT A COMMITMENT TO PROVIDE PUBLIC SANITARY SEWER	
AGENT _____	

FINAL PLAT	
RECOMMENDED FOR APPROVAL FAIRFAX COUNTY SITE REVIEW BRANCH CHIEF	
BY _____	AGENT _____
DATE _____	AGENT _____

APPROVED FOR BOARD OF SUPERVISORS FAIRFAX COUNTY, VIRGINIA	
BY _____	Director/Public Works & Environmental Services or Agent
DATE _____	Director/Public Works & Environmental Services or Agent

APPROVAL VOID IF PLAT IS NOT OFFERED FOR RECORD ON OR BEFORE _____	
--	--

DEPARTMENT OF PUBLIC WORKS
AND ENVIRONMENTAL SERVICES
OFFICE OF SITE DEVELOPMENT SERVICES
FAIRFAX, VIRGINIA

All street locations and/or easements conform to
the requirements of this office and the necessary
agreements or bonds have been received.

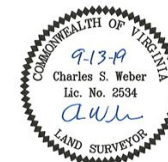
By _____ Date _____

APPROVED
COUNTY OF FAIRFAX
OFFICE OF SITE DEVELOPMENT SERVICES
SANITARY SEWER SECTION

BY _____
DATE _____

APPROVED
COUNTY OF FAIRFAX
OFFICE OF BUILDING CODE SERVICES
PERMITS DIVISION-SITE PERMITS SECTION
STREET ADDRESS FUNCTION

BY _____
DATE _____



PLAT SHOWING VACATION/ABANDONMENT OF PUBLIC RIGHT OF WAY FAIRFAX COUNTY BOARD OF SUPERVISORS




DEED BOOK 6184 PAGE 1298/BYRD ACT
DEED BOOK 10268 PAGE 0668
DRANESVILLE TRANS DULLES RAIL WEST
FAIRFAX COUNTY, VIRGINIA

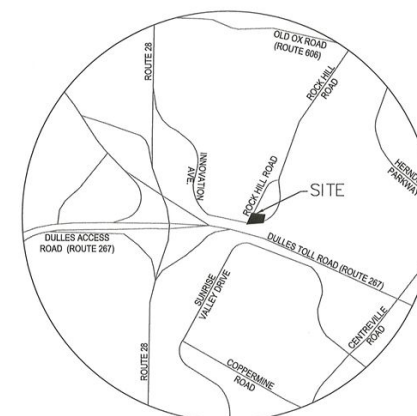
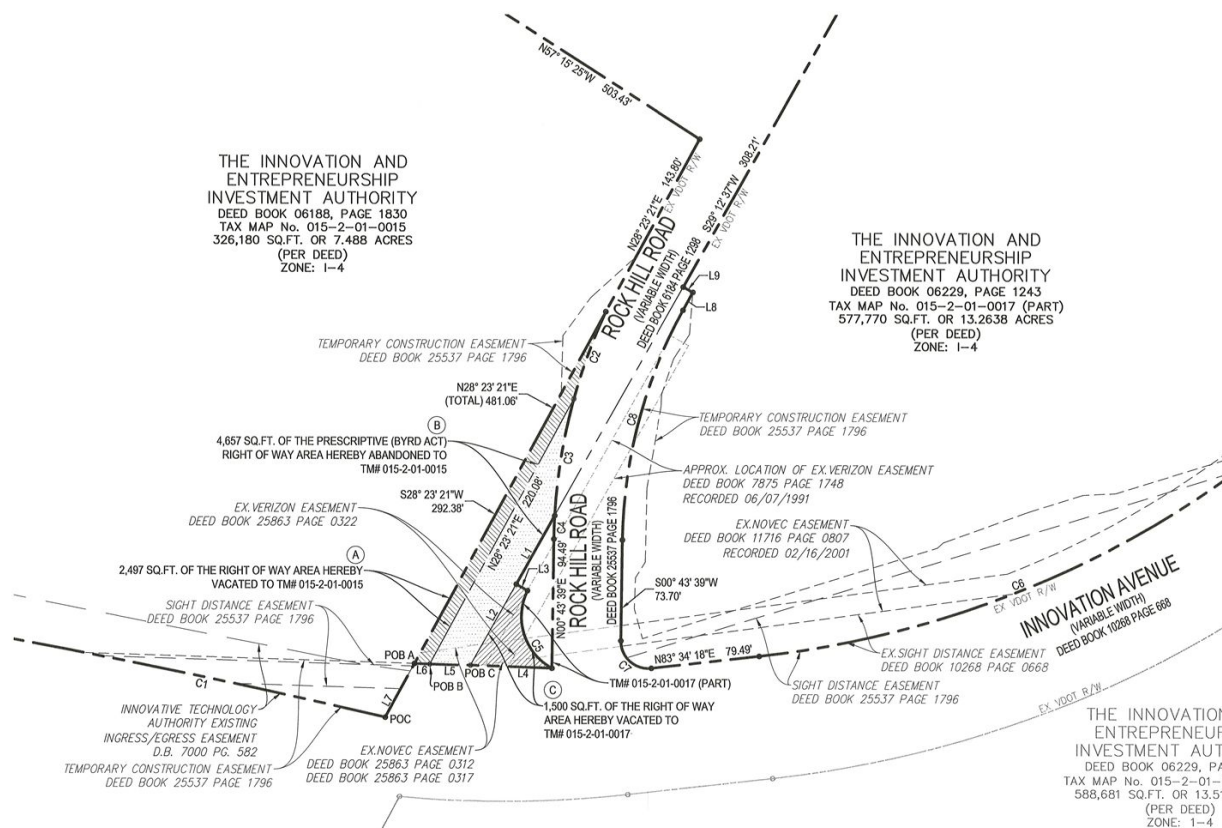
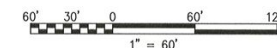
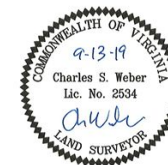
SCALE: 1"=60' DATE: 09/13/19
DRAWN BY: AA CHECKED BY: SW
WILES MENSCH CORPORATION
11860 SUNRISE VALLEY DRIVE, SUITE 200
RESTON, VIRGINIA 20191
(703)391-7600



CURVE TABLE						
CURVE #	RADIUS	LENGTH	TANGENT	DELTA	BEARING	CHORD
C1	6009.58	563.16	281.78	5°22'09"	N79°34'07"W	562.95
C2	410.23	68.16	34.16	9°31'09"	N19°56'43"E	68.08
C3	410.23	86.47	43.39	12°04'36"	N9°08'51"E	86.31
C4	410.23	17.05	8.53	2°22'54"	N1°55'06"E	17.05
C5	43.00	65.76	41.26	87°37'38"	N17°35'04"W	59.54
C6	725.00	679.18	366.82	53°40'29"	N56°44'04"E	654.62
C7	20.00	33.91	22.67	97°09'21"	S47°51'01"E	29.99
C8	360.23	175.39	89.47	27°53'49"	S14°40'34"W	173.67

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	57.44'	N29°12'37"E
L2	67.95'	S29°12'37"W
L3	9.48'	N60°47'23"W
L4	59.46'	S87°59'58"E
L5	29.75'	S87°59'58"E
L6	11.16'	S87°59'58"E
L7	44.87'	S28°23'21"W
L8	14.99'	S28°37'29"W
L9	8.03'	S61°22'31"E

-  4,657 SQ. FT. OF THE PRESCRIPTIVE (BYRD ACT) RIGHT OF WAY AREA HEREBY ABANDONED TO TM# 015-2-01-0015
-  2,497 SQ. FT. OF THE RIGHT OF WAY AREA HEREBY VACATED TO TM# 015-2-01-0015 DEED BOOK 18863 PAGE 1162, RECORDED 10/26/2006
-  1,500 SQ. FT. OF THE RIGHT OF WAY AREA HEREBY VACATED TO TM# 015-2-01-0017 DEED BOOK 10268 PAGE 0668, RECORDED 02/17/1998

VICINITY MAP
SCALE: Not to Scale

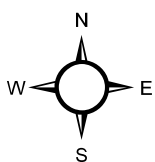
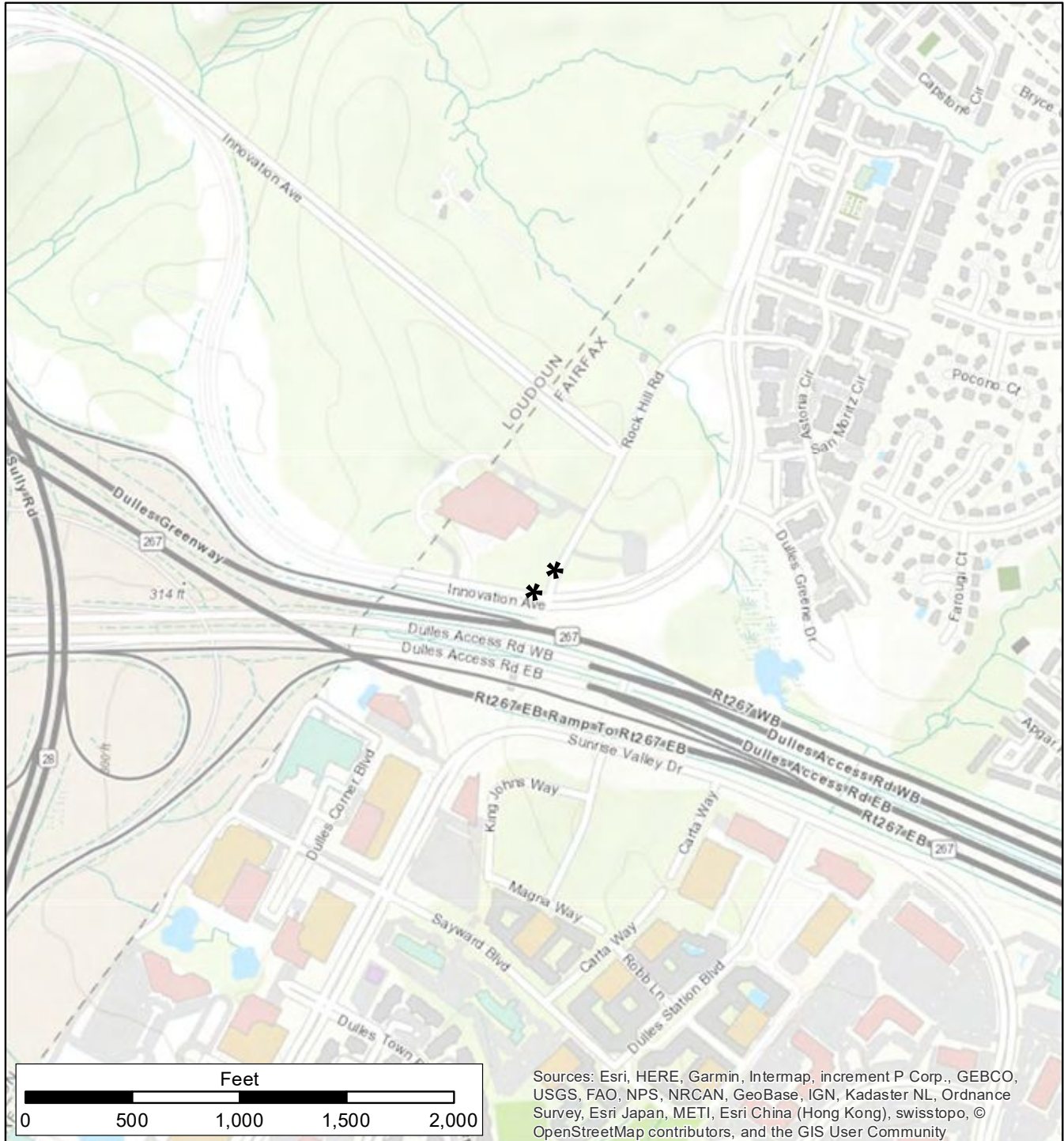
REV	COMMENT	DATE



PLAT SHOWING
VACATION/ABANDONMENT OF PUBLIC RIGHT OF WAY
FAIRFAX COUNTY BOARD OF SUPERVISORS
DEED BOOK 6184 PAGE 1298/BYRD ACT
DEED BOOK 10268 PAGE 0668
DRANESVILLE TRANS DULLES RAIL WEST
FAIRFAX COUNTY, VIRGINIA
SCALE: 1"=60' DATE: 09/13/19
DRAWN BY: AA CHECKED BY: SW
WILES MENSCH CORPORATION
11860 SUNRISE VALLEY DRIVE, SUITE 200
RESTON, VIRGINIA 20191
(703)391-7600

SHEET 2 OF 2

Rock Hill Road Easement Vacation/Abandonment Dranesville District



Tax Map 15-2

*** Symbol Denotes Area of Easement to be Vacated**

ADMINISTRATIVE - 4

Authorization for the Department of Neighborhood and Community Services to Apply for and Accept Supplemental Grant Funding from the U.S. Department of Health and Human Services Associated with the Head Start and Early Head Start Grants

ISSUE:

Board of Supervisors authorization is requested for the Department of Neighborhood and Community Services to apply for and accept grant funding, if received, from the Department of Health and Human Services, Administration for Children and Families, Office of Head Start in the amount of \$191,385. The grantor has indicated that one-time supplemental funding is available to the County to apply for through a competitive application process. The funding is specifically identified to address health and safety requirements and to support program quality improvement as required by the Federal Head Start Program Performance Standards. Funding priority is given to address health and safety needs of the programs. The grant period is July 1, 2019 to June 30, 2020. The 20 percent non-federal match requirement of \$47,847 will be met through in-kind contributions from Higher Horizons Day Care Center, Inc. and Fairfax County Public Schools (FCPS) for a total application amount of \$239,232. No Local Cash Match is required. The table below details the federal funding being requested for each grant:

Grant	Federal Funding
Head Start	\$124,813
Early Head Start	\$66,572
Total	\$191,385

If the actual award received is significantly different from the application amount, another item will be submitted to the Board requesting appropriation of grant funds. Otherwise, staff will process the award administratively as per Board policy. Board authorization is also requested for the Chairman of the Board of Supervisors, the County Executive and/or a designee appointed by the County Executive to enter into the grant agreement and any related agreements, including but not limited to Federal Subaward Agreements, on behalf of the County.

RECOMMENDATION:

The County Executive recommends that the Board of Supervisors authorize the Department of Neighborhood and Community Services to apply for and accept grant funding, if received, from the Department of Health and Human Services, Administration

Board Agenda Item
October 15, 2019

for Children and Families, Office of Head Start in the amount of \$191,385. The 20 percent non-federal match requirement of \$47,847 will be met through in-kind contributions from Higher Horizons Day Care Center, Inc. and Fairfax County Public Schools (FCPS) for a total application amount of \$239,232. Supplemental funding is specifically being provided to address new health and safety requirements and support program quality improvement. No new grant positions are being requested with this funding. The County Executive also recommends the Board authorize the Chairman of the Board of Supervisors, the County Executive and/or a designee appointed by the County Executive to enter into the grant agreement and any related agreements, including but not limited to Federal Subaward Agreements, on behalf of the County.

TIMING:

Board action is requested on October 15, 2019. The application associated with the Head Start and Early Head Start grant is due on October 18, 2019. The Department of Neighborhood and Community Services will submit the application in accordance with Board policy for supplemental awards. However, the grantor has indicated that before funding is awarded, the Board of Supervisors must formally approve the application.

BACKGROUND:

Head Start and Early Head Start are national child and family development programs that provide quality early childhood education and comprehensive family support services to income eligible families with children birth to five years of age and expectant parents.

The Department of Neighborhood and Community Services, Office for Children is applying for supplemental funding for year-four (4) for the Head Start and Early Head Start grant. This funding will continue existing services being provided by the Office for Children, Fairfax County Public Schools and Higher Horizons Day Care Center, Inc., and include services offered in a home-based option, center-based option and family childcare option.

FISCAL IMPACT:

Grant funding in the amount of \$191,385 is being requested to support new health and safety requirements and program quality improvements for the Head Start and Early Head Start grant programs. The 20 percent non-federal match requirement of \$47,847 will be met through in-kind contributions from Higher Horizons Day Care Center, Inc. and Fairfax County Public Schools (FCPS) for a total application amount of \$239,232. No Local Cash Match is required. This action does not increase the expenditure level of the Federal-State Grant Fund as funds are held in reserve for unanticipated awards in

Board Agenda Item
October 15, 2019

FY 2020. This grant does allow the recovery of indirect costs; however, because this funding opportunity is highly competitive, the Department of Neighborhood and Community Services has elected to omit inclusion of indirect costs to maximize the proposal's competitive position.

CREATION OF NEW POSITIONS:

No new grant positions are being requested with this funding.

ENCLOSED DOCUMENTS:

Attachment 1: Head Start/Early Head Start Summary of Grant Proposal

Attachment 2: Head Start/Early Head Start Grant Application

STAFF:

Tisha Deeghan, Deputy County Executive

Christopher A. Leonard, Director, Department of Neighborhood and Community Services

Anne-Marie D. Twohie, Director, Office for Children, Department of Neighborhood and Community Services

HEAD START/EARLY HEAD START GRANT**SUMMARY OF GRANT PROPOSAL**

Grant Title:	Head Start and Early Head Start Grant – One-Time Supplemental Funding
Funding Agency:	U.S. Department of Health and Human Services, Administration for Children and Families, Office of Head Start
Applicant:	Department of Neighborhood and Community Services
Partners:	Department of Neighborhood and Community Services, Fairfax County Public Schools, Higher Horizons Day Care, Inc., and Community Family Child Care Providers
Purpose of Grant:	Early Head Start and Head Start are national child development programs that provide quality early childhood education and comprehensive family support services to income eligible families with children birth to five years of age and expectant parents. The purpose of this grant is to serve 658 children and their families in a comprehensive, seamless birth-to-five Head Start and Early Head Start program. Children will be served in a home-based, center-based or family child care option.
Funding Amount:	Federal grant funding of \$191,385. The 20 percent non-federal match requirement of \$47,847 will be met through in-kind contributions from Higher Horizons Day Care Center, Inc. and Fairfax County Public Schools (FCPS) for a total application amount of \$239,232.
Positions:	There are no new grant positions associated with this award and the funding will not be used to support any existing grant positions.
Proposed Use of Funds:	Funding will support the continuation of quality early childhood education and comprehensive family support services. Funding will be used to address health and safety requirements and to support program quality improvement.
Target Population:	Children from birth to five years of age and their families and expectant parents who reside in areas of the County that have high poverty rates, large numbers of children on EHS/HS waiting lists, lack of affordable housing, limited transportation and large populations of immigrant families.

- Performance Measures:** The success of the program will be based on full compliance with Head Start program performance standards.
- Grant Period:** The grant period is from July 1, 2019 through June 30, 2020. The grant is for year four (4) continuation funding of the five-year grant.

Application for Federal Assistance SF-424		
* 1. Type of Submission: <input type="checkbox"/> Preapplication <input checked="" type="checkbox"/> Application <input type="checkbox"/> Changed/Corrected Application		* 2. Type of Application: <input type="checkbox"/> New <input type="checkbox"/> Continuation <input checked="" type="checkbox"/> Revision
* If Revision, select appropriate letter(s): <input type="text" value="Increase Award"/> * Other (Specify): <input type="text"/>		
* 3. Date Received: <input type="text"/>		4. Applicant Identifier: <input type="text" value="03CH010411"/>
5a. Federal Entity Identifier: <input type="text" value="N/A"/>		5b. Federal Award Identifier: <input type="text" value="03CH010411"/>
State Use Only:		
6. Date Received by State: <input type="text"/>		7. State Application Identifier: <input type="text"/>
8. APPLICANT INFORMATION:		
* a. Legal Name: <input type="text" value="FAIRFAX COUNTY VIRGINIA"/>		
* b. Employer/Taxpayer Identification Number (EIN/TIN): <input type="text" value="540787833"/>		* c. Organizational DUNS: <input type="text" value="074837626"/>
d. Address:		
* Street1: <input type="text" value="12011 Government Center Pkwy"/> Street2: <input type="text" value="Ste 903"/> * City: <input type="text" value="Fairfax"/> County/Parish: <input type="text" value="Fairfax County"/> * State: <input type="text" value="VA: Virginia"/> Province: <input type="text"/> * Country: <input type="text" value="USA: UNITED STATES"/> * Zip / Postal Code: <input type="text" value="22035-1100"/>		
e. Organizational Unit:		
Department Name: <input type="text" value="DEPARTMENT OF FAMILY SERVICES"/>		Division Name: <input type="text" value="OFC-HEADSTART&EARLY HEADSTART"/>
f. Name and contact information of person to be contacted on matters involving this application:		
Prefix: <input type="text" value="Mrs."/> * First Name: <input type="text" value="Jennifer"/> Middle Name: <input type="text"/> * Last Name: <input type="text" value="Branch"/> Suffix: <input type="text" value="N/A"/> Title: <input type="text" value="Head Start Division Director"/> Organizational Affiliation: <input type="text" value="FAIRFAX COUNTY OFFICE FOR CHILDREN HEAD START PROGRAM"/> * Telephone Number: <input type="text" value="(703) 324-8087"/> Fax Number: <input type="text" value="(703) 324-8200"/> * Email: <input type="text" value="jennifer.branch@fairfaxcounty.gov"/>		

Application for Federal Assistance SF-424	
* 9. Type of Applicant 1: Select Applicant Type: <input type="text" value="County Government"/>	
Type of Applicant 2: Select Applicant Type: <input type="text"/>	
Type of Applicant 3: Select Applicant Type: <input type="text"/>	
* Other (specify): <input type="text"/>	
* 10. Name of Federal Agency: <input type="text" value="ACF-Head Start"/>	
11. Catalog of Federal Domestic Assistance Number: <input type="text" value="93.600"/>	
CFDA Title: <input type="text" value="Head Start"/>	
* 12. Funding Opportunity Number: <input type="text" value="eGrants-N/A"/>	
* Title: <input type="text" value="N/A"/>	
13. Competition Identification Number: <input type="text" value="Not Applicable"/>	
Title: <input type="text" value="Not Applicable"/>	
14. Areas Affected by Project (Cities, Counties, States, etc.): <input type="text" value="FAIRFAX COUNTY INCLUDING THE CITIES OF FALL"/>	
* 15. Descriptive Title of Applicant's Project: <input type="text" value="BIRTH TO FIVE HEAD START AND EARLY HEAD START"/>	
Attach supporting documents as specified in agency instructions.	

Application for Federal Assistance SF-424	
16. Congressional Districts Of:	
* a. Applicant VA-008	b. Program/Project VA-008, VA-010, VA-011
Attach an additional list of Program/Project Congressional Districts if needed. <div style="border: 1px solid black; height: 20px; width: 100%;"></div>	
17. Proposed Project:	
* a. Start Date: 07/01/2019	* b. End Date: 06/30/2020
18. Estimated Funding (\$):	
* a. Federal	191,385
* b. Applicant	47,847
* c. State	
* d. Local	
* e. Other	0
* f. Program Income	
* g. TOTAL	239,232
* 19. Is Application Subject to Review By State Under Executive Order 12372 Process?	
<input type="checkbox"/> a. This application was made available to the State under the Executive Order 12372 Process for review on <input type="checkbox"/> b. Program is subject to E.O. 12372 but has not been selected by the State for review. <input checked="" type="checkbox"/> c. Program is not covered by E.O. 12372.	
* 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "Yes", provide explanation and attach <div style="border: 1px solid black; height: 20px; width: 100%;"></div>	
21. *By signing this application, I certify (1) to the statements contained in the list of certifications** and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 218, Section 1001) <input checked="" type="checkbox"/> ** I AGREE <small>** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.</small>	
Authorized Representative:	
Prefix: Ms.	* First Name: Sharon
Middle Name: E	
* Last Name: Bulova	
Suffix: 	
* Title: Chairman, Board of Supervisors	
* Telephone Number: (703) 324-2321	Fax Number:
* Email: SHARON.BULOVA@fairfaxcount.gov	
* Signature of Authorized Representative: <i>Sharon Bulova</i> * Date Signed: 9/16/19	

ACTION - 1

Approval of and Authorization to Amend a Project Administration Agreement with the Virginia Department of Transportation for Transportation Improvements on Lee Highway (Route 29) from Union Mill Road to Buckleys Gate Drive (**Springfield and Sully Districts**)

ISSUE:

Board of Supervisors' approval of, and authorization for the Director of the Fairfax County Department of Transportation (FCDOT) to execute an amendment to a Project Administration Agreement (PAA) with the Virginia Department of Transportation (VDOT), substantially in the form of Attachment 2, to continue implementation of Phase II transportation improvements on Lee Highway (Route 29) from Union Mill Road to Buckleys Gate Drive.

RECOMMENDATION:

The County Executive recommends that the Board of Supervisors:

1. Approve an additional \$18,901,164 in funding for the project, and
2. Adopt a resolution, substantially in the form of Attachment 1, authorizing the Director of FCDOT to execute an amendment to the PAA with VDOT, substantially in the form of Attachment 2, to continue implementation of the project.

TIMING:

The Board of Supervisors should act on this item on October 15, 2019, so that VDOT can continue implementation of transportation improvements on Lee Highway from Union Mill Road to Buckleys Gate Drive.

BACKGROUND:

This project will widen Lee Highway (Route 29) from Union Mill Road to Buckley's Gate Drive for a total of approximately 1.49 miles. The segment currently has four lanes (divided). The project will widen the roadway to six lanes (divided). In addition, the project will provide geometric improvements, curb and gutter, pedestrian and bicycle improvements, turn lanes, and storm water management facilities. The current total project estimate (TPE) for Phase II is approximately \$85.9 million, an increase of approximately \$18.9 million over the amount previously approved by the Board for the project on October 24, 2017. Increased costs are primarily due to changing market

conditions relating to economic factors (e.g., materials, labor costs), the need for a 15 percent contingency to account for potential additional market fluctuations, uncertainty in utility relocation costs, and the costs of potential sound walls.

On January 24, 2017, the Board approved a PAA for the preliminary engineering and design of Phase II in the approximate amount of \$5.6 million to be funded by local sources (Fund 40010, County and Regional Transportation Projects). VDOT used funds from other, internal sources to advance preliminary engineering and design, so the agreement that was approved by the Board, was not executed. This VDOT funding has been sufficient to administer the project to date. Staff returned to the Board on October 24, 2017, with a revised agreement for full project funding in the amount of \$67.0 million; which included FY 2018-23 Smart Scale, and local funds. This revised agreement was executed on December 13, 2017 (see Attachment 4). Appendix A was subsequently modified, to swap out approximately \$13.2 million in local funds for I-66 Concession Fee funds approved by the Commonwealth Transportation Board in December 2017. The current financial document (Appendix A) of the agreement has been included as Attachment 3. The proposed revised agreement (Appendix A, Attachment 2) increases project funding from \$67.0 million to \$85.9 million, which is an increase of \$18.9 million.

FISCAL IMPACT:

Additional resources are required to fully fund the Phase II widening project at the current project estimate of \$85.9 million. The revised agreement includes \$18.4 million in local funds and \$0.5 million in additional concession fee revenue. Staff has identified \$16.3 million in the Project 2G40-001-000, Construction Reserve and Project 2G40-107-000, NVTA 30% Construction Reserve in Fund 40010, County and Regional Transportation Projects, and \$2.1 million in Project 2G40-031-000, Fairfax Center Developer Contributions in Fund 30040, Contributed Roadway Improvements, to provide the local funds. These funds would be combined with \$67.0 million previously allocated to the project, including \$53.8 million from state Smart Scale, and \$13.2 million in I-66 Concession Fee funds, to satisfy the revised cost estimate. There is no impact to the General Fund.

ENCLOSED DOCUMENTS:

Attachment 1: Resolution authorizing the amendment of the Project Administration Agreement (UPC 110329) with the Virginia Department of Transportation
Attachment 2: Proposed Revised Appendix A of the Project Administration Agreement
Attachment 3: Current Appendix A of the Project Administration Agreement
Attachment 4: Original Project Administration Agreement

Board Agenda Item
October 15, 2019

REVISED

STAFF:

Rachel Flynn, Deputy County Executive
Tom Biesiadny, Director, Fairfax County Department of Transportation (FCDOT)
Eric Teitelman, Chief, Capital Projects and Traffic Engineering Division, FCDOT
Michael Guarino, Chief, Capital Projects Section, FCDOT
Todd Wigglesworth, Chief, Coordination and Funding Division, FCDOT
Ray Johnson, Chief, Funding Section, CFD, FCDOT
Christina Farrar, Transportation Planner, CFD, FCDOT
Joe LaHait, Debt Coordinator, Department of Management and Budget

ASSIGNED COUNSEL:

Joanna Faust, Assistant County Attorney

Fairfax County Board of Supervisors Resolution

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Fairfax County Government Center in Fairfax, Virginia, on Tuesday, October 15, 2019, at which meeting a quorum was present and voting, the following resolution was adopted.

AGREEMENT AMENDMENT EXECUTION RESOLUTION

A RESOLUTION FOR THE BOARD OF SUPERVISORS OF THE COUNTY OF FAIRFAX, VIRGINIA FOR THE AMENDMENT OF AN AGREEMENT OF

Lee Highway (Route 29) Improvements Phase II from Union Mill Road to Buckleys Gate Drive

PROJECT

WHEREAS, in accordance with the Commonwealth Transportation Board construction allocation procedures, it is necessary that a resolution be received from the sponsoring local jurisdiction or agency requesting the Virginia Department of Transportation (VDOT) to establish a project, if not already established, in the County of Fairfax.

NOW, THEREFORE, BE IT RESOLVED, that the County of Fairfax requests the Commonwealth Transportation Board to establish a project(s), if not already established, for the implementation of, Phase II of Lee Highway (Route 29) Improvements from Union Mill Road to Buckleys Gate Drive Project (VDOT UPC 110329).

BE IT FURTHER RESOLVED THAT, the County of Fairfax hereby agrees to provide its share of the local contribution, in accordance with the Project Administration Agreement and associated financial documents (Appendix A), executed pursuant to this Resolution.

BE IT FURTHER RESOLVED THAT, the Board of Supervisors of Fairfax County, Virginia, authorizes the Director of Fairfax County's Department of Transportation to execute, on behalf of the County of Fairfax, an amendment to the Project Administration Agreement with the Virginia Department of Transportation to continue implementation of the Project to be administered by VDOT.

Adopted this 15th day of October 2019, Fairfax, Virginia

ATTEST _____
Jill G. Cooper
Clerk for the Board of Supervisors

VDOT Administered, Locally Funded Appendix A Revision 2

Date: 8/27/2019

Project Number: 0029-029-350

UPC: 110329

CFDA#

20.205 Locality:

Fairfax County

Project Location ZIP+4: 22030-6627

Locality DUNS # 074837626

Locality Address (incl ZIP+4): 4050 Legato Road, Suite 400

Fairfax, VA 22033-2867

Project Narrative

Scope: Widen Route 29 from Union Mill Rd to Buckley's Gate Dr, added capacity, improved geometrics and pedestrian/bicycle facilities. Project is for both north bound and south bound lanes. Phase II.

From: 0.208 miles west of Union Mill Road

To: 0.46 miles east of Buckley's Gate Drive

Locality Project Manager Contact info:

AJ Hamidi

703-877-5828

ajmal.hamidi@fairfaxcounty.gov

Department Project Coordinator Contact Info:

Hong "Jenny" Ha

703-259-2907

hong.ha@vdot.virginia.gov

Project Estimates

Phase	Estimated Project Costs
Preliminary Engineering	\$5,652,000
Right of Way & Utilities	\$26,149,427
Construction	\$54,073,280
Total Estimated Cost	\$85,874,707

Project Cost

Phase	Project Allocations	Funds type (Choose from drop down box)	Local % Participation for Funds Type	Local Share Amount
Preliminary Engineering	\$5,652,000	Concession	0%	\$0
				\$0
				\$0
Total PE	\$5,652,000			\$0
Right of Way & Utilities	\$8,048,597	Concession	0%	\$0
	\$4,155,473	Local Funds	100%	\$4,155,473
	\$13,945,357	SMART SCALE	0%	\$0
Total RW	\$26,149,427			\$4,155,473
Construction	\$14,251,737	Local Funds	100%	\$14,251,737
	\$39,821,543	SMART SCALE	0%	\$0
				\$0
Total CN	\$54,073,280			\$14,251,737
Total Estimated Cost	\$85,874,707			\$18,407,210

Total Maximum Reimbursement / Payment by Locality to VDOT

\$18,407,210

Project Financing

Concession	Local	SMART Scale		Aggregate Allocations
\$13,700,597	\$18,407,210	\$53,766,900	\$0	\$85,874,707

Payment Schedule

FY 2021	FY 2022	FY 2023	FY 2024
\$4,601,802	\$4,601,802	\$4,601,803	\$4,601,803

Program and Project Specific Funding Requirements

- This is a limited funds project. The locality shall be responsible for any additional funding in excess of \$67,467,497.
- Phase 1 for this project is under UPC 110330.
- All local funds included on this appendix have been formally committed by the local government's board or council resolution subject to appropriation.
- VDOT has billed the LOCALITY \$0 for this project as of 8/27/2019.
- VDOT has received \$0 from the LOCALITY for this project as of 8/27/2019.
- The LOCALITY shall make quarterly payments to VDOT as follows upon the execution of this agreement:
 - FY2021 (\$4,601,802): Quarterly payments of \$1,150,450.50
 - FY2022 (\$4,601,802): Quarterly payments of \$1,150,450.50
 - FY2023 (\$4,601,803): Quarterly payments of \$1,150,450.75
 - FY2024 (\$4,601,803): Quarterly payments of \$1,150,450.75
- Project estimate, schedule and commitment to funding are subject to the requirements established in the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process, Code of Virginia, and VDOT's Instructional and Informational Memorandums.
- This project shall be initiated and at least a portion of the programmed funds expended within one year of the budgeted year of allocation or funding may be subject to reprogramming to other projects selected through the prioritization process. In the event the Project is not advanced to the next phase of construction when requested by the Commonwealth Transportation Board, the LOCALITY or Metropolitan Planning Organization may be required, pursuant to § 33.2-214 of the Code of Virginia, to reimburse the DEPARTMENT for all state and federal funds expended on the project.
- This project has been selected through the Smart Scale (HB2) application and selection process and will remain in the SYIP as a funding priority unless certain conditions set forth in the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process arise. Pursuant to the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process and HB2 Implementation Policy Guide, Section 5.3, this project will be re-scored and/or the funding decision re-evaluated if any of the following conditions apply: a change in the scope, an estimate increase prior to contract advertisement or award, or a significant reduction in the locally/regionally leveraged funds. Applications may not be submitted in a subsequent annual HB2 prioritization cycle to account for a cost increase on a previously prioritized project.
- This Appendix A supersedes any previously listed funding schedule.

This attachment is certified and made an official attachment to this document by the parties to this agreement

Authorized Locality Official

Date

Authorized VDOT Official

Date

Typed or printed name of person signing

Typed or printed name of person signing

VDOT Administered, Appendix-A Revision 1

Date: 3/15/2018

Project Number: 0029-029-350	UPC: 110329	CFDA#: 20.205	Locality: Fairfax County
Project Location ZIP+4: 22030-6627	Locality DUNS #: 074873626	Locality Address (incl ZIP+4): 4050 Legato Road, Suite 400, Fairfax, VA 22033-2867	
Project Narrative			
Scope: Widen Route 29 from Union Mill Rd to Buckley's Gate Dr. added capacity, improved geometrics and pedestrian/bicycle facilities. Project is for both north bound and south bound lanes. Phase II.			
From: Union Mill Road			
To: Buckley's Gate Drive			
Locality Project Manager Contact info: Michael Guarino		703-877-5731	
Department Project Coordinator Contact info: Hong "Jenny" Ha		703-259-2907	
michael.guarino@fairfaxcounty.gov		hong.ha@vdot.virginia.gov	

Project Estimates	
Phase	Estimated Project Costs
Preliminary Engineering	\$5,652,000
Right of Way & Utilities	\$21,500,000
Construction	\$39,821,543
Total Estimated Cost	\$66,973,543
Estimate for Current Billing	\$66,973,543

Project Cost				
Phase	Project Allocations	Funds type (Choose from drop down box)	Local % Participation for Funds Type	Local Share Amount
Preliminary Engineering	\$5,652,000	Concession Funds	0%	\$0
				\$0
				\$0
Total PE	\$5,652,000			\$0
Right of Way & Utilities	\$7,554,643	Concession Funds	0%	\$0
	\$13,945,357	Smart Scale (HB-2) HPP	0%	\$0
				\$0
Total RW	\$21,500,000			\$0
Construction	\$39,821,543	Smart Scale (HB-2) HPP	0%	\$0
				\$0
				\$0
Total CH	\$39,821,543			\$0
Total Estimated Cost	\$66,973,543			\$0


Total Maximum Reimbursement / Payment by Locality to VDOT	\$0
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Project Financing				
Smart Scale (HB-2) HPP GARVEE	Concession Funds			Aggregate Allocations
\$53,766,900	13,206,643			\$66,973,543

Payment Schedule				

Program and project Specific Funding Requirements	
<ul style="list-style-type: none"> This is a limited funds project. The locality shall be responsible for any additional funding in excess of \$66,973,543 (if applicable) Phase 1 for this project is under UPC 110330. Project estimate, schedule and commitment to funding are subject to the requirements established in the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process, Code of Virginia, and VDOT's Instructional and Informational Memorandums. This project shall be initiated and at least a portion of the programmed funds expended within one year of the budgeted year of allocation or funding may be subject to reprogramming to other projects selected through the prioritization process. In the event the Project is not advanced to the next phase of construction when requested by the Commonwealth Transportation Board, the locality or metropolitan planning organization may be required, pursuant to § 33.2-214 of the Code of Virginia, to reimburse the Department for all state and federal funds expended on the project. This project has been selected through the Smart Scale (HB2) application and selection process and will remain in the SYIP as a funding priority unless certain conditions set forth in the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process arise. Pursuant to the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process and HB2 Implementation Policy Guide, Section 5.3, this project will be re-scored and/or the funding decision re-evaluated if any of the following conditions apply: a change in the scope, an estimate increase prior to contract advertisement or award, or a significant reduction in the locally/regionally leveraged funds. Applications may not be submitted in a subsequent annual HB2 prioritization cycle to account for a cost increase on a previously prioritized project. This appendix revision replaces the previous local funds with I-66 Outside the Beltway Concession Funds, per IID no rescoring is necessary as result of this action. This appendix revision supercedes all previous versions. 	

This attachment is certified and made an official attachment to this document by the parties to this agreement

 5/9/18
 Authorized Locality Official and Date
 TOM BIESIANSKY
 Typed or printed name of person signing

 5/23/18
 Authorized VDOT Official and Date
 ANDREW C. BEACHER
 Typed or printed name of person signing

**VDOT ADMINISTERED – LOCALLY FUNDED
PROJECT ADMINISTRATION AGREEMENT**

FAIRFAX COUNTY
PROJECT NUMBER 0029-029-350 UPC 110329

THIS AGREEMENT, made and executed in triplicate on this the 13TH day of DECEMBER, 2017 between the COMMONWEALTH OF VIRGINIA DEPARTMENT OF TRANSPORTATION, hereinafter referred to as the "DEPARTMENT" and the COUNTY OF FAIRFAX, hereinafter referred to as the "COUNTY."

WITNESSETH

WHEREAS, the COUNTY has expressed its desire to have the DEPARTMENT administer the work as described in Appendix B, and such work for each improvement shown is hereinafter referred to as the Project; and

WHEREAS, the funds as shown in Appendix A have all been allocated by the COUNTY to finance the project; and

WHEREAS, the COUNTY has requested that the DEPARTMENT design and construct this project in accordance with the scope of work described in Appendix B, and the DEPARTMENT has agreed to perform such work; and

WHEREAS, both parties have concurred in the DEPARTMENT's administration of the project identified in this Agreement and its associated Appendices A and B in accordance with applicable federal, state, and local law and regulations; and

WHEREAS, the County's governing body has, by resolution, which is attached hereto, authorized its designee to execute this Agreement; and

WHEREAS, Section 33.2-338 of the Code of Virginia authorizes both the DEPARTMENT and the COUNTY to enter into this Agreement;

NOW THEREFORE, in consideration of the promises and mutual covenants and agreements contained herein, the parties hereto agree as follows:

A. The DEPARTMENT shall:

1. Complete said work as identified in Appendix B, advancing such diligently, and all work shall be completed in accordance with the schedule established by both parties.
2. Perform or have performed, and remit all payments for, all preliminary engineering, right-of-way acquisition, construction, contract administration, and inspection services activities for the project(s) as required.

3. Provide a summary of project expenditures to the COUNTY for charges of actual DEPARTMENT cost.
 4. Notify the COUNTY of additional project expenses resulting from unanticipated circumstances and provide detailed estimates of additional costs associated with those circumstances. The DEPARTMENT will make all efforts to contact the COUNTY prior to performing those activities.
 5. Return any unexpended funds to the COUNTY no later than 90 days after the project(s) have been completed and final expenses have been paid in full.
- B. The COUNTY shall:
1. Provide funds to the DEPARTMENT for Preliminary Engineering (PE) and Right-of-Way (ROW) upon execution of this Agreement and for Construction (CN) no less than 90 days prior to advertisement in the amounts shown in Appendix A
 2. Accept responsibility for any additional project costs resulting from unforeseeable circumstances, but only after concurrence of the COUNTY and modification of this Agreement.
- C. Funding by the COUNTY shall be subject to annual appropriation or other lawful appropriation by the Board of Supervisors.
- D. The Parties mutually agree and acknowledge, in entering this Agreement, that the individuals acting on behalf of the Parties are acting within the scope of their official authority and the Parties agree that neither Party will bring a suit or assert a claim against any official, officer, or employee of either party, in their individual or personal capacity for a breach or violation of the terms of this Agreement or to otherwise enforce the terms and conditions of this Agreement. The foregoing notwithstanding, nothing in this subparagraph shall prevent the enforcement of the terms and conditions of this Agreement by or against either Party in a competent court of law.
- E. The Parties mutually agree that no provision of this Agreement shall create in the public, or in any person or entity other than the Parties, rights as a third party beneficiary hereunder, or authorize any person or entity, not a party hereto, to maintain any action for, without limitation, personal injury, property damage, breach of contract, or return of money, or property, deposit(s), cancellation or forfeiture of bonds, financial instruments, pursuant to the terms of this Agreement or otherwise. Notwithstanding any other provision of this Agreement to the contrary, unless otherwise provided, the Parties agree that the County or the Department shall not be bound by any agreements between either party and other persons or entities concerning any matter which is the subject of this Agreement, unless and until the

County or the Department has, in writing, received a true copy of such agreement(s) and has affirmatively agreed, in writing, to be bound by such Agreement.

- F. Nothing in this Agreement shall be construed as a waiver of the COUNTY's or the Commonwealth of Virginia's sovereign immunity.
- G. Should funding be insufficient and county funds be unavailable, both parties will review all available options for moving the project forward, including but not limited to, halting work until additional funds are allocated, revising the project scope to conform to available funds, or cancelling the project.
- H. Should the project be cancelled as a result of the lack of funding by the COUNTY, the COUNTY shall be responsible for any costs, claims and liabilities associated with the early termination of any construction contract(s) issued pursuant to this agreement.
- I. This Agreement may be terminated by either party upon 60 days advance written notice. Eligible expenses incurred through the date of termination shall be reimbursed to the DEPARTMENT subject to the limitations established in this Agreement.


THE COUNTY and DEPARTMENT acknowledge and agree that this Agreement has been prepared jointly by the parties and shall be construed simply and in accordance with its fair meaning and not strictly for or against any party.

THIS AGREEMENT, when properly executed, shall be binding upon both parties, their successors and assigns.

THIS AGREEMENT may be modified in writing upon mutual agreement of both parties.

IN WITNESS WHEREOF, each party hereto has caused this Agreement to be executed as of the day, month, and year first herein written.

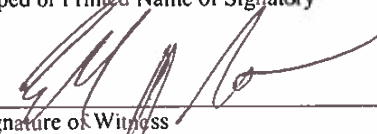
COUNTY OF FAIRFAX, VIRGINIA:



11/30/17
Date

TOM BIESIADNY
Typed or Printed Name of Signatory

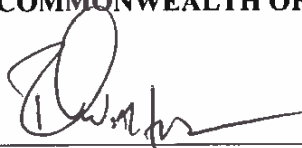
11/30/17
Date


Signature of Witness

11/30/17
Date

NOTE: The official signing for the COUNTY must attach a certified copy of his or her authority to execute this Agreement.

COMMONWEALTH OF VIRGINIA, DEPARTMENT OF TRANSPORTATION:



Chief of Policy
Commonwealth of Virginia
Department of Transportation

12/13/17
Date

Brenda Couch
Signature of Witness

12/13/2017
Date

Attachments: Appendix A (UPC 110329)
Appendix B (UPC 110329)

VDOT Administered, Locally Funded Appendix A

Date: 8/30/2017

Project Number: 0029-029-350	UPC: 110329	CFDA#: 20.205	Locality: Fairfax County
Project Location ZIP+4: 22030-6627	Locality DUNS #: 074873626	Locality Address (incl ZIP+4): 4050 Legato Road, Suite 400, Fairfax, VA 22033-2867	
Project Narrative			
Scope: Widen Rt 29 from Union Mill Rd to Buckley's Gate Dr, added capacity, improved geometrics and pedestrian/bicycle facilities. Project is for both north bound and south bound lanes. Phase II			
From: Union Mill Road			
To: Buckley's Gate Drive			
Locality Project Manager Contact Info: Michael Guarino		703-877-5731 michael.guarino@fairfaxcounty.gov	
Department Project Coordinator Contact Info: Hong "Jenny" Ha		703-259-2907 hong.ha@vdot.virginia.gov	

Project Estimates	
Phase	Estimated Project Costs
Preliminary Engineering	\$5,652,000
Right of Way & Utilities	\$21,500,000
Construction	\$39,821,543
Total Estimated Cost	\$66,973,543
Estimate for Current Billing	\$66,973,543

Project Cost				
Phase	Project Allocations	Funds type (Choose from drop down box)	Local % Participation for Funds Type	Local Share Amount
Preliminary Engineering	\$5,652,000	Local Funds	100%	\$5,652,000
				\$0
				\$0
Total PE	\$5,652,000			\$5,652,000
Right of Way & Utilities	\$13,945,357	Smart Scale (HB-2) HPP	0%	\$0
	\$7,554,643	Local Funds	100%	\$7,554,643
				\$0
Total RW	\$21,500,000			\$7,554,643
Construction	\$39,821,543	Smart Scale (HB-2) HPP	0%	\$0
				\$0
				\$0
Total CN	\$39,821,543			\$0
Total Estimated Cost	\$66,973,543			\$13,206,643

Total Maximum Reimbursement / Payment by Locality to VDOT	\$13,206,643
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Project Financing					
Local Funds	Smart Scale (HB-2) HPP				Aggregate Allocations
\$13,206,643	\$53,766,900	\$0	\$0	\$0	\$66,973,543

Payment Schedule			
FY 2018	FY 2021	FY 2022	FY 2023
\$5,652,000	\$1,888,661	\$3,777,322	\$1,888,660

Program and project specific Funding Requirements	
<ul style="list-style-type: none"> This is a limited funds project. The locality shall be responsible for any additional funding in excess of \$53,766,900 (if applicable) VDOT has billed \$0.00 (dollar amount) the locality for this project as of 8/24/2017 VDOT has received \$0.00 (dollar amount) from the locality for this project as of 8/24/2017 The locality shall make payments to VDOT as follows: <ul style="list-style-type: none"> \$5,652,000 No later than 60 days after execution of this agreement. \$1,888,661 Due on 4/1/2021 and upon receipt of invoice \$1,888,661 Due on 10/1/2021 and upon receipt of invoice \$1,888,661 Due on 4/1/2022 and upon receipt of invoice \$1,888,660 Due on 7/1/2022 and upon receipt of invoice Phase 1 for this project is under UPC 110330. All local funds included on this appendix have been formally committed by the local government's board resolution. Project estimate, schedule and commitment to funding are subject to the requirements established in the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process, Code of Virginia, and VDOT's Instructional and Informational Memorandums. Reimbursement for eligible expenditures shall not exceed funds allocated each year by the Commonwealth Transportation Board in the Six Year Improvement Program. This project shall be initiated and at least a portion of the programmed funds expended within one year of the budgeted year of allocation or funding may be subject to reprogramming to other projects selected through the prioritization process. In the event the Project is not advanced to the next phase of construction when requested by the Commonwealth Transportation Board, the locality or metropolitan planning organization may be required, pursuant to § 33.2-214 of the Code of Virginia, to reimburse the Department for all state and federal funds expended on the project. This project has been selected through the Smart Scale (HB2) application and selection process and will remain in the SYIP as a funding priority unless certain conditions set forth in the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process arise. Pursuant to the Commonwealth Transportation Board Policy and Guidelines for Implementation of a Project Prioritization Process and HB2 Implementation Policy Guide, Section 5.3, this project will be re-scored and/or the funding decision re-evaluated if any of the following conditions apply: a change in the scope, an estimate increase prior to contract advertisement or award, or a significant reduction in the locality/regionally leveraged funds. Applications may not be submitted in a subsequent annual HB2 prioritization cycle to account for a cost increase on a previously prioritized project. The locality intends to apply for additional funds such as but not limited to NVTAR/Revenue Sharing/etc. however, in the event these funds cannot be obtained, the locality is committed to providing their local share amount. 	

This appendix is certified and made an official attachment to this document by the parties to this agreement

[Signature] 11/30/17
 Authorized Locality Official and Date
 TOM BIESIADNY
 Typed or printed name of person signing

[Signature] 12/4/17
 Authorized VDOT Official and Date
 ANDREW C. BEACHER
 Typed or printed name of person signing

Revised: June 15, 2016

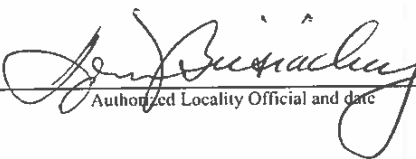
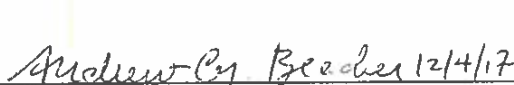
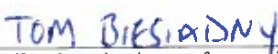
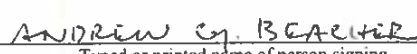
Appendix B

Project Number: 0029-029-350 (UPC 110329) **Locality:** Fairfax County

Project Scope	
Work Description:	Route 29 Widening Widen Route 29 Phase II
From:	Union Mill Road
To:	Buckley's Gate Drive
Locality Project Manager Contact Info: Michael Guarino email: michael.guarino@fairfaxcounty.gov phone: 703-877-5731	
Department Project Coordinator Contact Info: Hong Ha "Jenny" email: hong.ha@vdot.virginia.gov phone: 703-259-2907	

Detailed Scope of Services
<p>Phase II of this project will widen Lee Highway (Route 29) from Union Mill Road to Buckley's Gate Drive for a total of approximately 1.49 miles. The segment currently has four lanes (divided) and the project will widen it to six lanes (divided), along with curb & gutter and geometrics improvement, multi-use trails on both sides for pedestrians and bicycle use, left and right turn lanes, and storm water management facilities.</p> <p>VDOT will administer all phases included in this agreement.</p>

This attachment is certified and made an official attachment to this document by the parties of this agreement

 Authorized Locality Official and date	 Residency Administrator/PE Manager/District Construction Engineer Recommendation and date
 Typed or printed name of person signing	 Typed or printed name of person signing

FAIRFAX COUNTY BOARD OF SUPERVISORS RESOLUTION

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Fairfax County Government Center in Fairfax, Virginia, on Tuesday, October 24, 2017, at which meeting a quorum was present and voting, the following resolution was adopted:

AGREEMENT EXECUTION RESOLUTION

A RESOLUTION FOR THE BOARD OF SUPERVISORS OF THE COUNTY OF FAIRFAX, VIRGINIA AS AN ENDORSEMENT OF Lee Highway (Route 29) Improvements Phase II from Union Mill Road to Buckleys Gate Drive PROJECT

WHEREAS, in accordance with the Commonwealth Transportation Board construction allocation procedures, it is necessary that a resolution be received from the sponsoring local jurisdiction or agency requesting the Virginia Department of Transportation (VDOT) to establish a project(s), if not already established, in the County of Fairfax.

NOW, THEREFORE, BE IT RESOLVED that the County of Fairfax requests the Commonwealth Transportation Board to establish a project(s), if not already established, for the implementation of Phase II of Lee Highway (Route 29) Improvements from Union Mill Road to Buckleys Gate Drive Project (VDOT project # 0029-029-350, UPC 110329) ("Project").

BE IT FURTHER RESOLVED THAT the County of Fairfax hereby agrees to provide its share of the local contribution, in accordance with the Project Administration Agreements ("PAA," attached) and associated financial documents (Appendix A), executed pursuant to this Resolution.

BE IT FURTHER RESOLVED THAT the Board of Supervisors of Fairfax County, Virginia, authorizes the Director of Fairfax County's Department of Transportation to execute, on behalf of the County of Fairfax, the PAA with the Virginia Department of Transportation for the implementation of the Project to be administered by VDOT.

Adopted this 24th day of October 2017, Fairfax, Virginia

ATTEST:



Catherine A. Chianese
Clerk to the Board of Supervisors

Board Agenda Item
October 15, 2019

ACTION - 2

Endorsement of Design Plans for Route 29 (Lee Highway) Phase II Widening Project from Union Mill Road to Buckleys Gate Drive (Springfield and Sully Districts)

ISSUE:

Board endorsement of the Virginia Department of Transportation (VDOT) Design Public Hearing plans for the 1.5-mile Route 29 Phase II Widening Project between Union Mill Road/Centreville Farms Road to Buckleys Gate Drive/Summit Drive. The purpose of this multimodal project is to reduce congestion, improve safety, enhance operations, and provide facilities for pedestrians and bicyclists. The project will reconstruct and widen Route 29 from four to six lanes, add shared use paths on both sides of Route 29, and implement access management improvements.

RECOMMENDATION:

The County Executive recommends that the Board endorse the design plans for the Route 29 Phase II Widening project administered by VDOT as generally presented at the June 10, 2019, Design Public Hearing and authorize the Director of Fairfax County Department of Transportation (FCDOT) to transmit the Board's endorsement to VDOT (Attachment I).

TIMING:

The Board should take action on this matter on October 15, 2019, to allow VDOT to proceed with final design plans and enter the Right-of-Way (ROW) phase in early 2020 to keep the project on schedule.

BACKGROUND:

In 2005, VDOT conducted a feasibility study for providing a continuous six-lane section for Route 29 from Centreville to the City of Fairfax. After the study, segments of Route 29 were widened in phases starting in 2014. First, Fairfax County widened Route 29 from Legato Road to Shirley Gate Road. Afterward, VDOT widened the segment of Route 29 from Pickwick Road (Route 1021) to Union Mill Road (Route 659). These prior projects provide a continuous six-lane section between Centreville and the City of Fairfax except for the limits of this project. The current project with limits between Union Mill Road and Buckleys Gate Drive (Route 1257) will fulfill the objective of providing a continuous six-lane section with bicycle and pedestrian facilities on Route 29 between Centreville and the City of Fairfax.

Board Agenda Item
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The Route 29 Phase II widening project between Union Mill Road and Buckleys Gate Drive consists of a total length of approximately 1.49 miles. Route 29 in this section is a four-lane median-divided facility functionally classified as a principal arterial with an Average Daily Traffic (ADT) of 33,000 and a projected ADT of 44,000 in the design year of 2043. The project will widen the roadway to a six-lane divided section and provide shared use paths on both sides of the roadway. Other improvements in this project include the following: intersection improvements; replacing the bridge over Willow Spring Branch built in 1938 with a box culvert; implementing access management strategies for safety and operations; adjusting the geometrics of the roadway including the vertical alignment to improve sight distance and meet standards; enhancements to the stormwater management facilities; and landscaping where feasible.

PUBLIC HEARING COMMENTS:

In accordance with the Code of the Commonwealth of Virginia and policies of the Commonwealth Transportation Board, a Design Public Hearing was held on Monday, June 10, 2019. Approximately 45 individuals attended the Design Public Hearing. VDOT received 22 written comments either at the hearing or during the open comment period which extended until June 20, 2019. In addition, a verbal comment was recorded by the court reporter at the hearing. There were five direct statements of support for the project and none in opposition. However, there were multiple comments raising concerns or inquiring about aspects of the project. These comments were mainly focused on potential noise barriers, the loss of trees, and access management. A copy of the Design Public Hearing brochure is attached (Attachment 2).

In reviewing the project design plans, County staff recommends that the Board of Supervisors endorse the plans.

PROJECT SCHEDULE:

Design Public Hearing – June 10, 2019
Begin Right-of-Way Acquisition – Early 2020
Begin Construction – Mid 2023
Estimated Completion – Late 2025

FISCAL IMPACT:

There is no fiscal impact associated with this Board item. The project is estimated to cost approximately \$85.8 million, and the sources of funding include state Smart Scale, local, and I-66 Concession Fee Funds. On October 15, 2019, Department of Transportation staff will also be requesting Board approval for additional project funding, and to amend the County's current agreement with VDOT.

Board Agenda Item
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ENCLOSED DOCUMENTS:

Attachment 1: Letter for transmitting Board Endorsement of Route 29 Phase II
Widening Project

Attachment 2: June 10, 2019, Design Public Hearing Brochure

STAFF:

Rachel Flynn, Deputy County Executive

Tom Biesiadny, Director, Fairfax County Department of Transportation (FCDOT)

Eric Teitelman, Chief, Capital Projects and Traffic Engineering Division, FCDOT

Michael J. Guarino, Chief, Capital Projects Section (CPS), FCDOT

Vanessa Aguayo, CPS, FCDOT

Ajmal 'A.J.' Hamidi, CPS, FCDOT



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

October 16, 2019

Ms. Helen L. Cuervo, P.E.
District Administrator
Northern Virginia District
Virginia Department of Transportation
4975 Alliance Drive
Fairfax, Virginia 22030

Subject: Board Endorsement of Route 29 (Lee Highway) Phase II Widening Project
UPC 110329

Dear Ms. Cuervo:

On October 15, 2019, the Fairfax County Board of Supervisors endorsed the design plans to widen 1.49 miles of Route 29 (Lee Highway) between Union Mill Road/Centreville Farm Road and Buckleys Gate Drive/Summit Drive from four to six lanes with shared use paths for pedestrians and bicyclists, as generally presented at the June 10, 2019, Design Public Hearing.

Please call Ajmal 'A.J.' Hamidi at (703) 877-5828 or me at (703) 877-5663, if you have any questions or need additional information. Thank you for your assistance with this important project.

Sincerely,

Tom Biesiadny
Director

cc: Board of Supervisors
Bryan J. Hill, County Executive
Rachel Flynn, Deputy County Executive
Andrew G. Beacher, Preliminary Engineering Manager, Virginia Department of Transportation (VDOT)
Hong 'Jenny' Ha, Project Manager, VDOT
Tom Biesiadny, Director, Fairfax County Department of Transportation (FCDOT)
Eric Teitelman, Chief, Capital Projects and Traffic Engineering Division, FCDOT
Michael J. Guarino, Chief, Capital Projects Section (CPS), FCDOT
Ajmal 'A.J.' Hamidi, Transportation Planner, Capital Projects Section, FCDOT

Fairfax County Department of Transportation
4050 Legato Road, Suite 400
Fairfax, VA 22033-2895
Phone: (703) 877-5600 TTY: 711
Fax: (703) 877-5723
www.fairfaxcounty.gov/fcdot



Get Involved

VDOT representatives will review and evaluate information received as a result of this meeting. Please fill out the comment sheet provided in this brochure if you have any comments or questions. You may leave the sheet or any other written comments in the comment box, or mail/email your comments.

Comments must be postmarked, emailed or delivered to VDOT by **June 20, 2019**.

Mail comments to Ms. Hong "Jenny" Ha, P.E. at the address below or email meetingcomments@vdot.virginia.gov. Please include "Route 29 Widening" in the subject line.

Project information shared at this meeting will be available online at www.virginiadot.org/projects/ and at VDOT's Northern Virginia Office.

Contact Information

Primary Contact: Hong "Jenny" Ha, P.E. hong.ha@vdot.virginia.gov	Location & Design	4975 Alliance Drive Fairfax, VA 22030	703-259-2907
Andrew Beacher, P.E. andrew.beacher@vdot.virginia.gov	Preliminary Engineering	4975 Alliance Drive Fairfax, VA 22030	703-259-2239
Brian Costello brian.costello@vdot.virginia.gov	Right of Way & Utilities	4975 Alliance Drive Fairfax, VA 22030	703-259-2986
Jennifer McCord jennifer.mccord@vdot.virginia.gov	Communications	4975 Alliance Drive Fairfax, VA 22030	703-259-1779

TTY/TDD Dial 711



© 2019 Commonwealth of Virginia

Design Public Hearing

Route 29 Widening Fairfax County

Monday, June 10, 2019
6:30 p.m. to 8:30 p.m.
Presentation starts at 7 p.m.

Virginia Department of Transportation
 Potomac Conference Room
 4975 Alliance Drive
 Fairfax, VA 22030



Design Public Hearing

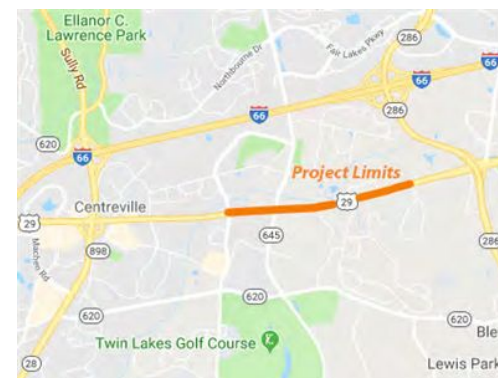
Welcome to the Virginia Department of Transportation's (VDOT) Design Public Hearing on proposed improvements to Route 29 (Lee Highway). We look forward to your active participation.

This design public hearing is being held to provide an opportunity for citizens and organizations to give VDOT comments and/or suggestions on the proposed project.

VDOT strives to ensure that all members of the community have the opportunity to participate in public decisions on transportation projects and programs affecting them.

VDOT representatives are present to discuss the project and answer your questions. A comment sheet is included in this brochure and your input is encouraged. All written comments received on this project will be reviewed by the design team.

Project Overview



Purpose:

Reduce congestion, improve safety and operations

Project Length:

About 1.5 miles from Union Mill Road to Buckleys Gate Drive

Improvements:

Widen Route 29 from four to six through lanes, including shared-use paths along both sides of Route 29 to provide better bicyclist and pedestrian access to the trails at the Fairfax County Parkway/West Ox Road Interchange

Project Description

This project will widen about 1.5 miles of Route 29 (Lee Highway) from four to six lanes between Union Mill Road and Buckleys Gate Drive. It will relieve a major bottleneck during AM and PM peak hours, with lengthy backups occurring in particular at the signal for Stringfellow/Clifton roads (Route 645).

This project aims to reduce congestion, and improve safety, operations and access management. The project will also add and improve shared-use paths along both sides

of Route 29 to provide better bicyclist and pedestrian access to the trails at the Fairfax County Parkway/West Ox Road Interchange. In addition to the roadway widening, there will also be improvements to crosswalks at major intersections and modified signals to accommodate these new facilities.

Tonight's meeting is being held to obtain feedback from the community about the preliminary design.

Lee Highway Widening

Union Mill Road to Willow Road



Willow Road to Cruz Drive



Cruz Drive to Gunpowder Road



Estimated Project Cost

Engineering Design: **\$5.7 million**

Right of Way Acquisition/Utility Relocation: **\$26.1 million**

Construction: **\$54.1 million**

Total Cost: **\$85.9 million**

The project is being financed with local, state (including Smart Scale) funding and the I-66 concession fee.

Anticipated Schedule

Public Hearing
June 10, 2019

Comment Period Ends
June 20, 2019

Begin Right of Way Acquisition
Early 2020

Begin Construction
Late 2022

Civil Rights

VDOT ensures nondiscrimination and equal employment in all programs and activities in accordance with Title VI and Title VII of the Civil Rights Act of 1964. If you need more information or special assistance for persons with disabilities or limited English proficiency, contact Ms. Hong Ha at 703-259-2907 or TTY/TDD 711.

Right of Way

Preliminary right of way impacts presented on the displays are conceptual in nature and may change as the design is refined. The property owners will be informed of the exact location of the easements during the right of way acquisition process and prior to construction.

Information about right of way purchase is discussed in VDOT's brochure, "Right of Way and Utilities: Guide for Property Owners and Tenants." Copies of this brochure are available here from VDOT personnel. After this meeting, information regarding right of way may be obtained from the right of way contact listed on the back of this brochure.

Environmental Review

In compliance with the National Environmental Policy Act (NEPA) and 23 CFR Parts 771 and 772, an environmental document in the form of a Categorical Exclusion (CE) has been prepared which includes a Preliminary Noise Analysis. Pursuant to the National Historic Preservation Act, Section 106 and 36 CFR 800, information concerning the potential effects of the proposed improvements on historic properties will be included in the CE. In accordance with 23 CFR 774, notice is given of the Federal Highway Administration's intent to issue a Section 4(f) de minimis impact finding with respect to the project's use of Willow Pond Park.

**On 9/24/19, this item was
deferred by the Board to
10/15/19 at 5:30 p.m.**

Board Agenda Item
October 15, 2019

CONSIDERATION - 1

Proffer Interpretation Appeal A-RZ 86-C-12, Related to the Planning Commission's Denial of Conceptual Plan CP 86-C-121-15, Filed by NS Reston LLC

ISSUE:

NS Reston, LLC ("Appellant"), has filed a conceptual plan application CP 86-C-121-15 (the "CP Application") concurrently with PRC Plan Application PRC 86-C-121-06 (the "PRC Plan Application") for the development of Tax Map 17-1 ((17)) 4. Pursuant to Proffer D1 of the proffers accepted by the Board with RZ 86-C-121, the Appellant submitted its CP Application to the Planning Commission for review and approval. The Planning Commission denied the CP Application, and the Appellant filed this appeal of the denial. There is no specific authority set forth in the Zoning Ordinance or in the proffers for an appeal of a CP Application; however, it is recommended that the Board review the CP Application along with the public hearing on the PRC Plan Application.

TIMING:

Board consideration is requested on October 15, 2019, at 5:30 PM concurrent with the scheduled decision only for PRC 86-C-121-06.

BACKGROUND:

A detailed review of the CP Application and PRC Plan Application, including the staff report is provided in the link below.

<http://ldsnet.fairfaxcounty.gov/ldsnet/ZAPSMMain.aspx?cde=PRCP&seq=4248194>

On March 9, 1987, the Board of Supervisors approved RZ 86-C-121 concurrent with RZ 85-C-0-88, RZ 86-C-119, and RZ 86-C-118 (Town Center rezonings) on a combined 353 acres of land with one set of combined proffers. Development Plans were proffered for each of the four Town Center rezonings. RZ 85-C-088, for the Reston Town Center Urban Core, was the only rezoning in which a detailed development plan was proffered. The approved proffers include a commitment to prepare conceptual plans for the remaining three Town Center rezonings. The conceptual plans were intended to provide additional detail of the development plan, as specifically stated in the proffers.

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October 15, 2019

Relevant to this appeal, proffer D.1 states:

“D. DEVELOPMENT PLAN FOR RZ 86-C-121

1. *Property B will be developed in accordance with the Development Plans dated November, 1986 and revised January, 1987. Prior to submission of a preliminary site plan to DEM for any part of Property B (144.64 acres included in RZ-C-121) Applicant proffers to cause to be prepared a conceptual plan to include:*

*a vehicular traffic circulation plan including approximate location of entrances
minor streets in approximate location
pedestrian walkways and trails
landscaping and screening
open space
recreation and community facilities
location of a time-transfer transit hub
floor area ratios
height limits
general location and type of housing units
general location office and commercial buildings
general location of parking structures*

Applicant will afford members of the Reston community an opportunity to review and comment upon the conceptual plan prior to initial submission of the same to Fairfax County for review. Concurrent with the ongoing community input process, Applicant will submit the plan to the Fairfax County Office of Comprehensive Planning for review and the Fairfax County Planning Commission for review and approval. Once the overall preliminary site plan is approved, Applicant will submit preliminary and final site plans for review pursuant to Fairfax County Zoning Ordinances on a site by site basis.”

A Master Conceptual Plan (Master CP) was submitted by Reston Land Corporation and approved by the Planning Commission on April 2, 1992. An excerpt of this Master CP is provided on page 5 of the Staff Report, which is available at the link below.

<http://ldsnet.fairfaxcounty.gov/ldsnet/ZAPSMMain.aspx?cde=PRCP&seq=4248194>

The Appellant submitted the CP Application to propose development of a condominium building on its property. On June 19, 2019, the Planning Commission denied the CP Application, but also voted to recommend that the Board of Supervisors review (and

Board Agenda Item
October 15, 2019

deny) the CP Application with its review of the PRC Plan Application. See PC verbatim, attached to appeal.

Citing to Par. 10 of Sect. 18-204 of the Zoning Ordinance, the Appellant filed this appeal. In its cover letter, the Appellant admits that “[p]roffer D.1 does not provide a process for appealing the Commission’s decision, and since this CP Application is not required nor addressed in any way in the Zoning Ordinance, there is no specific appeal process for an aggrieved party like NS Reston.” While staff does not concede that the Appellant is aggrieved, it does agree that there is no authority to appeal the Planning Commission’s denial of the CP Application.

DISCUSSION:

Par. 10 of Sect. 18-204 of the Zoning Ordinance permits appeals to the Board by “[a]ny person aggrieved by a decision of the Zoning Administrator regarding any proffered condition.” See Va. Code § 15.2-2301 (also allowing for an appeal to the Board from a decision by the Zoning Administrator regarding proffers). The Appellant relies on this provision in error, because it is not appealing from a decision of the Zoning Administrator. While the CP Application is a creature of proffers, the proffers also do not provide for an appeal.

The Appellant thus has no authority for its appeal to the Board. But it is not without a remedy, as the Planning Commission has already recommended that the Board consider the CP Application with its review of the PRC Plan Application. Staff concurs and recommends that the Board deny this appeal but accept the Planning Commission’s recommendation to consider the CP Application.¹ The CP Application is subsumed within the PRC Plan Application. In light of the Board’s ultimate authority over the PRC Plan Application, the Board necessarily has the authority to review the CP Application as part of its review of the PRC Plan Application.

¹ Staff notes that when the proffers were accepted in 1987, the PRC Plan Application process was an administrative process handled by the Department of Public Works and Environmental Services (now Department of Land Development Services). The Zoning Ordinance now requires the Board of Supervisors to approve a PRC Plan Application. Because the ultimate authority of the PRC Plan Application rests with the Board of Supervisors, staff has already recommended (as did the Planning Commission) that the CP Application be reviewed by the Board of Supervisors. Thus, Staff advertised the CP Application for public hearing.

**On 9/24/19, this item was
deferred by the Board to
10/15/19 at 5:30 p.m.**

Board Agenda Item
October 15, 2019

SUMMARY:

Staff requests that the Board of Supervisors deny the appeal but review the CP Application when it considers the PRC Plan Application.

FISCAL IMPACT:

None.

ENCLOSED DOCUMENTS:

Attachment 1: Letter dated July 17, 2019, to Leslie Johnson, Zoning Administrator;
Appeal of Planning Commission Decision on CP 86-C-121-15

STAFF:

Rachel Flynn, Deputy County Executive
Barbara Byron, Director, Department of Planning and Development (DPD)
Leslie Johnson, Zoning Administrator, DPD
Tracy Strunk, Director, Zoning Evaluation Division (ZED), DPD
Suzanne Wright, Chief, Substantial Conformance and Acceptance Branch, ZED, DPD
William Mayland, Branch Chief/Staff Coordinator, ZED, DPD

ASSIGNED COUNSEL:

Laura S. Gori, Senior Assistant County Attorney

**HUNTON
ANDREWS KURTH**

HUNTON ANDREWS KURTH LLP
8405 GREENSBORO DRIVE
SUITE 140
TYSONS, VIRGINIA 22102

TEL 703 • 714 • 7400
FAX 703 • 714 • 7410

JOHN C. MCGRANAHAN, JR.
DIRECT DIAL: 703 • 714 • 7464
EMAIL: jmcgranahan@HuntonAK.com

FILE NO: 067464.16

July 17, 2019

BY HAND DELIVERY

Leslie Johnson, Zoning Administrator
Fairfax County Department of
Planning and Zoning
Zoning Administration Division
12055 Government Center Parkway, Suite 807
Fairfax, Virginia 22035

RECEIVED
Dept of Planning & Development

JUL 17 2019

Zoning Evaluation Division

**NS Reston LLC
Reston Section 89, Block 4
Tax Map Parcel: 017-1-((17))-4
Zoning District: PRC
Appeal of Planning Commission Decision on CP 86-C-121-15**

Dear Ms. Johnson:

On June 19, 2019, the Fairfax County Planning Commission voted to deny conceptual plan application CP 86-C-121-15 (the "CP Application") filed by NS Reston LLC ("NS Reston"). NS Reston submitted the CP Application concurrently with PRC plan application PRC 86-C-121-06 (the "PRC Plan Application"). At the June 19, 2019 meeting, the Planning Commission also voted to recommend to the Board of Supervisors that it deny the PRC Plan Application.

The Board is scheduled to hear the PRC Plan Application at its September 24, 2019 meeting. In his motion on these applications, Commissioner John A. Carter expressly recommended that the Board "consider the review of the Concept Plan [i.e., the CP Application] as part of their review of the PRC Plan."

The CP Application is a creature of the proffered conditions that apply to the subject property. Proffer D.1. of the proffers accepted by the Board with the approval of RZ 86-C-121 provides that a "conceptual plan" will be submitted to the Planning Commission for review and approval. Proffer D.1. does not provide a process for appealing the Commission's decision,

HUNTON
ANDREWS KURTH

Leslie Johnson, Zoning Administrator
July 17, 2019
Page 2

and since this CP Application is not required nor addressed in any way in the Fairfax County Zoning Ordinance (the "Zoning Ordinance"), there is no specific appeal process for an aggrieved party like NS Reston. However, Sect. 18-204(10) of the Zoning Ordinance provides that "[a]ny person aggrieved by a decision of the Zoning Administrator regarding any proffered condition may appeal that decision to the Board [of Supervisors]." The Planning Commission's decision to deny the CP Application was made pursuant to the approved proffers for this property. NS Reston disagrees with that decision and is aggrieved by it. From an abundance of caution and to ensure the Board does in fact consider and act on both the PRC Plan Application and the CP Application as recommended by the Planning Commission, NS Reston hereby submits this appeal pursuant to Sect. 18-204(10) of the Zoning Ordinance.

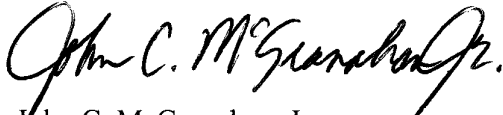
Enclosed please find the following documents submitted on behalf of NS Reston:

- Application for Appeal (original and two copies);
- Notice of Appeal/Appellant Statement with exhibits; and
- Check in the amount of \$600.00 made payable to "County of Fairfax" for the filing fee.

Copies of the Application for Appeal form and the Notice of Appeal/Appellant Statement with exhibits are also hereby delivered to Ms. Catherine A. Chianese, Clerk to the Board of Supervisors.

If you have any questions or require additional information, please contact me.

With best regards,



John C. McGranahan, Jr.

Enclosures

cc: Catherine A. Chianese, Clerk to the Board of Supervisors
William Mayland, AICP
Norton Scott LLC



Please type or
Print in Black Ink

COMMONWEALTH OF VIRGINIA
COUNTY OF FAIRFAX
APPLICATION FOR APPEAL

APPLICATION NO. _____
(Assigned by Staff)

NAME OF APPELLANT: NS Reston LLC

NATURE OF THE APPEAL:

Appeal of a decision by the Fairfax County Planning Commission on June 19, 2019 to deny CP 86-C-121-15. Appellant disagrees with all the reasons stated by the Planning Commission as the basis for its decision. The Planning Commission's decision was erroneous and should be reversed by the Board of Supervisors.

DATE OF ORDER, REQUIREMENT, DECISION, DETERMINATION OR NOTICE OF VIOLATION WHICH IS SUBJECT TO THE APPEAL Planning Commission decision on June 19, 2019

HOW IS THE APPELLANT AN AGGRIEVED PERSON?:

Appellant is the owner of the subject property and the applicant in CP 86-C-121-15 and the concurrent PRC application PRC 86-C-121-06. The denial of these applications would deny Appellant all reasonable and economically viable use of its property.

IF APPEAL RELATES TO A SPECIFIC PROPERTY, PROVIDE THE FOLLOWING INFORMATION:

POSTAL ADDRESS OF PROPERTY: None

TAX MAP DESCRIPTION: 017-1-((17))-4

John C. McGranahan, Jr., Attorney/Agent for Appellant

Type or Print Name of Appellant or Agent

John C. McGranahan Jr.
Signature of Appellant or Agent

Hunton Andrews Kurth LLP, 8405 Greensboro Drive, Suite 140, Tysons, VA 22102

Address

703-714-7464

Telephone No: Home

Work

Cell

Please type or print name, address, and phone number of contact person if different from above:

DO NOT WRITE IN THIS SPACE

Subdivision Name: _____

Total Area (Acres/Square Feet): _____

Present Zoning: _____

Supervisor District: _____

Date application received: _____

Application Fee Paid: \$ _____

Date application accepted: _____

8/2013

NS RESTON LLC

NOTICE OF APPEAL/APPELLANT STATEMENT

I. SUBJECT OF THIS APPEAL

This is an appeal of a decision by the Fairfax County Planning Commission (the "Planning Commission") pursuant to implementation of Proffer D.1. for rezoning application RZ 86-C-121. On June 19, 2019, the Planning Commission voted to deny conceptual plan application CP 86-C-121-15 (the "CP Application") for certain property owned by NS Reston LLC ("Appellant") and identified on the Fairfax County Tax Map as parcel 17-1-((17))-4 (the "Subject Property"). Appellant filed the CP Application concurrently with PRC plan application PRC 86-C-121-06 (the "PRC Plan Application"). The Planning Commission also voted on June 19, 2019 to recommend to the Board of Supervisors (the "Board") that the Board deny the PRC Plan Application. In his motion on these applications, Planning Commissioner John A. Carter expressly recommended that the Board "consider the review of the Concept Plan as part of their review of the PRC Plan." Appellant respectfully submits this Notice of Appeal pursuant to Sect. 18-204(10) of the Fairfax County Zoning Ordinance (the "Zoning Ordinance") because (i) Appellant disagrees with the Planning Commission's decision and all the reasons identified by the Planning Commission as the basis for its decision, and (ii) Appellant wants to ensure that the Board considers both the CP Application and the PRC Plan Application together as recommended by the Planning Commission.

II. DATE OF DECISION

The decision contested by this appeal was made by the Planning Commission on June 19, 2019. A copy of the Planning Commission Clerk's denial letter dated June 24, 2019, which includes the verbatim of the Planning Commission's decision, is attached as **Exhibit A**.

III. JURISDICTION – APPELLANT IS AN AGGRIEVED PARTY

Section 18-204(10) of the Zoning Ordinance permits appeals to the Board by "[a]ny person aggrieved by a decision of the Zoning Administrator regarding any proffered condition." Since the CP Application is a creature of Proffer D.1. of the proffered conditions for RZ 86-C-121 which apply to the Subject Property and the Planning Commission's decision was pursuant to and implements Proffer D.1., the appeal of that decision is to the Board. Appellant is an aggrieved party as the owner of the Subject Property and the applicant for the CP Application and the PRC Plan Application. The decision by the Planning Commission to deny the CP Application is intended to prevent Appellant from developing the Subject Property for permitted residential uses, and thus, will deny Appellant significant property rights, i.e., by-right use of its property as permitted under the existing PRC District zoning. The denial of the CP Application by the Planning Commission and the concurrent PRC Plan Application by the Board would deny all reasonable and economically viable use of the Subject Property. Therefore, Appellant is aggrieved by the Planning Commission's decision, and this appeal is properly before the Board.

IV. GROUND OF APPEAL AND REASONS THEREFOR

The Subject Property contains approximately 0.839 acre and is located on the north side of New Dominion Parkway (Route 6363) approximately 300 feet west of Fountain Drive (Route 8502) in Reston, Virginia. It currently is vacant land. The Subject Property is zoned to the PRC, Planned Residential Community District (the "PRC District"). A tax map with the Subject Property outlined in red is attached as **Exhibit B**.

The approved Development Plan for the Subject Property is dated October 1986 and revised January 1987. The existing PRC District zoning and the approved Development Plan permit development of residential uses at a density not to exceed 50 dwelling units per acre ("du/ac"). The approved Development Plan does not designate the Subject Property as open space or a public park. Nor does the approved Development Plan identify any public street running through any portion of the Subject Property. Appellant filed the CP Application and the PRC Plan Application concurrently in order to implement the existing zoning of the Subject Property. The residential condominium building proposed with the CP Application and the PRC Plan Application is less than 50 du/ac and is consistent with the approved Development Plan. It meets all other requirements of the Zoning Ordinance. The Planning Commission's denial of the CP Application was erroneous and would deny Appellant all reasonable and economically viable use of the Subject Property. That decision must be reversed by the Board.

The explanations offered by the Planning Commission to justify its decision to deny the CP Application are wrong. Some of those justifications are inconsistent with Virginia law. The following points, among others, reflect the errors of the Planning Commission's decision:

1. The proposed residential condominium building is consistent with the approved Development Plan for the Subject Property, which does not designate the Subject Property as open space or a park and does not identify a public road through any portion of the Subject Property.
2. No owner of the Subject Property, including Appellant, ever has taken the steps required under Part 7 of Article 2 of the Zoning Ordinance to commit the Subject Property to permanent open space for the mutual benefit of persons residing in the Reston PRC District.
3. The proposed residential condominium building does not violate any of the applicable density limitations set forth in Sect. 6-308 of the Zoning Ordinance, namely the maximum 13 persons per acre for the overall PRC District, the maximum 60 persons per acre for the overall high density areas of the PRC District and the maximum 50 du/ac for the Subject Property.
4. While the Board has no legal authority to impose conditions on a PRC plan approval that require the provision of workforce dwelling units (WDUs), the Board has done so for other properties in Part 5 of Reston where the Subject Property is located. If those approved WDUs and the associated WDU bonus units are included in the total number of units previously approved for those other properties in Part 5 of Reston, then the Board already has approved more than 50 du/ac in Part 5 without the units proposed by Appellant (767 total units already approved including WDUs and WDU

bonus units v. 746 units at 50 du/ac). Either WDUs and bonus units **do not count** toward the 50 du/ac maximum limit, in which case there are 66 units remaining in Part 5, or the Board approved the PRC plans for those other properties by relying on available density from outside Part 5. Under either explanation for those prior approvals, there is sufficient density available for the Appellant's proposed 58 dwelling units on the Subject Property. Accordingly, the Appellant's 58 units can be approved without reducing the number of units previously approved for those other properties in Part 5. The Board must treat all properties in Part 5 of Reston consistently with respect to treatment of WDUs and WDU bonus units for density purposes. It cannot choose to treat them differently in order to deny all by-right use of Appellant's Subject Property.

5. The PRC plan is a successor to the preliminary site plan under the original PRC (formerly RPC) District provisions of the Zoning Ordinance. It does not involve the rezoning of a property nor does it request a change to the proffered development plan for a property, both of which would require legislative review and action by the Board. To the contrary, a PRC plan seeks to implement those legislative entitlements in order to construct by-right uses. Review of a PRC plan is administrative notwithstanding that the Board has reserved to itself the right to review and approve PRC plans since 2007. As such, the Board is constrained in its review of PRC plans to impose only conditions where there is an essential nexus to mitigating an actual impact of the proposed development and where the conditions are roughly proportional to those impacts. Comprehensive Plan policies and goals, such as provision of WDUs, construction of roads which are not needed to support the proposed development, and the requirement of consolidation with properties under separate ownership, can guide and inform the review of a PRC application, but they cannot be strictly imposed as conditions without the owner's agreement nor are they a legally permissible basis for denying a by-right use, or in this case all by-right use, of the Subject Property.
6. While the Board has no legal authority to require consolidation of the Subject Property with neighboring properties as a condition to approval of a PRC plan, Appellant tried for more than five (5) years to consolidate the Subject Property with the adjacent properties owned by the Board as recommended in the Comprehensive Plan. Appellant incurred significant expenses in pursuit of the PPEA Request for Proposal 2000001682 (Part 1) Reston Town Center North Redevelopment. The County ultimately rejected Appellant's proposal, thus precluding Appellant from providing the very consolidation the Comprehensive Plan recommends.
7. While the Board has no legal authority to require WDUs as a condition to approval of a PRC plan, Appellant has agreed to provide the same percentage of WDUs that other properties located in Part 5 of Reston have agreed to provide, by purchasing units off-site within the Reston Transit Station Area and subjecting those units to the legal requirements of the County's WDU program as provided in the County's approved Guidelines for Provision of Workforce Housing.
8. While the Board has no legal authority to require right-of-way dedication for and/or construction of a public street through the middle of the Subject Property as a

condition to approval of a PRC plan, when such a street is not shown on the approved Development Plan and when the need for such a street is not generated by the proposed residential condominium building, Appellant has agreed to provide interparcel access through the Subject Property to facilitate the redevelopment of the County-owned property north of the Subject Property. That interparcel access will align with an extension of existing Cameron Glen Road on which the North County Governmental Center is located, across Bowman Towne Drive to the Subject Property.


9. The proposed residential condominium building is consistent and compatible with surrounding uses and will be an attractive addition to the Reston Town Center environs. This proposed residential use will help address a demand for for-sale housing options in the Reston Town Center Transit Station Area.

V. CONCLUSION

For all the reasons stated by Appellant's representative at the June 19, 2019 Planning Commission meeting and in this Notice of Appeal/Appellant's Statement, as well as those reasons that will be provided at the Board's consideration of this appeal and the PRC Plan Application, the Board must reverse the Planning Commission's denial of the CP Application and approve both the CP Application and the PRC Plan Application.

Respectfully submitted,

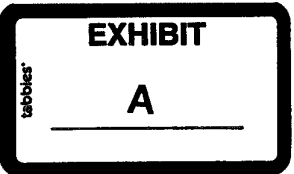
Dated: July 17, 2019



John C. McGranahan, Jr.
Attorney/Agent for the Appellant



County of Fairfax, Virginia



June 24, 2019

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**2019 Planning
Commission**

Peter F. Murphy
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Vice Chairman
At-Large

James T. Migliaccio
Secretary
Lee District

Timothy J. Sargeant
Parliamentarian
At-Large

Ellen J. "Nell" Hurley
Braddock District

John C. Ulfelder
Dranesville District

John A. Carter
Hunter Mill District

Julie M. Strandlie
Mason District

Walter C. Clarke
Mount Vernon District

**Phillip A. Niedzielski-
Eichner**
Providence District

Donté Tanner
Sully District

Mary D. Cortina
At-Large

Jill G. Cooper
Executive Director

Jacob L. Caporaletti
Clerk to the Commission

John C. McGranahan, Jr.
Hunton Andrews Kurth, LLP
8405 Greensboro Drive, Suite 140
Tysons, VA 22102

BY:

**Re: Planned Residential Community and Conceptual Plan Applications
PRC 86-C-121-06/CP 86-C-121-15 – NS RESTON LLC
Hunter Mill District**

Dear Mr. McGranahan:

At a regular meeting held on June 19, 2019, the Planning Commission voted 7-0-1 (Commissioner Hurley abstained from the vote. Commissioners Clarke, Niedzielski-Eichner, Strandlie, and Cortina were absent from the meeting) to **RECOMMEND DENIAL** of PRC 86-C-121-06 and CP 86-C-121-15. A copy of the verbatim transcript is attached.

This letter serves as a record of the Planning Commission's recommendation to the Board of Supervisors and not as the final approval. The application is still subject to final decision by the Board of Supervisors.

Sincerely,

Jacob L. Caporaletti
Clerk to the Planning Commission

Attachments (a/s)

cc: Catherine M. Hudgins, Supervisor, Hunter Mill District
John A. Carter, Planning Commissioner, Hunter Mill District
Catherine A. Chianese, Assistant County Executive, Clerk to the Board of Supervisors, County Executive Office
William Mayland, Zoning Evaluation Division (ZED), Department of Planning and Zoning (DPZ)
Robert Harrison, ZED, DPZ
Case Date File June 19, 2019

To request special accommodations, call the Planning Commission office at 703-324-2865, TTY 703-324-7951. Please allow seven working days to make the appropriate arrangements.

Fairfax County Planning Commission
12000 Government Center Parkway, Suite 552, Fairfax, VA 22035
703-324-2865 (Voice) 703-324-7951 (TTY) 703-324-3948 (Fax)
www.fairfaxcounty.gov/planningcommission



**County of Fairfax, Virginia
Planning Commission Meeting
June 19, 2019
Verbatim Excerpt**

PRC 86-C-121-06 – NS RESTON, LLC – Appl. to approve the PRC plan associated with RZ 86-C-121 to permit residential development. Located on the N. side of New Dominion Parkway approx. 300 ft. W. of Fountain Dr. on approx. 36,553 sq. ft. of land zoned PRC. Comp. Plan Rec: Mixed Use. Tax Map 17-1 ((17)) 4. (Concurrent with CP 86-C-121-15). (Hunter Mill District)

CP 86-C-121-15 – NS RESTON, LLC – Appl. to approve the Conceptual Plan for RZ 86-C-121 to permit residential development. Located on the N. side of New Dominion Parkway approx. 300 ft. W. of Fountain Dr. on approx. 36,553 sq. ft. of land zoned PRC. Tax Map 17-1 ((17)) 4. (Concurrent with PRC 86-C-121-06). (Hunter Mill District)

After Close of Public Hearing

Commissioner Carter: Okay. This is an interesting case...

Chairman Murphy: Mic.

Commissioner Carter: It's on. I've got it on.

Chairman Murphy: Oh...

Commissioner Carter: How 'bout that...

Chairman Murphy: The next key word is closer.

Commissioner Carter: Okay. Alright. Alright. You know these – these cases. I've been enamored with our process over the last year or so. Our process is to – is to have the hearing, pull out sore thumbs, defer and work those out, and bring it back. That's – that's our general process. Some cases I – I think we can't do that and I – I think this is unfortunately one of these cases. There's a lot of back and forth, a lot of good comments on – on all sides of this. But I have six major concerns. One is the conformance with the development plan. And it's – some would question what the development plan is. But I think the development plan includes the zoning, it includes the park, it includes all of those features, and this project is not in conformance with requirements of the zoning case and development plan approved by the Board of Supervisors for Part 5 of the North Town Center District. This was approved in '87, it was reaffirmed in 2009. There is a table. We can argue about the WDUs. Were they counted? Were they not counted? The table is what it is. It – it has the data on it and it's – it's not – you can try to interpret it, but it has the numbers the way it is. And this project will take this above the fifty units per acre according to that table. So, I think it is not in conformance and I – I appreciated that box, the top and the bottom. I like that, but I can't imagine we just disregard the Comprehensive Plan in these cases in Reston. We have a lot of projects to go and particularly when the Zoning Ordinance is tied directly to – to the Comp Plan. And I think in those cases we can make a strong argument that – that there – whether you – whether you put in the top box or bottom box it – it does apply. So again, my point one is it's not in conformance with the development plan that I think includes the park. Number two. So, if you wanna put it in the bottom box there, I think it does not conform to the land use and density requirements of the Comprehensive Plan and the Zoning Ordinance. So

now I'm putting it in the bottom box. And – and I think this is a real problem in the way we do things and we have that case earlier tonight where the park is designated, but then somebody buys the park and then – well, maybe we can develop on this. I think this one is – is an open space. There's some density left, but not 58 units worth. I also think the – you're suppose to have a mix of – of land uses. You're suppose to have residential as well as least a little bit of commercial and I think that's inherent in the land use and density argument. Third. The location of WDUs on-site. The application's not in conformance with the recommendations to provide WDUs. The proposed development locates all that – the WDUs off-site with an unknown location. I don't know where you would buy the WDUs. Everybody is struggling to find them. But in the last year, we have had no cases that tried to do the WDUs off-site. And in most cases, we've even reduced the tiers for the WDUs from 70, 80 to 100 is – is been our standard procedure in Reston. So, I – I think this project is not in conformance with the – the WDU notion. Next, the consolidation. The plan clearly calls for the consolidation and I think the Zoning Ordinance backs that up. It – it says there's no density on this. It – let's see. From the plan it says the Comprehensive Plan recommends this underdevelopment parcel located south of the Regional Library and Winwood Children Center be considered for redevelopment only if consolidated with either or both of the adjacent parcels on which the library and shelter are located. It is unfortunate that that joint development didn't – didn't work out. I appreciated that – that comment. But undoubtedly that's coming back. We have money to rebuild the library so that's – that's gotta be resolved. So, I think you're no in conformance with that consolidation issue. And again, I think you can tie that both to the plan and the Comp Plan. The Comp Plan as well as the Zoning Ordinance. I think this project is not in conformance with the transportation recommendations in the Comp Plan and would not be in conformance with site plan kind of issues with transportation. First of all, Library Street is the only street that goes all the way through north Reston, goes through the existing Town Center, goes across the W&OD trail and connects directly to the – to the WMATA – the future WMATA Metro Station. So, I think this is a critical link in the transportation network. These things are important to have and this would certainly come in as part of the site plan. It's necessary to enhance the circulation and access to the area to help relieve congestion at key intersections. The – also, the extension of Library Street is intended to occur at the same time at the future development. And I won't go back to the site plan, but if you pull that up, I think regardless of the circuitous and I think that is a problem because you have Library Street both to the north and south of this. But the street that's proposed would probably not work well as a public street. I'm not sure the width is correct. You're supposed to have walks on both sides, the trees, the width of the sidewalks, that would be your main pedestrian bicycle and vehicular connection. It's not just the vehicular. This is your main connection to the – to the Metro. And if you don't provide that, I think that's problematic. Whether you use that, use the Comp Plan to back that up or whether it's the Zoning Ordinance in review of the site plan I – I think you can use both. The last one, perhaps not quite as important, but I – I think there is an issue about the placemaking. We've had a few of these cases recently where you show trees, and it looks very lush and then suddenly we find some utilities underground and we can't do quite as many trees. That's a problem here on this and I – I know – I think there are utilities in this case and the four street trees was not very much really, I think will be problematic. I also think that wall along New Dominion Parkway and along the street as well as the pathway. You have the wall from – from the parking garage is a problem. So, in conclusion, the application in my view does not conform to the requirements in the approved adopted plan that limits the site to open space, which I would argue is backed up with the Zoning Ordinance. The proposed development is also not in conformance with the recommendation in the Comprehensive Plan and Zoning Ordinance. For the land use intensity, the provision of

WDUs, consolidation of parcels, the important extension of Library Street, and the placemaking that is part of our normal review in terms of the site plan. So, I'm ready to make a motion.

Chairman Murphy: Okay.

Commissioner Carter: Okay. So, the motion is to deny. I MOVE THAT THE PLANNING COMMISSION DENY CP 86-C-121-15 AND RECOMMEND THAT THE BOARD OF SUPERVISORS CONSIDER THE REVIEW OF THE CONCEPT PLAN AS PART OF THEIR REVIEW OF THE PRC PLAN. I MOVE THAT THE PLANNING COMMISSION RECOMMEND TO THE BOARD OF SUPERVISORS TO DENY PRC 86-C-121-06.

Commissioner Migliaccio: Second.

Chairman Murphy: Seconded by Mr. Migliaccio. Is there a discussion of the motion?

Commissioner Sargeant: Mr. Chairman?

Chairman Murphy: Mr. Sargeant.

Commissioner Sargeant: One concern here and I think this – this borders on the legal question and I don't think we've seen any legal input from County Attorney's Office, which might be clarifying. I'm wondering if that would be a ...

Commissioner Carter: I – I think we do have some...

William Mayland, Zoning Evaluation Division, Department of Planning and Zoning: May I ask what the legal question you have?

Commissioner Sargeant: I think it's the – the interpretation of – of – of Part 5 density issues related to who was there first so to speak and whether the – the applicant might have another – we're hearing different interpretations of that and I appreciate that position here. I just think it might be helpful if we heard from the County Attorney or have we?

Mr. Mayland: So, the – the applicant was suggested on numerous occasions throughout this application and before the application was accepted to consider to file an interpretation request unrelated – related to density, they chose not to do that. During the review of the application before the staff report was published, I did discuss this staff report and these questions directly with the Zoning Administrator and with the Office of the County Attorney. The Zoning Administrator has interpreted density question regards related to WDUs. The provision in Reston for WDUs is different than non-other P-Districts. PRC calculates differently. And a PDC or PRM District bonus units related to provision WDUs are excluded. It's always the bonus units never the WDU. In Reston, it's only proffered bonus units are excluded. So, if you do not have proffers, you're not excluded from the provision of the density calculations. So, it's very clear what is included in Reston. It's only the provision – it's only proffered of affordable units and the bonus units associate those WDUs that would be excluded.

Commissioner Sargeant: Okay. Thank you.

Chairman Murphy: Further discussion of the motion? All those – yeah, Ms. Hurley.

Commissioner Hurley: I think I followed what staff just explained. Maybe it's just I'm too tired or it's too late or something. I thought I knew what was going on until I listened to Mr. McGranahan. So, at this point, I'm going to have to abstain because I'm kind of confused still on this legal thing.

Chairman Murphy: Further discussion? All those in favor of the motion to deny these applications as articulated by Mr. Carter, say aye.

Commissioners: Aye.

Chairman Murphy: Opposed? Motion carries.

Commissioner Hurley: I abstain.

Chairman Murphy: Ms. Hurley abstains.

The motion carried by a vote of 7-0-1. Commissioner Hurley abstained from the vote. Commissioners Clarke, Niedzielski-Eichner, Strandlie and Cortina were absent from the meeting.

SL

INFORMATION - 1

Fairfax County Transportation Status Report

The Fairfax County Department of Transportation (FCDOT) prepared its biannual report to the Board of Supervisors on transportation projects and activities within the county, called the “Fairfax County Transportation Status Report.” The report includes an update on all active projects, including those projects in the Third Four-Year Transportation Program for FY2013 through FY2016 and the Transportation Project Priorities (TPP) for funding for FY2015 through FY2020.

The Third Four-Year Transportation Program for FY2013 through FY2016, which was approved by the Board of Supervisors on July 10, 2012, was designed to enhance mobility, promote and increase safety, and create choices for the commuting public with multi-modal projects that added capacity, reduced congestion, connected missing sidewalk and bicycle links, and provided safe access to transit facilities.

On January 28, 2014, the Board approved the TPP for funding for FY2015 through FY2020. It is envisioned that the TPP will be revised periodically, resulting in a rolling funding plan for county transportation projects. However, due to actions of the Virginia General Assembly during the 2018 session, funding is not available to advance any additional projects at this time. It will also be updated to reflect actions of the Commonwealth Transportation Board, the Northern Virginia Transportation Authority, and other funding agencies.

The attached August 2019 Fairfax County Transportation Status Report includes a project status report with active projects from the previous Four-Year Programs, projects in the TPP, and projects in Fairfax County funded by other external sources. TPP projects for which project scoping and initial coordination has begun or is projected to begin in 2019 are included in the project status report.

This report includes project updates through August 6, 2019, and has been compiled by FCDOT staff in consultation with implementation partners, including the Department of Public Works and Environmental Services, the Metropolitan Washington Airports Authority, the Virginia Department of Transportation, and the Washington Metropolitan Area Transit Authority. Major milestones that have occurred since August 7, 2019, will be included in the next report.

Status reports are posted on the FCDOT website following the Board’s review, and project updates from the report will be added to the interactive web-based map on the

Board Agenda Item
October 15, 2019

FCDOT website that is available to the public. The web map graphically shows project locations and allows the user to click on a project and see basic information, including project name, scope, and status. The web map can be accessed at <http://fairfaxcountygis.maps.arcgis.com/apps/Viewer/index.html?appid=31d474851ec649398c5950fec5fde64b>. Finally, the project updates will be loaded into the transportation project layers in the county's GIS system, which will be available as a resource to county staff.

ENCLOSED DOCUMENTS:

Attachment 1: Fairfax County Transportation Status Report

STAFF:

Rachel Flynn, Deputy County Executive
Randy Bartlett, Director, Department of Public Works and Environmental Services
Tom Biesiadny, Director, Fairfax County Dept. of Transportation (FCDOT)
Ronald N. Kirkpatrick, Deputy Director, DPWES, Capital Facilities
W. Todd Minnix, Chief, Transportation Design Division, FCDOT
Eric M. Teitelman, Chief, Capital Projects and Operations Division, FCDOT
Michael J. Guarino, Chief, Capital Projects Section, FCDOT
Audra Bandy, Transportation Planner IV, Capital Projects Section, FCDOT
Smitha L. Chellappa, Transportation Planner III, Capital Projects Section, FCDOT
Negin Askarzadeh, Transportation Planner III, Capital Projects Section, FCDOT
Dan Stevens, Transportation Planner II, Capital Projects Section, FCDOT
Nathan Wilkinson, Engineering Technician III, Capital Projects Section, FCDOT

Fairfax County

Transportation Status Report



Prepared by:

Department of Transportation

Capital Projects and Traffic Engineering Division



August 2019

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Department of Transportation Summary of Activities and Highlights March 2019 through August 2019

Projects Completed and Under Construction

- **Completed Projects:** 27 projects were completed since February 2019, consisting of 25 bicycle and pedestrian projects and two roadway projects. These projects include 19 Transportation Priorities Plan (TPP) projects that were approved by the Board on January 28, 2014. To date, 71 TPP projects have been completed. In addition, 16 bus stop improvement projects were completed.
 - **Baron Road Walkway** from Dead Run Park Trailhead to Douglass Drive, TPP No. 94 (Dranesville)
 - **Chichester Lane Walkway** from Cherry Drive to Day Lilly Court, TPP No. 108 (Providence)
 - **Chichester Lane Walkway** from Lismore Lane to Fairhill Elementary School TPP No. 180.01 (Providence)
 - **Dolley Madison Boulevard Sidewalk** from Old Dominion Drive to Beverly Avenue TPP No. 348 (Dranesville)
 - **Dulles Toll Road/Centreville Road (HMSAMS)** pedestrian intersection improvements TPP No. 190.07 (Dranesville)
 - **Franconia Road/Westchester Street** pedestrian intersection improvements TPP No. 122 (Lee)
 - **Gallows Road/Prosperity Avenue** roadway intersection improvements TPP No. 664 (Providence)
 - **Georgetown Pike Walkway Phase III** from Falls Bridge Lane East to existing trail (Dranesville)
 - **Glade Drive Walkway** from Middle Creek Lane to Glade Bank Way, TPP No. 126 (Hunter Mill)
 - **Glen Forest Drive Walkway** from Leesburg Pike to Moray Lane TPP No. 128 (Mason)
 - **Gunston Cove Road Walkway** from Cranford Street to Amsterdam Street TPP No. 131 (Mount Vernon)
 - **Hooes Road/Newington Forest Avenue** pedestrian intersection improvements TPP No. 337 (Mount Vernon, Springfield)
 - **Idylwood Road Sidewalk** from Norwalk Street to Eastman Drive TPP No. 136 (Dranesville)
 - **Lakepointe Drive/Guinea Road** pedestrian and intersection improvements TPP No. 330 (Braddock)
 - **Medford Drive Walkway** from Annandale High School to Davian Drive TPP No. 151 (Mason)
 - **Route 1 Walkway (RHPTI)** from Sherwood Hall Lane to Kings Village Road TPP No. 188.09 (Mount Vernon)
 - **Route 1/Fordson Road (RHPTI)** pedestrian intersection improvements TPP 188.08 (Lee)
 - **Route 1/Lukens Lane Phase II (RHPTI)** pedestrian intersection improvements (Mount Vernon)
 - **Route 50 Walkway (RT50)** from Annandale Road to Cherry Street (Providence)
 - **Route 50 Walkway (RT50)** from Meadow Lane to Linden Lane (Providence)
 - **Route 50 Walkway (RT50)** from South Street to Aspen Lane (Mason)
 - **Route 50 Walkway (RT50)** from Westcott Street to Annandale Road (Providence)
 - **Route 50 Walkway (RT50)** from Woodlawn Avenue to Church (Mason)
 - **Route 50/Allen Street (RT50)** pedestrian intersection improvements (Mason, Providence)
 - **Sunset Hills Road Walkway** from Old Reston Avenue to Reston Parkway TPP No. 177, 189.02 (Hunter Mill)
 - **Sunset Hills Road/Discovery Street (RMAG)** pedestrian intersection improvements TPP No. 189.06 (Hunter Mill)
 - **Town Center Parkway (RMAG)** Underpass structure under Metrorail for future road extension, TPP No. 14 (Hunter Mill)
- **Projects in Construction:** 36 projects are currently under construction. This includes 16 TPP projects. In addition, 6 bus stop improvement projects have been authorized for or are under construction.
 - **Birch Street Sidewalk** from Grove Avenue to City of Falls Church (Dranesville)
 - **Center Road Walkway** from West Springfield High School to Garden Road TPP No. 100 (Springfield)
 - **Dolley Madison Boulevard Walkway** from Great Falls Street to McLean Metrorail Station (Dranesville, Providence)

- o **Dulles Rail Phase 2** from Wiehle-Reston East Metrorail Station to Ashburn Station (Route 772) in Loudoun County (Dranesville, Hunter Mill)
- o **Edsall Road Walkway** from Timber Forest Drive to Edsall Gardens Apartments TPP No. 113 (Mason)
- o **Georgetown Pike Walkway Phase IV** from Falls Bridge Lane to Seneca Plaza TPP No. 125 (Dranesville)
- o **Great Falls Street Walkway** from I-66 Bridge to North West Street TPP No. 202 (Dranesville)
- o **Herndon Metrorail Station Parking Garage** (Hunter Mill)
- o **Hunter Mill Road/Sunrise Valley Drive** pedestrian intersection improvements (Hunter Mill)
- o **Interstate 66 Inside the Beltway** eastbound widening from Route 7 to Fairfax Drive
- o **Interstate 66 Outside the Beltway** Express lanes from Haymarket to I-495, TPP No. 3
- o **Innovation Center Metrorail Station Parking Garage** parking structure and transit center (Dranesville)
- o **International Drive/Tysons Boulevard** pedestrian intersection improvements (Providence)
- o **Jones Branch Connector** from Route 123 to Jones Branch Drive (Providence)
- o **Kirby Road Walkway** from Birch Road to Ivy Hill Drive TPP No. 143 (Dranesville)
- o **Kirby Road Walkway** from Ivy Hill Drive to Corliss Court TPP No. 142 (Dranesville)
- o **Lee Chapel Road Walkway** from Britford Drive to Burke Lake Road TPP No. 144 (Springfield)
- o **Lorton Arts Access Road** from Workhouse Road into Lorton Arts complex (Mount Vernon)
- o **Old Mount Vernon Road Walkway** from Mount Vernon Highway to Westgate Drive TPP No. 191 (Mount Vernon)
- o **Pohick Road/Southrun Road** pedestrian intersection improvements TPP No. 336 (Mount Vernon)
- o **Route 1 Sidewalk** from Virginia Lodge to Huntington Avenue (Mount Vernon)
- o **Route 7 Widening** from Jarrett Valley Drive to Reston Avenue TPP No. 271 (Dranesville, Hunter Mill)
- o **Route 50 Sidewalk** from Cedar Hill Road to Allen Street (north side) (Providence)
- o **Route 50 Sidewalk** from Graham Road to Wayne Road (south side) (Mason)
- o **Route 123 Walkway** from Horse Shoe Drive to Niblick Drive TPP No. 103 (Providence)
- o **Route 123/Jermantown Road** roadway and pedestrian intersection improvements (Providence)
- o **Scotts Run Trail (TMSAMS)** Multi-purpose trail from Magarity Road to Colshire Meadow Drive (Providence)
- o **South Van Dorn Street Sidewalk** along west side of South Van Dorn Street south of Franconia Road TPP No. 353 (Lee)
- o **Stonecroft Boulevard Widening** from Conference Center Drive to Westfields Boulevard (Sully)
- o **Sunrise Valley Drive Walkway (DCBPA)** from Soapstone Drive to South Lakes Road south side (Hunter Mill)
- o **Sunrise Valley Drive Walkway (DCBPA)** from Soapstone Drive to South Lakes Drive north side (Hunter Mill)
- o **Sunrise Valley Drive Sidewalk (RMAG)** from Glade Drive to Reston Parkway south side (Hunter Mill)
- o **Sunrise Valley Drive/Reston Association Entrance (RMAG)** pedestrian intersection improvements TPP No. 189.17 (Hunter Mill)
- o **Sunset Hills Road/Town Center Parkway (RMAG)** pedestrian intersection improvements (Hunter Mill)
- o **Telegraph Road Walkway** from Rose Hill Drive to Pike Road TPP No. 180A (Lee)
- o **Telegraph Road Walkway** from Wilton Road to Farmington Drive TPP No. 180C (Lee)

Active Transportation Program

The Board directed FCDOT to lead the effort to improve active transportation safety and mobility, including constructing bicycle and pedestrian facilities in high-priority areas of Fairfax County. In 2006, the Board endorsed a Ten-Year Funding Goal of \$60 million for new bicycle and pedestrian projects. Through FY2020, the Board has greatly exceeded this goal by selecting \$314 million in high-priority bicycle and pedestrian improvement projects.

- **Pedestrian and Bicycle Access and Safety:** FCDOT staff advanced the Fairfax County Active Transportation Program by direct collaboration with other agencies such as the Virginia Department of Transportation

(VDOT), Hunter Mill Transportation Advisory Committee (TAC), and the Fairfax Alliance for Better Bicycling (FABB). Current projects include:

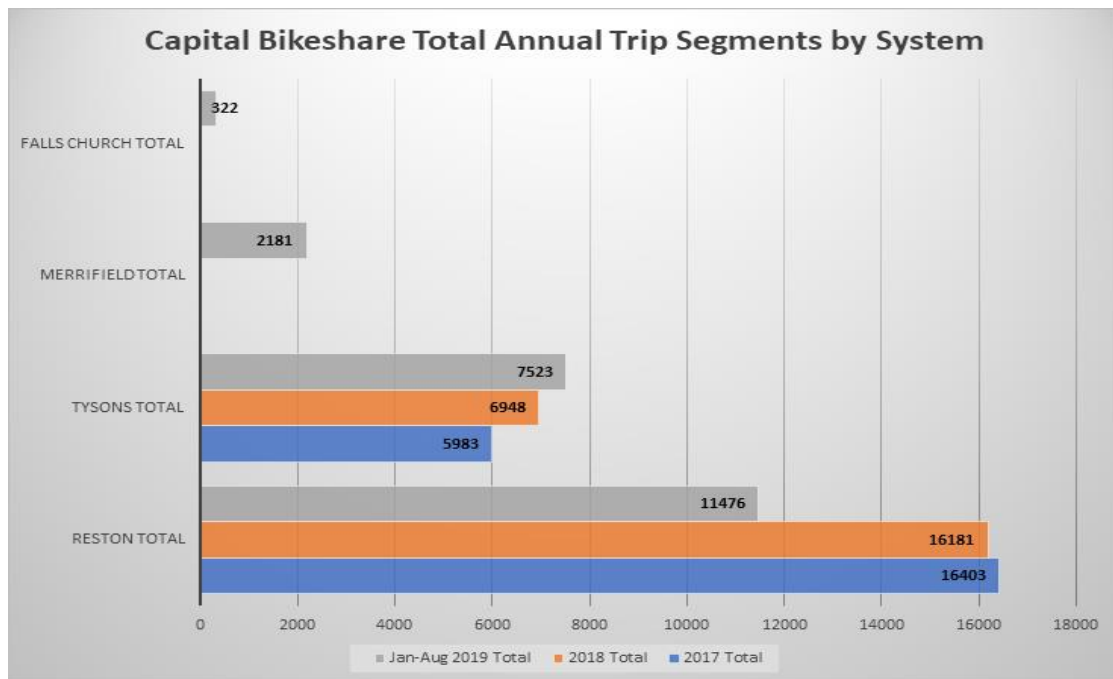
- o I-495 Tysons Pedestrian Bridge
- o Mount Vernon Memorial Highway Shared-Use Path
- o Transform I-66 Outside the Beltway Regional Shared-Use Path
- o Laurel Hill to Lorton Shared-Use Path Connector Study
- o VDOT Summer Paving and Restriping Program.

FCDOT received Federal Highway Safety Improvement Program funding through the VDOT Pedestrian Safety Action Plan for crosswalk improvement projects at the intersections of Columbia Pike at Lincolnia Road, South Lakes Drive at Tanbark (East), Frye Road north of Richmond Highway, and Franklin Farm Road at Old Dairy Road and at Thorngate Drive. FCDOT continues to work with developers through the rezoning process to provide improved pedestrian facilities on and adjacent to their property. FCDOT also received a Transportation Land-Use Connections grant from the Metropolitan Washington Council of Governments for a 30 percent design for a shared-use path connection from the City of Alexandria to the TAP funded shared-use path along South Van Dorn Street.

- **Safe Routes to School (SRTS):** FCDOT has collaborated with Fairfax County Public Schools (FCPS), providing funding to build sidewalks and shared-use paths needed to connect neighborhoods to schools. FCPS staff provides FCDOT active transportation facility requests that would allow more children to walk and bicycle to school. Projects are selected for funding based on FCPS priority and site-specific engineering. FCDOT currently has three SRTS-funded projects. Two of these projects reached substantial completion in January 2019 (Flint Hill Elementary School and New Graham Road Elementary School), and one is in the right-of-way phase (Westbriar Elementary School). A new project was also awarded at Wolf Trap Elementary School. The Board's adopted Transportation Priorities Plan for FY2015 – FY2020 provided additional funding for 23 school-walking-route sidewalk projects totaling \$22 million.
- **Trails, Sidewalks, and Bikeways Committee:** FCDOT provided staff support to the Trails, Sidewalks, and Bikeways Committee, previously known as the Trails and Sidewalks Committee, which meets monthly. The committee is composed of representatives from across the County, including representatives from Washington Area Bicycle Association, building industry, community associations, equestrian clubs, Disabilities Services Board, and the Fairfax County and Northern Virginia Regional Park Authorities. In December 2018, the committee amended their bylaws, which included adding "Bikeways" to their name and adding a representative from the Fairfax Alliance for Better Bicycling to their membership. The committee is the steward of the Fairfax County Comprehensive Plan and makes recommendations to the Board of Supervisors regarding pedestrian, bicycle, and equestrian issues in the County.
- **Yield to Pedestrians Fine Signs:** Fairfax County is one of the few jurisdictions in Virginia allowed to designate certain crosswalks for Yield to Pedestrians in Crosswalk \$100 - \$500 Violation Fine signs. As of December 2018, FCDOT has installed and maintains over 2,000 of these signs at over 500 intersections.
- **Education:** FCDOT staff worked with regional partners on the Street Smart Pedestrian and Bicycle Safety Media Campaigns. The twice-yearly campaigns utilized major-market television and radio, print, and bus advertising to promote safety awareness responsibilities of drivers and pedestrians in both English and Spanish. The most recent campaign concluded in April 2019 and included a kick-off event hosted in Fairfax County. FCDOT staff also developed a guide on how to safely navigate a road with bicycle infrastructure, and graphics for a countywide public service announcement on how to share the road safely with bicycles and pedestrians. Web sites associated with these campaigns include www.bestreetsmart.net and www.fairfaxcounty.gov/transportation/bike/safety. FCDOT staff attended multiple community events to provide bicycle and pedestrian safety information to the general public.
- **Enforcement:** FCDOT staff worked with the Fairfax County Police Department (FCPD) which conducted pedestrian safety enforcement in high pedestrian crash areas countywide. The FCPD conducts pedestrian enforcement and public awareness through all district stations as part of annual traffic enforcement plans. The most recent campaign was conducted in April 2019.

- **Increase and Enhance Bicycle Parking:** FCDOT is working with developers through the rezoning process to ensure adequate bicycle parking is provided on their properties.
- **Secure Bicycle Parking Facilities:** The design of “Bike-and-Ride” facilities at Phase II Silver Line Stations and at the Springfield Community Business Center Commuter Parking Garage is complete. The Herndon Metrorail Station secure bike room is currently under construction and is planned to be open late 2019. The secure bike-and-ride at the Wiehle-Reston East Metrorail Station continues to be heavily used (with 98 active members) and the County operates an additional bike-and-ride at the Stringfellow Road Park-and-Ride Lot. The bikeroom at the Innovation Center Station is also under construction.
- **Bicycle Route and Safety Signage-Countywide:** Bicycle wayfinding was completed for the Fairfax County Parkway Trail. FCDOT is continuing to expand bicycle wayfinding in the County with projects guiding bicyclists along the “Historic Fairfax Cycle Tour – Sully District” loop, and between Tysons and the surrounding neighborhoods. FCDOT installed eight Bikes May Use Full Lane signage in the Clifton area, as recommended in the County’s Bicycle Master Plan. FCDOT staff are working on wayfinding signage to the Backlick North Park-and-Ride, the Gambrill Road Park-and-Ride and the Saratoga Park-and-Ride lots.
- **Historic Fairfax Cycle Tour – Sully District:** The Wayfinding Signage Plan is complete and sign design has been finalized. The brochures are printed and review of the wayfinding design is underway. The brochures are available at the Sully District Governmental Center and FCDOT, and the route is promoted on the bike map.
- **Fairfax County Capital Bikeshare:** Capital Bikeshare launched in Reston and Tysons on October 21, 2016 (see the chart below for ridership data). There are currently 16 stations in Reston and 14 stations in Tysons. Additionally, staff is finalizing the locations of Phase II of Reston Bikeshare which will add 20 more stations to Reston. The majority of the Phase II stations are located outside the Reston transit areas. It is expected that these 20 stations will be installed in fall 2020. FCDOT received a Commuter Choice grant for ten new stations in the Merrifield and Vienna Metrorail area, and is actively working on finalizing station locations for the Providence District Transportation Alternatives Program grant that will add up to 18 new stations to the Fairfax County system in 2020. The Merrifield area system launched with three stations in spring 2019. FCDOT added a station at the West Falls Church Metrorail Station in May 2019 coinciding with the launch of the City of Falls Church’s Capital Bikeshare system. Fairfax County also completed a Bikeshare feasibility study of the Route 123 corridor between Route 7 and Burke Lake Park in partnership with the City of Fairfax, the Town of Vienna, and George Mason University.

- **Total Number of Bikeshare Trip Segments by Year and System**



- **Approval of Regional Bike To Work Day 2019:** On March 20, 2019, the TPB approved the Regional Bike To Work Day Proclamation for Friday, May 17, 2019. The proclamation is an effort to increase public awareness of the viability of bicycle commuting in the Washington region. The events planned at 115 locations in the region will encourage the business community and other regional decision makers to support increased bicycle commuting through bicycle-friendly policies and initiatives.
- **Bike to Work Day:** In 2019, Fairfax County added two new pit stops for the 2019 Bike to Work Day, serving residents in Centreville and Bailey's Crossroads. FCPA hosted pit stops at all Fairfax County RECenters, adding eight additional stations in previously underserved areas, including Franconia, Alexandria, Oakton, and South Run. Also new in 2019 was a virtual pit stop option, which allowed Fairfax County residents to participate in Bike to Work Day any day in May, without the need to stop by a pit stop.
- **VDOT Repaving Program:** FCDOT and VDOT partnered in a successful 2019 repaving program which will add nine miles of on-road bike facilities, seven newly marked crosswalks and numerous improved crosswalks as well as signage to facilitate these pavement-marking improvements. In total, about 100 miles of on-road bike facilities have been installed as part of this program.

Capital Projects and Traffic Engineering Division

The Capital Projects and Traffic Engineering Division (CPTED) consists of the Capital Projects Section (CPS) and the Traffic Engineering Section (TES). CPS is responsible for scoping new multi-modal transportation projects, managing preliminary engineering plans and studies, and coordinating projects with VDOT, FHWA, WMATA, DPWES, the Board, and the general public. TES is responsible for managing traffic issues related to signs, signals, parking, traffic calming, and other residential traffic issues. TES partners with VDOT, the Board, homeowners associations, and citizen groups to resolve issues and implement projects.

Capital Projects Section

- **Project Scoping**
 - On January 28, 2014, the Board adopted a list of approximately 220 transportation projects as part of the TPP for FY2015 – FY2020. Capital Projects staff is responsible for scoping these projects and managing many of the associated studies and preliminary designs. CPS holds periodic Initial Project Review meetings at which stakeholders such as VDOT, FCPS, Fairfax County Park Authority (FCPA), and others, identify project issues and help to determine project scopes.
 - To date, CPS staff have completed 162 scoping packages, and work continues on the remaining project scopes.
- **Studies and Preliminary Plans:** CPS staff are working on the following major studies:
 - **Route 123 Modified Intersection Treatment Inside the Beltway (segment between I-495 and Anderson Road):** The optimum roadway configuration along Route 123 between I-495 and Anderson Road has initially been determined. The roadway reconfiguration is anticipated to improve safety and operations by requiring cross-road through and left turn movements to turn right onto the main roadway and then make a U-turn maneuver at the directional crossovers. The modified intersection configuration is anticipated to improve progression along the main roadways in both directions. Preliminary design plans (30 percent level) were developed and traffic analysis for the mid-term condition has been completed. This concept along with other improvement concepts are being evaluated with detailed traffic analyses of the long-term conditions that are based on land use that was adopted in fall 2016. Existing conditions analysis is complete. Various improvement concepts have been proposed and evaluated through a high-level screening process. Initial detailed traffic operations analysis on the future baseline is complete. Reviewing the future conditions model to determine if the assumed additional roadway links and trip reductions from Transportation Demand Management (TDM) strategies are compatible with the assumed future land use. Once this review is complete, the travel forecasts will be updated and used for the more advanced traffic analyses. Ultimately, the study will develop a final preferred alternative that will result in a phasing plan and updated design plans. This study is expected to be completed by summer 2020.
 - **Route 123 Modified Intersection Treatment Outside the Beltway (segment between International Drive and I-495):** The proposed improvement concepts for the Route 123 segment outside the Beltway are being evaluated with detailed traffic analyses of the long-term conditions based on land use that was adopted in fall 2016. Existing conditions analysis is complete. Various improvement concepts have been proposed and evaluated through a high-level screening process. Initial detailed traffic operations analysis on the future baseline is complete. Reviewing the future conditions model to determine if the assumed additional roadway links and trip reductions from TDM strategies are compatible with the assumed future land use. Once this review is complete, the travel forecasts will be updated and used for the more advanced traffic analyses. Ultimately, the study will develop a final preferred alternative that will result in a phasing plan and updated design plans. This study is expected to be completed by summer 2020.
 - CPS staff are also working on the following major studies and projects that are detailed in the Project Status Report section below:
 - **Fairfax County Parkway at Sunrise Valley Drive Intersection Improvements Study**
 - **Lewinsville Road/Spring Hill Road Study**
 - **Lincoln Street Feasibility Study and Preliminary Design**
 - **Monroe Street Connector Study**
 - **Rock Hill Road Bridge Feasibility Study and Preliminary Design**
 - **Richmond Highway Bus Rapid Transit (BRT) Design**
 - **Route 7 Widening from Route 123 to I-495 (Tysons) Study**
 - **Route 7 Widening from I-66 to I-495 Study**
 - **Route 7/Route 123 Interchange Study**
 - **Soapstone Drive Overpass Preliminary Design**

Traffic Engineering Section

- **Signage, Community Parking District (CPD) and Residential Permit Parking District (RPPD) Programs, and General Parking**

The list below includes activities reported over the last six months.

- o The RPPD team assisted approximately 182 lobby walk-in customers, corresponded through approximately 517 emails, and returned over 224 Information Line phone calls since February 2019.
 - o The RPPD team issued approximately 4,849 new or renewing permits and 1,816 visitor passes this past six month period.
 - o The RPPD team received 18 inquiries, conducted no parking studies, issued two petitions, and held three public hearings during the past six months.
 - o The CPD team received eight inquiries, issued two petitions, and held three public hearings in the past six months.
 - o Staff performed reviews for four parking restriction requests and inquiries, and held one public hearing in the past six months.
 - o More than 170 signs were installed, repaired, or replaced.
- **Tysons Urban Center/Reston TSA Parking Management:** In December 2018, Traffic Engineering staff presented information to the Board Transportation Committee about parking management on grid streets in Tysons Urban Center and Reston Transit Station Areas (TSA). Staff recommended a consultant be hired to perform a parking study of the subject areas, and recommend a parking management plan to achieve certain goals. The Comprehensive Plan for both subject areas envisions managed parking on new grid streets. Staff intends to fulfill the vision of the Comprehensive Plan, and to implement parking management strategies that prevent long-term parking and over-parking of streets close to transit stations. This study was funded in June 2019, and staff are currently working with the selected consultant to develop a final cost proposal.
- **Residential Traffic Administration Program (RTAP)**
 - o One study was initiated for cut-through restrictions.
 - o One cut-through project was submitted to the Board of Supervisors to endorse a resolution to VDOT requesting installation of a time of day turn restriction.
 - o FCDOT and VDOT held a joint public hearing for a cut-through restriction project.
 - o 42 traffic calming studies were initiated.
 - o Eight traffic calming projects were approved by the Board of Supervisors for installation.
 - o Six traffic calming projects were installed.
 - o Six "\$200 Fine for Speeding" sign requests were received with sign installation pending.
 - o Four "\$200 Fine for Speeding" sign requests were sent to VDOT requesting installation.
 - o Two "Watch for Children" sign requests were received and processed.
 - **Traffic Engineering**
 - o Completed analysis and public outreach for two traffic engineering intersection/corridor studies:
 - Cedar Lane/Electric Avenue intersection analysis
 - Guinea Road/Little River Turnpike intersection analysis and cut-through project outreach
 - o Coordinated with VDOT on over 20 intersection locations where signals have been requested or are warranted. Continue working with VDOT staff on preliminary design and construction funding sources, as well as existing and upcoming proffer commitments, including coordination for time-sensitive signal proffers in Tysons, Reston, and Springfield.
 - o Reviewed and provided comments for nine ongoing traffic engineering intersection and corridor studies. Work is being performed by other sections and divisions within FCDOT and VDOT. TES staff serves as traffic liaison between study teams and County staff as appropriate.
 - o Reviewed, coordinated with other agencies as applicable, and responded to over 15 citizen inquiries regarding different traffic operational and safety improvements at various locations throughout the County.

- o Presented the Pole Mounted Speed Display Pilot Program framework to the Board Transportation Committee in March 2019. Discussions among FCDOT and the BOS are ongoing to determine how to best advance the Pilot.
- o With funding provided by the Board in September 2018, continued the County's "Slow Down" neighborhood speed signs. Signs were purchased and are available for distribution at BOS district offices.
- **Mobile Food Vending within VDOT rights-of-way:** Historically, all vending was prohibited within VDOT right-of-way. In 2015, the General Assembly passed HB 2042, legislation directing the Commonwealth Transportation Board (CTB) to amend its regulations to permit mobile food vending on state highway rights-of-way. The County worked with the Commonwealth and other stakeholders regarding the implementation of HB 2042. County staff developed modifications to Sections 82 of the County code along with associated rules and regulations to implement a pilot project in Tysons to allow for and regulate mobile food vending within the public right-of-way. At a public hearing in July 2016, the Board of Supervisors endorsed the proposed modifications and the implementation of the pilot program for mobile food vending within VDOT rights-of-way. Five streets in Tysons were initially included in the pilot program, but one street has been removed from the zone, due to utility construction. Staff evaluated additional locations in the County for possible implementation of mobile food vending zones. Two streets were identified that meet the requirements for new zones; one in the Mount Vernon District and one in the Dranesville District. The Board of Supervisors approved these new zones on February 5, 2019.

Communications, Marketing, and Fairfax County Commuter Services

FCDOT Marketing and Communications Section (MarCom), consists of the Marketing and Communications teams and the Fairfax County Commuter Services (FCCS). MarCom staff supports community engagement and public information activities for all Fairfax County transportation projects and planning efforts, Fairfax Connector passenger information, and outreach and program marketing for Fairfax Connector and FCCS. MarCom collaborates with other County agencies and state and regional partner organizations to broaden public outreach efforts and to connect with underserved populations, including people with limited English proficiency. The FCCS team promotes Transportation Demand Management (TDM) strategies to help reduce or mitigate traffic congestion in Fairfax County. The FCCS partners with major employers, developers, and multi-family residential complexes to encourage alternative commute options. Close to half a million employees in Fairfax County have been given the opportunity to participate in some form of TDM measure. From April 2019 to July 2019, the FCCS team has engaged 1,507 Fairfax County employers through various ways of outreach ranging from one-on-one consultations to email blasts. Throughout the fiscal year, employer sites and program levels may increase or decrease, due to company closures, relocations, or mergers. Below are some highlights of FCDOT's recent communications, marketing, outreach, and public engagement efforts:

- **Celebrating Milestones:**
 - o In April 2019, Fairfax County officials and community members celebrated the launch of new Fairfax Connector service creating new connections and completing missing links in Tysons, Vienna and Mosaic District (Route 467) and in the Franconia-Springfield and Mount Vernon areas (Route 308).
 - o On April 16, 2019, Fairfax County officials recognized the completion of the 0.4-mile Vesper Trail which improves multimodal access to Western Tysons by providing a major transportation connection for pedestrians and cyclists between neighborhoods and commercial areas, including businesses, stores, restaurants and Metrorail Silver Line stations.
 - o On June 13, 2019, Fairfax County, state and local partners broke ground on almost seven miles of transportation improvements coming to Leesburg Pike (Route 7) that will increase capacity, improve safety and traffic flow, and provide better mobility for cyclists, pedestrians, and transit riders. The project includes adding a third lane to Route 7 in each direction from Reston Avenue to Jarrett Valley Drive in Tysons, building shared-use paths along both sides, replacing and raising the bridge over Difficult Run, adding a pedestrian underpass for Colvin Run Mill Park access, as well as making other

- substantial intersection, bicycle and pedestrian improvements along the corridor and upgrading bus stops.
- o On June 21, 2019, Fairfax County officials and community partners celebrated the launch of Capital Bikeshare in Merrifield via an online live stream event. The locations of the three new stations include Dunn Loring Metrorail Station; the intersection of Merrilee Drive and Lauren Elizabeth Lane; and the Mosaic District at Merrifield Cinema Drive and Merrifield Town Center. Capital Bikeshare in Merrifield is a public-private partnership between Mill Creek, Bozzuto Management Company, Edens and FCDOT.
 - **Expanding Community Outreach and Engagement:** FCDOT continues to evaluate and utilize various outreach and engagement methods to better solicit feedback from communities and offer multiple options for providing input. FCDOT continues to utilize online platforms to engage larger number of audiences including live stream events, surveys and pre-scheduled chats. These platforms have increased resident engagement from dozens at traditional public meetings to thousands of engagements online. FCDOT's partnership with the County's Department of Neighborhood and Community Services (NCS) has continued, providing a crucial link to reaching hard to reach populations beyond the digital, language, and socio-economic divides. This partnership has proven very effective, reaching people where they are through direct-to-community contacts and engagement with grass-roots level community leaders; establishing pop-up events in the community; and instituting community stakeholder advisory groups for various outreach efforts. Many of the people reached through these methods would not have participated in traditional outreach efforts. Some examples of recent efforts through this partnership include Fairfax Connector Route Optimization efforts in the Reston-Herndon and Franconia-Springfield areas that included extensive online, in-the-community and stakeholder engagement through non-traditional ways, including:
 - o Community meetings during the weekends with childcare and transportation assistance available to participants.
 - o Pop-up events at high foot traffic locations in underserved areas.
 - o Engagement of a wide variety of community organizations ranging from human services to business organizations.
 - **Transform I-66 Major Corridor TMP Efforts:** FCDOT staff continued to work with VDOT and other partner agencies to coordinate regional messaging and amplify cross-jurisdiction outreach efforts to inform residents of the various alternate travel options to alleviate traffic congestion due to the ongoing construction activities along I-66 inside and outside the Capital Beltway. These efforts included: Continued marketing efforts of the Fairfax Connector express route (699) from the Government Center to downtown Washington, D.C., and Fairfax Connector express route (698) from the Vienna Metrorail Station to the Pentagon.
 - o Continued marketing of park-and-ride facilities along the I-66 corridor to encourage ridesharing. The integrated outreach and marketing campaign involved
 - o Direct-to-customer outreach (employers, passengers, and the public).
 - o Traditional, digital, and social media engagement, and videos, radio advertisements, and bus advertising.
 FCDOT also continues to partner with VDOT to market half-price bus fares, vanpool incentives and telework programs for employers. As part of these efforts, travelers and commuters along I-66 continue to be able to ride select Fairfax Connector bus routes serving the Vienna Metrorail Station for \$1. The ongoing integrated outreach and marketing campaign to promote this 50 percent fare buy down involves:
 - o Direct-to-customer outreach (employers, passengers, and the public).
 - o Traditional, digital, and social media advertising and engagement; and videos and bus advertising.
 The quantifiable reach of the marketing efforts combined for the past three months was approximately five million impressions.
 - **Metrorail Silver Line Phase II:** Throughout spring and summer 2019, construction project activities at the future Herndon Station site continued to require temporary bus stop relocations and partial bus loop and commuter garage closures for extended periods of time. The new commuter garage at the Herndon Station site also partially opened to the public in spring 2019. Significant coordination efforts were extended to inform commuters and transit users of the alternate locations and a multi-platform approach was tailored to

reduce the level of impact of each construction phase. Some of the strategies used to inform affected stakeholders included on-site signage and ambassador outreach at the locations affected; on-board, online, email, and Short Message Service (SMS) advisories; traditional and social media engagement; and radio advertising.

- **Metrorail Platform Reconstruction Project:** On Memorial Day weekend 2019, the Washington Metropolitan Transit Authority (WMATA) closed six Metrorail Blue and Yellow line stations south of Ronald Reagan Washington National Airport (Braddock Road, King Street, Eisenhower Avenue, Huntington, Van Dorn Street, and Franconia-Springfield) for full platform reconstruction and major station improvements lasting until September 8, 2019. FCDOT and regional partners worked together to mitigate the impacts of these reconstruction efforts and extensive outreach efforts were implemented prior to the start of the shutdowns including:
 - o A large cross-jurisdiction press conference on May 22, 2019.
 - o Multiple pop-up events at impacted Metrorail stations.
 - o Individual and public meetings with community organizations.
 - o Cross-promotion of travel alternatives through partners agencies, including Visit Fairfax, large Fairfax County employers, residential communities, and community organizations.
 - o An extensive in- and out-of-home advertising campaign was launched in April 2019 that included radio ads, geo-targeted social media ads, movie theater ads, and bus and bus shelter ads.

These advertising and outreach efforts are ongoing for the duration of the station shutdowns. The key travel alternatives being promoted include:

- o Ridesharing, telework, and alternative transit options such as VRE and Fairfax Connector enhanced express service from Springfield to the Pentagon on Routes 393 (Saratoga Park and ride – Pentagon – Mark Center) and 394 (Saratoga Park and Ride to Pentagon).
- o Free parking is available at the Huntington, Van Dorn and Franconia-Springfield Metrorail Stations, providing opportunities for catching an express bus, a VRE train, a carpool/vanpool, or to form a slug line.

FCDOT also launched a direct-to-commuter pilot of its Benefits Plus50 transit incentive program geared toward impacted travelers in Fairfax County. Since May 2019, a total of 127 SmarTrip cards have been distributed through this program.

- **Fairfax Connector Marketing:** In the spring and summer 2019, FCDOT has promoted the launch of Fairfax Connector Route 467 (NEW service between Dunn Loring to Tysons connecting the Town of Vienna to both) and Route 308 (NEW service connecting Mt. Vernon Hospital and Franconia-Springfield Metro Station). These marketing efforts have included partnering with the community and organizations that benefit from this new service; on-and off-line advertising; as well as community events. On May 14, 2019, FCCS also updated the Board Transportation Committee on the Free Student Bus Pass Program and the Justice High School Metrobus Pilot marketing and program management efforts (see ridership information in the Fairfax Connector section of this report); renewed Memorandum of Understanding (MOU) with the Washington Metropolitan Area Transit Authority (WMATA) to continue the Metrobus pilot for another year; and is currently negotiating a Memorandum of Agreement (MOA) with Fairfax County Public Schools (FCPS). FCDOT plans to attend FCPS pyramid events in August 2019 at Lee High School, Mount Vernon High School and South Lakes High School to promote the Free Student Bus Pass Program.
- **Community Events:** FCDOT participated in several community events to promote to promote bus access, trip planning, free student bus pass program, Capital Bikeshare, Fairfax County Commuter Services (FCCS) programs, and more. The major events attended include Springfest (April 2019), Herndon Festival (June 2019) and Celebrate Fairfax (June 2019). At this year's Celebrate Fairfax, FCDOT coordinated a "Transportation Station" tent that included representation from regional partners such as NCS, NVTC, NVTA, VDOT Mega Projects, WMATA and various FCDOT programs and services. In May 2019, FCDOT also participated in and heavily promoted the regional Bike to Work Day with the addition of a new, virtual pit-stop for Fairfax County. This event was promoted through community outreach and advertising efforts that

included radio; movie theater; online; and bus shelter and bus advertising. On June 20, 2019, FCDOT promoted the national Dump the Pump Day via a social media campaign.

- **TDM Employer Outreach:** FCCS has implemented TDM programs at 771 Fairfax County employer sites, an increase of nearly 31 percent from July 2018, with 346 Fairfax County employers implementing a Level 3 or 4 program and 425 employers implementing a Level 1 or 2 program. Level 1 and 2 programs may include commuter surveys, distributing transit information, implementing alternative work schedules, or hosting an on-site transportation fair. Level 3 and 4 programs may include shuttles to and from transit stations, implementing formal policy-driven telework programs, offering transit subsidies, providing free or premium parking to carpools and vanpools, or implementing a comprehensive bicycle and walking program.
- **Commuter Friendly Communities:** As of July 2019, FCCS's "Commuter Friendly Community Program" has either identified or implemented trip reduction TDM programs at 285 Fairfax County residential communities, an increase of nearly five percent from July 2018. Of those 285 communities, 45 residential communities have been awarded designations of Bronze, Silver, Gold, or Platinum.
- **SmartBenefits Plus50:** When the Silver Line was launched in July 2014, FCCS developed a new incentive program to encourage employees to ride transit (bus and rail) and to encourage employers to offer transit benefits to employees. The County's SmartBenefits Plus50 program provides a \$50 SmartTrip card to an employee, if the employer enrolls in WMATA's SmartBenefits program. Once the \$50 is expended, the employer is encouraged to continue offering a transit subsidy to employees. FCCS has partnered with WMATA's program staff in making presentations to several large groups of employers in the Dulles Corridor. Since the program's inception in summer 2014, 35 different employers have taken advantage of this program and are new transit riders and program members. From the feedback received, an average of 50 to 53 percent retention rate of participants staying in the SmartBenefits program after taking advantage of the \$50 incentive has been observed. Activities conducted over the past six months mostly involved program maintenance efforts due to staff vacancies, but new SmartTrip cards have also been distributed to participating employers. In FY2019, 247 new cards were distributed which is an increase of over 20 percent from FY2018. Since the inception of the program, a total of 1,292 commuters have utilized the incentive and have incorporated transit as part of their commute for the first time.
- **Fairfax County Commuter Benefit and Telework Programs:** 202 County employees currently are taking advantage of the Fairfax County Employees' Commuter Benefit Program which is a decrease of approximately 5 percent from FY2018. Of that group, there are currently 16 vanpools with 119 riders. Eligible employees may register for the program and request to receive up to \$120 per month in transit benefits that can be used for bus, carpool, vanpool, and Metrorail fares. In addition, the Fairfax County Government telework program currently has 1,882 employee participants, representing an early 2 percent increase from FY2018. Telework is one of the primary transportation options that FCCS promotes in its outreach to Fairfax County employers, as its low-cost option (as opposed to providing rail fare, for example), and employee interest makes it a popular program to implement.

Coordination and Funding Division

The Coordination and Funding Division handles coordination and liaison responsibilities between the department, regional agencies, local jurisdictions, and state and federal agencies, and seeks funding from all levels of government for the implementation of transportation projects and services.

- **Commonwealth Transportation Board (CTB)**
 - o On July 10, 2018, the Board of Supervisors authorized the submission of SMART SCALE applications for the following projects for up to the amounts listed (applications were submitted on August 8, 2018):
 - Richmond Highway Widening (Napper Road to Mount Vernon Highway) - \$90 million.

- Fairfax County Parkway Widening (Route 29 to Route 123) - \$60 million.
 - Soapstone Drive Extension/Dulles Toll Road Overpass - \$50 million.
 - Richmond Highway Bus Rapid Transit (BRT) (Huntington Metrorail Station to Fort Belvoir) - \$50 million.
 - Frontier Drive Extension - \$85 million.
 - Braddock Road Improvements Phase I (Wakefield Chapel Road to Ravensworth Road) - \$70 million.
 - Braddock Road Improvements Phase II (Guinea Road to Wakefield Chapel Road) - \$70 million.
 - Davis Drive Extension/ Dulles Toll Road Overpass - \$30 million.
 - Seven Corners Ring Road (Phase 1A/Segment 1A) - \$75 million.
 - Route 28 Northbound Widening (McLearen Road to Route 50) - \$20 million.
- In January 2019, VDOT released SMART SCALE scores and proposed funding scenarios, including \$50 million in funding for the Richmond Highway BRT project. On June 18, 2019, the CTB approved the funding for the project.
- **Capital Improvement Program (CIP):** On March 13, 2019, CFD staff presented FCDOT's portion of the County Executive's Advertised FY2020 CIP to the Planning Commission for their review and comment and recommendations to the Board of Supervisors for the County's FY2020 Budget. Highlights for this CIP include:
 - On January 28, 2014, the Board of Supervisors approved \$1.4 billion of Transportation Priorities Plan projects for FY2015 – FY2020. This program will continue to fund transportation projects in the County which will provide for building and improving roads, sidewalks, bike lanes, and transit facilities.
 - In 2018, the Virginia General Assembly passed HB 1539/SB 856, also known as the Commuter Rail Operating and Capital (C-ROC) fund, which provides \$15 million annually for VRE that can be used for either operating or capital funds.
 - Fairfax County currently has two transportation service districts created to support the advancement of transportation improvements. These service districts are located in Reston and Tysons, and were created and approved by the Board of Supervisors on April 4, 2017, for Reston, and December 4, 2012, for Tysons. In FY2020, the Reston and Tysons transportation service districts are expected to generate approximately \$2 million and \$8.1 million in tax revenues, respectively.
 - The Monument Drive Commuter Parking Garage and Transit Center is a new parking garage with a minimum of 820 parking spaces, and will include a transit center of eight to twelve bus bays, a kiss-and-ride facility, one shuttle bus bay, bicycle storage, restroom facilities, and a Connector store. This project is currently in the design phase with construction anticipated to begin in fall 2021. The estimated total cost of this project is \$38.5 million to be funded with Transform 66 concession funds.
 - On May 7, 2019, the Board completed the final adoption of the FY2020 Budget including all the projects in FCDOT's CIP.
- **Coordination with Metropolitan Washington Council of Governments (COG) Transportation Planning Board (TPB), Metropolitan Washington Air Quality Committee (MWAQC), and COG Climate, Energy, and Environmental Policy Committee (CEECP)**
 - **FY2021-2026 Transportation Improvement Program (TIP) Update and Air Quality Conformity Analysis**
 - On May 3, 2019, the TPB solicited technical inputs for the constrained element and air quality conformity analysis of the Visualize 2045 Long-Range Transportation Plan as required for updates to the FY 2021-2026 TIP. The TPB updates the TIP every two years. When the TIP is updated, a conformity determination must be made. The TPB is currently updating the TIP, and this update offers the opportunity to make minor changes to projects in the constrained element of Visualize 2045, provided that the project is already accounted for in the financial plan or is sufficiently demonstrated to be available and committed.
 - Visualize 2045 is the federally required long-range transportation plan for the National Capital Region. The TPB approved Visualize 2045 on October 17, 2018. Visualize 2045 includes both a "Constrained Element" and an "Aspirational Element." The Constrained Element identifies the investments agencies expect to be able to afford between now and 2045, while the Aspirational Element identifies initiatives that the TPB has endorsed to address some of the biggest

transportation challenges that the region is expected to face in the coming decades, even if all currently funded projects and programs are built and implemented. The updated Constrained Element of Visualize 2045 will undergo a federally required analysis to ensure that it conforms to the region's air quality plans (this is known as Air Quality Conformity) and that sufficient financial resources will be available to implement the projects.

- The TIP is a federal obligation document which describes the planned schedule in the next six years for distributing federal, state and local funds for state and local transportation projects of regional significance. The TIP represents an agency's intent to construct or implement specific projects in the short term and identifies the anticipated flow of federal funds and matching state or local contributions. FCDOT staff began reviewing the projects in the Visualize 2045 Plan and for any new projects that could be added during this update. Staff also reviewed the October 17, 2018, TPB approved FY2019-2024 TIP. The review was completed May 31, 2019, and submitted to TPB staff.
- During their June meetings, the TPB Technical Committee, the TPB, and the Metropolitan Washington Air Quality Committee Technical Advisory Committee (MWAQC TAC) were briefed on the draft project inputs and draft air quality conformity Scope of Work for the TIP and Plan updates. On July 24, 2019, the TPB approved the inputs and draft Scope of Work. The next actions for FCDOT staff will be financial updates for the FY2021-2024 TIP, due in December 2019.
- o **Federal Certification Review:** On June 4, 2019, the TPB was notified that the Federal Highway Administration (FHWA) and the Federal Transit Administration (FTA) jointly certified the planning process for the Metropolitan Washington Council of Governments National Capital Transportation Planning Board (MWCOTG/TPB) Transportation Management Area (TMA) and Fredericksburg Area Metropolitan Planning Organization (FAMPO). This certification is based on the findings from the Federal Certification Review conducted on April 10 and 11, 2019. The overall conclusion of the certification review was that the planning process for the Washington, District of Columbia TMA complies with the spirit and intent of Federal metropolitan transportation planning laws and regulations under 23 U.S.C. 134 and 49 U.S.C. 5303. The planning process at MWCOTG/TPB is a continuing, cooperative, and comprehensive process and reflects a significant professional commitment to deliver quality in transportation planning.
- o **Approval of the FY2020 Commuter Connections Work Program (CCWP):** On March 20, 2019, the TPB approved the FY2020 CCWP for the National Capital Region. The CCWP consists of a core program of regional transportation demand management operational activities funded jointly by state and local jurisdictions, plus jurisdictional programs that are conducted at the discretion of individual state funding agencies. The TPB is required by federal regulations to approve a congestion management process which includes travel demand management as part of the metropolitan transportation plan, and Commuter Connections constitutes the major demand management component of the congestion management process approved by the TPB. Commuter Connections also supports regional air quality goals. Some of the major elements of the CCWP for the region and assisting local jurisdictions, including Fairfax County, include: the Commuter Operations Center which provides ridematching coordination; the Regional Guaranteed Ride Home Program; marketing, which includes such elements as Bike To Work Day, Car Free Day, incenTrip Mobile Application, Flextime Rewards and Pool Rewards; and Employer Outreach for DC, Maryland, and Virginia Program Administration.
- o **Approval of FY2020 Transportation Land-Use Connections (TLC) Program Technical Assistance Recipients:** On May 9, 2019, the TPB approved the recipients to receive FY2020 funding for technical assistance under the TLC Program. The TPB's Transportation Land-Use Connections (TLC) Program has provided support to local jurisdictions as they deal with the challenges of integrating land-use and transportation planning at the community level since 2006. Applications for the FY2020 TLC round of technical assistance were due on April 2. The Selection Panel for the FY2020 round of technical assistance under the Transportation Land-Use Connections (TLC) Program recommended 13 projects for funding in FY2020. Fairfax County was one of the recipients receiving \$70,000 for Bicycle/Pedestrian Spot Improvement Projects – Trail to the Van Dorn Metrorail Station. The County will receive technical assistance to complete 30 percent design and create cost estimates for a series of projects to improve the trail connections to the Van Dorn Metrorail Station. The work will include several spot projects (i.e. path widening and neighborhood connections), as identified in the County-

Wide Bicycle Master Plan. These improvements will improve access to high capacity transit, creating a more continuous and viable network of bicycle and pedestrian facilities, and support multimodal travel.

- **Washington Metropolitan Area Transit Authority (WMATA)**
 - **Funding and Reforms for WMATA:** With the \$500 million in dedicated capital funding in place, WMATA continues bringing the Metrorail system back to a “State of Good Repair”. In Virginia, WMATA shut down the Blue and Yellow lines during summer 2019 and rebuilt station platforms, replaced rail ties, replaced LED lights, and improved the sound systems in the stations.
 - **Northern Virginia Transportation Commission (NVTC):**
 - In June 2018, NVTC held a strategic retreat to address the changes and requirements for NVTC that are required as part of HB 1539/SB 856, including how to address the restriction on Alternate Members of the WMATA and underlying committee and staff structures. The changes include two Commission members being appointed to the WMATA Board of Directors, with one being a Principal Director and the other being an Alternate Director.
 - **Metro Capital Funding Agreement (CFA):** The Metro CIP includes funding for maintenance and safety, new rail cars, power upgrades for running eight car trains, and additional buses for operating Priority Corridor Networks. WMATA and the jurisdictions have approved four one-year extensions for FY2017, FY2018, FY2019, and FY2020 to the CFA. The WMATA Board will begin reviewing the FY2021 Budget this fall, and discussions will be taking place about whether the region should approve a new long-term agreement for FY2021 and beyond or just another extension of the current CFA to allow the purchase of new railcars and other capital projects to continue, as well as the sale of bonds, during FY2021.
- **Virginia Railway Express (VRE)**
 - On April 20, 2018, the VRE Operations Board approved authorization to issue an Invitation for Bids (IFB) for construction of the Rolling Road Station platform extension pending completion of the final design in summer 2019. The platform will be extended to accommodate longer trains, which allows for greater capacity on the trains and quicker boarding, decreasing dwell times at the station.
 - Design plans are currently under review for a second platform at the Lorton Station and final design (60 percent complete) is anticipated to be completed in summer 2019. Construction is anticipated to begin in spring 2020 and completed in summer 2021.
 - Two maintenance projects have commenced for two Fairfax County stations: an IFB for painting the Franconia-Springfield Station, scheduled to be completed summer 2019, and the development of an IFB for canopy and roof replacement at the Backlick Road Station.
 - Plans are underway to install a third track at the Franconia-Springfield Station as part of the Washington DC to Richmond (DC2RVA) segment of the Southeast High Speed Rail (SEHSR) project which is part of a larger nationwide higher speed intercity passenger rail plan identified by the United States Department of Transportation (USDOT), Virginia and North Carolina. The purpose of the project is to provide a competitive transportation choice in the corridor by increasing intercity passenger rail capacity and improving travel times. The improvements at Franconia-Springfield include extending both platforms at the station and widening the east platform for the future third track. Currently, design work is for the east platform only and is at five percent. The west platform improvements are unfunded.
 - More information about VRE capital improvements can be found in the VRE recommended annual budget for FY2020 that shows the six-year CIP for FY2020 – FY2025:
<https://www.vre.org/about/financial-information>
 - On May 3, 2019, TPB staff briefed the TPB Technical Committee on a new Market Assessment and Technical Feasibility for VRE-MARC Run Through Service Study. The study will assess the market potential for a one-seat commuter rail service between points in Maryland and Virginia and its potential to influence development and revitalization of suburban commercial centers. The scope of work was collaboratively developed with the TPB State Technical Working Group and staff representatives from Maryland Transit Authority Maryland Area Regional Commuter Train Service (MTA MARC) and the VRE. The study will look to complement Metrorail service and alleviate constraints on core Metrorail segments; alleviate pedestrian crowding at Union Station; identify the potential increase in demand associated with Amazon HQ2 in National Landing; and align with TPB’s Regional Transportation

Priorities Plan and Long Term Strategy 1 – More Capacity on the Existing Transit System. The completion of the study has not yet been determined.

- **Reston Transportation Infrastructure Funding**
 - On February 28, 2017, the Board of Supervisors approved the Reston Transportation Funding Plan. This 40-year plan includes nearly \$2.3 billion in transportation infrastructure improvements. Funding for this plan includes a Reston Transportation Service District, which was established by the Board of Supervisors on April 4, 2017. An advisory board provides the Board of Supervisors with recommendations on the transportation service district tax rate. The Board of Supervisors set the FY2020 rate at \$0.021/\$100 of assessed value, which is consistent with the Reston Transportation Funding Plan.
 - As of July 2019, \$328,497 has been collected by the County for the Reston Transportation Road Fund, and \$2.9 million has been collected for the Reston Transportation Service District.
 - Additional intersection improvement projects have been recommended for the list of funding plan improvements to address the concerns of Reston residents regarding the implementation of Reston transportation improvements. Funding for the Fairfax County Parkway/Sunrise Valley Drive interim intersection improvements was approved in September 2018. The total project cost estimate is approximately \$2 million and is estimated to be completed by FY2024. Another intersection improvement project, Reston Parkway at Baron Cameron Avenue, was proposed to the Reston Transportation Service District Advisory Board at the spring 2019 meeting. This project will be initiated at the end of FY2019 and has a total project cost estimate of \$2.5 million. The project will modify the intersection to include a second left turn lane on the westbound Baron Cameron Avenue approach. On June 4, 2019, the Board of Supervisors approved \$500,000 for the preliminary engineering and/or design of the intersection improvement at Reston Parkway and Baron Cameron Avenue.
- **Tysons Transportation Infrastructure Funding**
 - On January 8, 2013, the Board of Supervisors approved the Tysons Transportation Funding Plan. This 40-year plan included over \$3 billion in transportation infrastructure improvements. Funding for this plan comes from several sources including a Tysons Transportation Service District, and two road funds (proffer contribution reserves designated Tysons-wide, and Tysons Grid Road Funds). An advisory board provides the Board of Supervisors with recommendations on the service district tax rate. The Board of Supervisors set the FY2020 rate at \$0.05/\$100 of assessed value, which is consistent with the Tysons Transportation Funding Plan.
 - Total collections as of July 2019 include \$36.5 million in the Tysons Transportation Service District, \$12 million in the Tysons Grid Road Fund, and \$6.5 million in the Tysons-wide Road Fund.
- **Northern Virginia Transportation Authority (NVTA): Regional Long-Range Plan and HB 2313 Regional Funds**
 - On February 14, 2019, NVTA approved a list of proposed projects and funding amount for the FY2025 CMAQ and RSTP programs to be recommended to the Commonwealth Transportation Board (CTB) for adoption, including funding for projects requested by the County.
 - The CTB approved this recommendation on June 19, 2019, as a part of the Commonwealth's Six-Year Improvement Program. The County's projects are as follows:
 - Countywide Transit Stores: \$670,000
 - Fairfax County Parkway Improvements: \$1 million
 - Richmond Highway Bus Rapid Transit Project: \$13 million
 - Richmond Highway Widening (Mount Vernon Highway to Napper Road): \$10 million
 - Soapstone Drive Extension (Dulles Toll Road Overpass): \$5.6 million
 - On June 13, 2019, NVTA approved the Call for Regional Transportation Projects for the FY2024-2025 Program Update. The anticipated available funding for FY2024-25 is approximately \$400 million. The application deadline is September 27, 2019.

- **2019 Legislative Summary and Bill Implementation**

- o **Electric Scooters:** Electric scooter companies are currently operating in metropolitan areas around the Commonwealth and the Washington Metropolitan area. HB 2752 (Pillion) was passed to address the proliferation of these new vehicles. As passed, the bill authorizes localities to regulate the operation of companies providing motorized skateboards or scooters for cost will be able to operate as they see fit in all jurisdictions, absent any local regulation/action. County staff is working to put in place our ordinance by January 1, 2020 as provided by the Code. . The bill prohibits operating a motorized skateboard or scooter at a speed faster than 20 miles per hour. The bill makes consistent the operational requirements for motorized skateboards or scooters and similar devices (such as bicycles), including (a) allowing motorized skateboards and scooters to be driven on sidewalks, (b) requiring motorized skateboards and scooters driven on a roadway to be driven as close to the right curb as is safely practicable, (c) prohibiting the operation of motorized skateboards or scooters on any Interstate Highway System component, and (d) requiring operators of motorized skateboards and scooters to use hand signals and have lights. At the July 9, 2019, Board Transportation Committee, County staff provided an update on the legislation, including a staff proposal for an ordinance for the regulation of scooters. County staff received comments from the Board and will return to the Board Transportation Committee on October 22, 2019, in preparation for the Board to consider adoption of an ordinance before January 1, 2020.
 - o **Turn Restriction Permit Program:** HB 2033 (Murphy) was introduced to address commuter traffic on local roadways in Fairfax County. One method of addressing cut-through traffic allowed by VDOT is to prohibit turns from major streets into some residential subdivisions during morning or evening rush hours. The purpose of these turn restrictions are to reduce congestion and cut-through traffic on the residential secondary streets and to provide safer roadways for the residents that live along these roadways. However, these time of day turn restrictions apply to all vehicles including residents of the affected neighborhoods. HB 2033 allows Fairfax County to create a program that provides a sticker or some other appropriate item that police can readily see, to identify residents who live in the community. At the May 14, 2019, Board Transportation Committee meeting, County staff provided a presentation on the efforts to implement a program in accordance with the legislation. Staff is working on implementation of this permit program and will return to the Board Transportation Committee on December 10, 2019.
 - o **Parking Enforcement:** Currently, cities with a population of at least 40,000 are allowed to have uniformed personnel under contract issue a summons or parking ticket for a violation of the of the locality's parking ordinances. In counties and towns, the summons or ticket must be issued by law-enforcement officers or other uniformed employees of the locality. HB 1818 (Delaney) and SB 1044 (Black) allow counties and towns with a population over 40,000 to also contract out this service.
 - o **Utility Undergrounding:** SB 1759 (Surovell) sought to provide an avenue for utility undergrounding for certain transportation projects. Specifically, it creates a pilot program for Fairfax County to request an electric utility to place electric utility distribution lines underground for certain transportation projects in or near areas of transit-oriented development. Under the pilot, the County and the utility would enter into an agreement that provides that (i) the locality shall pay to the utility its full additional costs of relocating and converting that portion of the line located in the locality underground, rather than overhead, that are not recoverable under applicable rates; (ii) the locality shall impose an assessment on electric utility customers in the County for an amount sufficient to cover the utility's additional costs, which assessment shall be shown as a separate item on such customers' electric bills and shall be collected by the utility on behalf of the locality; and (iii) the utility shall convert, operate, and maintain the agreed portion of the underground line. At the June 18, 2019, Board Revitalization Committee, County staff provided a presentation the legislation and utility undergrounding issues on the Richmond Highway corridor and other areas of the County.
- **Northern Virginia Transportation Commission (NVTC):**
 - o **I-395 Commuter Choice Program:**
 - In March, NVTC issued a Request for Proposals (RFP) to provide technical support services for both the I-66 and I-395/95 Commuter Choice programs at a cost not to exceed \$940,000 for an initial period of four years beginning July 1, 2019, with the option to extend for two additional two-year

periods. The I-66 Commuter Choice Technical Support Services contract terminated on June 30, 2019. On June 6, NVTC authorized the executive director to execute the new contract to Kimley-Horn & Associates to provide technical support services to the Commuter Choice Program.

- In April 2019, The Commission adopted Resolution #2379, approving the I-395/95 Commuter Choice FY2020 Inaugural Program Project Selection Process and Technical Evaluation Criteria. The inaugural program priority is on implementing projects that were/are ready by Toll-Day 1, which is scheduled for late October. In addition, the Commission approved Resolution #2380 to authorize the I-395/95 Commuter Choice FY2020 Inaugural Program Call for Projects for inclusion into the Commonwealth's FY2020 Six-Year Improvement Program. During the application period, NVTC received 17 applications for \$31.3 million in funding. A total of \$22 million is available for this first round of funding. This amount reflects a 20-month program extending from Toll Day 1 on the I-395 express lanes, which is expected to occur in late October 2019 through June 30, 2021.
- The County submitted a multimodal project that splits Fairfax County Connector Route 395, which provides rush-hour express service between two Springfield park-and-ride lots and the Pentagon, into two separate routes. Funding for this project will create the new 396 express route with direct connections from the Backlick North Park and Ride lot to the Pentagon. The project supports additional service, the purchase of four buses, and installation of secure bicycle parking and wayfinding improvements at the lots.
- In July, NVTC authorized a public comment period to solicit feedback on the FY2020 list of eligible scored projects for the inaugural I-395/95 Commuter Choice program. The public comment period will run from August 4, 2019, to September 6, 2019, at 5:00 P.M. Members of the public were able to submit comments via email to comment@commuterchoice.org, through a web form at www.novatransit.org, or by phone at (703) 239-4719. NVTC is expected to act on this program in October 2019.

o **I-66 Commuter Choice Program:**

- In March 2019, NVTC authorized the executive director to issue a Request for Proposals (RFP) to provide technical support services for both the I-66 and I-395/95 Commuter Choice programs at a cost not to exceed \$940,000 for an initial period of four years beginning July 1, 2019, with the option to extend for two additional two-year periods. In June 2019, the Commission authorized the executive director to execute the four-year contract with Kimley-Horn & Associates to provide technical support services to the Commuter Choice program for an amount not to exceed \$939,799.31. The contract includes the option for two additional two-year extensions.
- In April, NVTC authorized a public comment period to solicit feedback on the FY2020 list of eligible scored projects. The public comment period ran from April 5, 2019, to May 15, 2019.
- Further NVTC hosted several outreach events and participated in a separate regional outreach event during the comment period.
- NVTC's outreach efforts were enhanced with the launching of a geo-targeted social media campaign, and by partnering with jurisdictional staff to attend local events to increase visibility and awareness of the public comment period. Two outreach events were held at Mary Ellen Henderson Middle School, 7130 Leesburg Pike, Falls Church, Virginia on April 23, 2019, and in the lobby of the Navy League Building, 2300 Wilson Blvd., Arlington, Virginia on May 2, 2019.
- On May 13, 2019, in a separate regional outreach event held at VDOT's Northern Virginia District Office, NVTC solicited public comment at the Northern Virginia joint transportation public meeting. NVTC received a total of 110 comments during this period, a majority (88%) of which were collected online, an indication that the targeted online outreach approach was an effective method of engagement.
- NVTC staff briefed the Commonwealth Transportation Board on projects being considered for funding under the FY2020 I-66 Commuter Choice program at their May 14, 2019, workshop.
- In June, NVTC approved the I-66 Commuter Choice FY2020 Program of Projects, which includes 13 projects totaling \$19,649,539. The County was awarded funding for two of the three projects that were submitted for funding.
 - Renewal of existing grant funds for the expansion of the Fairfax Connector Route 699 and adding three additional trips in the morning and evening peak hours: \$1,939,500.

- Express bus service operating from the Stringfellow Road Park-&-Ride Lot to the L'Enfant Plaza area in the District of Columbia: \$4,326,000
- The Program was submitted by NVTC to the Commonwealth Transportation Board (CTB) for adoption into the Commonwealth's FY2020 Six-Year Improvement Program (SYIP). On June 19, 2019, CTB approved NVTC's FY2020 I-66 Commuter Choice program of 13 projects, totaling \$19.6 million in toll revenues.
- On June 6, 2019, NVTC also executed a contract with Southeastern Institute of Research, Inc. to provide market research and communications services for the I-66 Commuter Choice program.
- The next call for projects for the I-66 Commuter Choice program will be officially announced in November. In August, NVTC staff briefed eligible Commuter Choice applicants and the Program Advisory Committee (PAC) on proposed program changes that include:
 - Changes to the technical evaluation process to account for the useful life of capital projects, as requested by the PAC earlier this year, as well as to improve transparency and to encourage applicants to collaborate on projects.
 - A transition to the call for projects process that covers two years of funding rather than just one, which would allow calls for the I-66 and I-395/95 programs to take place in alternating years.
- o **Envision Route 7:**
 - The Commission received an update on the status of the Envision Route 7 project, a proposed high capacity transit service that would run along VA Route 7 from Mark Center in the City of Alexandria to the Spring Hill Metro Station in Tysons. NVTC anticipates this study will be completed in summer 2019 and that staff will request Commission acceptance of the Phase III Study in fall 2019.
 - The County is currently doing a more in-depth analysis of the Route 7 BRT within Tysons. Specifically, County staff is looking at seven route alternatives and various running alignments to see which one would be the best from Spring Hill Metrorail Station to the I-66 Interchange, with an option to detour onto International Drive. The findings from the County's study will significantly influence the next phase of Envision Route 7 Study.
- o **Summer 2019 WMATA Shutdown Marketing Campaign:** In April, NVTC authorized Executive Director to apply to the Virginia Department of Rail and Public Transportation (DRPT) for a post-summer 2019 Metrorail shutdown marketing campaign to bring riders back to Metrorail and other local public transportation. The authorization included the execution of a Memorandum of Agreement with local jurisdictions and transit agencies to provide the required 20 percent match to the DRPT grant.
- o **Richmond Highway BRT Project:** In July, NVTC authorized the chairman to send a letter of support for the County's FY2019 Better Utilizing Investments to Leverage Development (BUILD) transportation grant application for Fairfax County's Richmond Highway Bus Rapid Transit (BRT) project.

Site Analysis and Transportation Planning Division

The Site Analysis and Transportation Planning Division (STP) is responsible for long-range planning efforts, the analysis of transportation impacts of current and future developments, reviewing the transportation aspects of zoning submittals, as well as other miscellaneous planning and implementation activities. STP consists of two sections: Site Analysis and Transportation Planning. The following information outlines the status of projects and tasks currently being undertaken by each of the sections.

Site Analysis Section

- **Tysons Zoning Applications**
 - o Staff are reviewing 18 active land use cases in Tysons, including 11 rezoning cases, four site plan applications, and three special exception applications.
 - o There are eight sites under formal discussion for potential rezoning cases. Each of these include some level of transportation review.
 - o Two land use applications were approved by the Board of Supervisors between March 2019 and August 2019.

- o Efforts continue to ensure that Comprehensive Plan goals are met for both approved development and general implementation activities in Tysons.
- o Staff is also participating in, or in some cases leading, the following projects:
 - A simulation study of modified intersection treatments along the Route 123 corridor.
 - The construction of the Jones Branch Connector.
 - The design for the Route 7 and Route 123 interchange.
 - The Envision Route 7 Bus Rapid Transit study.
 - The Route 7 Bus Rapid Transit study from Route 123 to I-495.
 - The Route 7 widening study from Route 123 to I-495.
 - Coordination on the future use of the Tysons West*Park Transit Station site and associated Interchange Modification Request (IMR) for ramp connection to Route 267 (Dulles Airport Access Road).
 - Dominion Energy's Idylwood to Tysons Electric Transmission Line project.
 - Ongoing implementation of Capital Bikeshare throughout Tysons.
 - Frontage and access improvements to the intersection of Tysons Boulevard and International Drive.
 - The bicycle and pedestrian bridge over I-495.
 - The Lincoln Street alignment study to further implement the grid of streets in Tysons.
- **Land Use Review along Phase 2 of Silver Line/Reston-Herndon**
 - o Staff is reviewing 11 active land use cases in this area.
 - o Three land use applications were approved by the Board of Supervisors from March 2019 to August 2019. All three are located near the Reston Town Center.
 - o Site Analysis staff continues to participate in the implementation of the Comprehensive Plan goals for this area, including funding plan development efforts.
 - o Staff continues to coordinate with the Capital Projects and Traffic Engineering Division and the Transportation Design Division on transportation projects impacted by land use cases.
 - o Staff is reviewing site plans for cases that have been approved through the entitlement process working closely with the Land Development Services – Site Development Inspections Division (LDS-SDID) through this process.
 - o Staff supported the Department of Planning and Development's Zoning Ordinance amendment for the PRC zoning designation change concerning the density provisions set forth in Section 6-308 of the Zoning Ordinance, specifically for the Reston PRC District. The amendment proposed an increase in the maximum overall density permitted for the Reston PRC District to a number between the current 13 persons/acre up to 15 persons/acre. The amendment also would have allowed the Board to approve residential development up to 70 dwelling units/acre for certain high density residentially designated properties in the Reston PRC District that are located within the transit station areas and planned for mixed use, if the proposal is in accordance with the adopted Comprehensive Plan. Staff's support included preparation of materials about TDM program annual reports, involvement in stakeholder meetings with the Reston Association, as well as participation in the Planning Commission's January work group session and February public hearing.
- **Land Use Review along Richmond Highway**
 - o Staff is reviewing five active land use cases in the Richmond Highway corridor.
 - o Site Analysis staff continues to participate in the implementation of the recently adopted Embark Comprehensive Plan goals for this area.
 - o Staff continues to coordinate with the Capital Projects and Traffic Engineering Division on the Richmond Highway widening project from Jeff Todd Way to Napper Road and the Bus Rapid Transit (BRT) project from the Huntington Metrorail Station to Fort Belvoir. Staff is also coordinating with the Transportation Design Division on other projects that may impact land use cases.
 - o Staff is reviewing site plans for cases that have been approved through the entitlement process working closely with LDS and SDID (Site Development and Inspection Division) through this process. In addition, FCDOT staff worked collectively with LDS and SDID staff to create a process where appropriate by-right

site plan applications, within close proximity of Richmond Highway corridor, were reviewed by FCDOT to ensure they are not in conflict with the widening project and/or BRT project.

- **Inova Center for Personalized Health**

- o The site is the subject of a concurrent Site-Specific Plan Amendment (SSPA) nomination and Proffer Condition Amendment (PCA) application. The site is located at the southwest corner of Interstate 495 and Route 50, approximately 1.5 miles south of the Dunn Loring Metrorail Station. The site is proposed to house the Inova Schar Cancer Institute and a Northern Virginia Campus for the University of Virginia as well as other associated uses.
- o The SSPA is considering permitting up to 5,000,000 square feet of development at a 1.0 FAR (Floor Area Ratio). A task force was organized to evaluate and provide a community recommendation on the SSPA nomination.
- o The PCA application proposes a total of 3,566,000 square feet of development on the site at 0.7 FAR with office, medical, research, educational, residential, and retail uses. This is one of the largest active development applications in Fairfax County.
- o The SSPA and PCA each have an associated Traffic Impact Analysis (TIA) have been completed. The SSPA TIA evaluates intersections throughout the Merrifield Suburban Center. The PCA TIA, which falls under the state's Chapter 870 regulations, provides a more localized analysis. A revision of the PCA study was submitted to VDOT on May 8, 2019. Another revision was received in mid-June 2019 and is under review.

- **General Zoning Applications and Post-Zoning Activities**

- o Staff completed 36 Chapter 870 Traffic Impact Analysis determinations during this time period.
- o Staff is engaged in the review of 64 new land use cases.
- o Staff reviewed a number of new post-zoning cases, including:
 - 36 plans from LDS-SDID to include Site Plans, Public Improvement Plans and Rough Grading Plans for review
 - Five site plan waiver requests for roadway improvements.
 - Seven site plan waiver requests for trail, sidewalk, and bicycle improvements.
 - Six proffer interpretations.
 - Coordination and case work for in-process requests also continued during this time period.

- **15.2-2232 Public Facilities Review**

- o Staff has reviewed six applications for public facilities during the current reporting period.

- **Transportation Demand Management (TDM)**

- o Since March 2019, 32 land use applications have been approved by the Fairfax County Board of Supervisors. Of those applications, 34 percent were approved with a TDM component consistent with the County's TDM program.
- o Coordination on implementation of proffered TDM programs by property developers and owners occurs daily.

- **Right-of-Way Inquiries**

- o Seven vacation/abandonment/discontinuance/acceptance requests were processed during this time period.
- o Ten general right-of-way inquiries were received.

- **Process and Standards**

- o **Urban Street Standards (USS):** Several agencies are coordinating to establish urban street standards for approval by VDOT under guidance from the state's Road Design Manual. Site Analysis has taken the lead in this effort. For Reston, VDOT approval has been secured for Phase I of the Wiehle-Reston East Transit Station Area (TSA) and the Reston Town Center TSA; the final submission of Phase II of the USS that would apply to these TSA areas was done in January 2019. It is anticipated that approval of Phase II

will be complete by September 2019 after satisfaction of VDOT's comments, and that implementation procedures would commence immediately thereafter.

- o Staff continues to participate in the ongoing effort to implement urban street designs in Transit Oriented Developments (TOD) and County activity centers to conform to the urban street design standards adopted by VDOT. These efforts continue in the Springfield Community Business Center (CBC) and have been initiated for the Innovation and Herndon TSAs, as well as the Richmond Highway corridor as a component of the Embark planning process.

Transportation Planning Section

- **Seven Corners Area Study**

- o On July 28, 2015, the Board of Supervisors approved the Comprehensive Plan Amendment.
- o The County submitted applications for SMART SCALE funding (twice) and Northern Virginia Transportation Authority (NVTA) funding (twice) for initial engineering and design of the first segment of the new "ring road" interchange, but the project has not been selected for funding.
- o Staff is working on the follow-on motions that the Board adopted in conjunction with the Comprehensive Plan Amendment.
- o A scope of work for the phasing analysis as directed in Follow-On Motion #4, has been drafted. The analysis will guide the prioritization and staging of each of the transportation improvements recommended in the Seven Corners Comprehensive Plan. Staff will initiate the procurement process for selecting a transportation consultant to assist in conducting the study in fall 2019.
- o The Juniper Lane Connectivity Study, directed in Follow-On Motion #9, was initiated in spring 2018. Three community meetings were held from fall 2018 to winter 2019, and a report with options for when the Sears site redevelops was published in January 2019.

- **Huntington Area Transportation Study (HATS)**

- o In January 2015, due to community concerns over a planned grade-separated interchange, at-grade alternatives for the Richmond Highway intersections at Fort Hunt Road and Huntington Avenue were prepared and presented to the Board.
- o Per direction from the Board, the North Gateway development site's land intensity was tested at a 2.0 floor-area-ratio.
- o Mitigation measures for year 2040 conditions are recommended in the draft final report completed in November 2018.
- o In November 2018, the draft final report was submitted to VDOT in support of North Gateway Plan Amendments 2018-IV-MV5 and 2018-IV-T1 to consider the proposed increase in land use intensity and alternatives to a grade-separated interchange at the Richmond Highway/Huntington Avenue/Fort Hunt Road intersections.
- o Staff has addressed VDOT comments and completed the HATS Report. VDOT, however, was ultimately uncomfortable accepting the recommendation to remove the planned, grade-separated interchange at Richmond Highway and Huntington Avenue from the Comprehensive Plan. Richmond Highway is a corridor of statewide significance and in the National Highway System and, thus, VDOT requested additional analysis utilizing the most current travel demand model, land use and traffic data. It was agreed that a *limited* study would be provided using the latest models and data, but only for the "interchange area" (Richmond Highway at Huntington Avenue and immediately adjacent intersections).
- o The updated analysis will kick off in October 2019 and wrap up by September 2020.
- o Planning Commission and Board of Supervisors public hearing dates for the associated North Gateway Plan Amendments are anticipated for fall 2020.

- **Tysons Neighborhood Study Phase II**

- o Analysis of conditions was completed.
- o A memorandum outlining next steps is being finalized.

- o New traffic counts have been taken for a number of locations for the purpose of understanding how conditions have changed between the beginning of the study and current conditions.
- o Results of the analysis are being presented to district supervisors representing the areas containing study intersections. Staff will finalize the memorandum when meetings with all supervisors (including newly elected) are complete, which is expected in spring 2020. Staff will schedule additional citizen meetings once the memorandum has been finalized.
- o As a part of the “next steps” of the Tysons Neighborhood Study, some intersections will be advanced for further evaluation and/or feasibility analyses, and implementation.
 - **Dolley Madison Corridor Study:**
 - Four intersections from the Neighborhood Study (Dolley Madison Boulevard/Great Falls Street/Lewinsville Road, Dolley Madison Boulevard/Old Dominion Drive, Great Falls Street/Chain Bridge Road, and Balls Hill Road/Lewinsville Road) are being evaluated as a corridor to understand how each intersection affects the others. Additionally, short-term improvements requiring minimal right-of-way are being investigated to understand if any improvements can be done in the near-term to reduce traffic congestion.
 - Counts were taken in late spring 2017, existing and future conditions were evaluated, and six independent scenarios were developed that could either be implemented separately or together.
 - The scenarios were presented to the district supervisor, and staff was requested to eliminate two scenarios from consideration, while looking at three additional scenarios. All scenarios have since been evaluated. Staff has combined the remaining viable scenarios and has presented them to the district supervisor. Staff was then requested to evaluate more long-term solutions to compare traffic operations between short and long-term solutions. This additional analysis was completed in spring 2019 and presented to the supervisor during that same time period.
 - A public information meeting, along with a project website and a survey, were provided in summer 2019.
 - Subsequent to the closing date of the survey and public comment period (scheduled in fall 2019), staff will meet with the supervisor to discuss next steps, including moving forward with one long-term and one short-term scenario for testing, which will lead to a decision on how to move forward with potential feasibility and future designs for improvements (decision tentatively scheduled for winter/spring 2020).
 - Lewinsville Road/Spring Hill Road: For information regarding the Lewinsville Road/Spring Hill Road intersection, please see the *Project Status Report* section of this document.
 - Lewinsville Road/Leesburg Pike: The Lewinsville Road/Leesburg Pike intersection is a part of VDOT’s Route 7 Widening Project, scheduled for completion in 2024.
 - Georgetown Pike/Balls Hill Road: The Georgetown Pike/Balls Hill Road intersection is a part of a joint project between VDOT and FCDOT’s Traffic Engineering Section. Improvements at this intersection were completed in August 2019.
 - Electric Avenue/Cedar Lane: For information regarding the Electric Avenue/Cedar Lane intersection, please see the *Project Status Report* section of this document.
- **Richmond Highway Bus Rapid Transit Project (Embark)**
 - o In October 2014, the Executive Steering Committee for the DRPT Route 1 Multimodal Alternatives Analysis recommended the long-term extension of the Metrorail Yellow Line from Huntington to Hybla Valley, with BRT running in the median, to be divided into three phases covering the entire corridor, from Huntington to Woodbridge.
 - o In May 2015, the Board endorsed the study and recommendations. The Board also authorized a Comprehensive Plan Amendment to assess and refine the recommendations of the Route 1 Multimodal Alternatives Analysis for Phases 1 and 2 of the BRT, from Huntington to Accotink Village, Fort Belvoir. The amendment considered: a) Land use density and mix for the areas within a one-half mile radius of proposed stations, corridor wide transportation systems, urban design, public facilities, and other elements supportive of BRT; and b) Policy guidance supporting future Metrorail extension from the Huntington Metrorail Station to Hybla Valley.
 - o In March 2018, the Board approved the Embark Richmond Highway Comprehensive Plan Amendment. This plan won the 2018 Commonwealth Plan of the Year Award and a Fairfax County Team Award.

- o FCDOT was tasked with six follow-on motions: (1) Conducting Refined Grids of Streets Analysis; (2) Removal of Huntley Meadows Park Trail from Countywide Trails Plan; (3) Removal of Huntley Meadows Park Shared Use Path from the Bicycle Master Plan; (4) Amendment to Bicycle Master Plan to investigate trail alternatives; (5) Incorporating Woodlawn Cultural Corridor Trails; and (6) Developing a Transportation Funding Plan. The status of each of those follow-on motions is discussed below:
 - **Refined Grid of Streets:** The consultant team's scope of work and contract with FCDOT was signed in May 2019. The consultant team is modeling and analyzing a block-level scale of the proposed grids of streets in the following Community Business Centers (CBCs): Penn Daw, Beacon Groveton, Hybla Valley/Gum Springs, and Woodlawn. This grid of streets analysis is expected to conclude by October 2019.
 - **Huntley Meadows Park Trails:** The two follow-on motions involving Huntley Meadows Park, regarding the removal of a planned trail and shared use path (Motions 2 and 3, above) from the Countywide Trails Plan and Bicycle Master Plan, were adopted by the Board on February 5, 2019. A subsequent follow-on motion directs staff to identify and consider alternative bike and trail connections, outside of the park boundary, in advance of the Countywide updates to the Countywide Trails Plan and Bicycle Master Plan (to be in conjunction with Motions 4 and 5, above). FCDOT staff began work on these subsequent follow-on motions in March 2019.
 - **Transportation Funding Plan:** FCDOT staff, in coordination with the Embark Core Team, has developed a list of 50 projects for potential inclusion in a Richmond Highway Funding Plan. As of September 2019, FCDOT is preparing cost estimates for each identified project. The cost estimates will be summarized into a report, listing priority projects. Next steps include identifying funding sources and conducting outreach to the public and elected officials. Work on this follow-on motion will continue throughout 2019, and is anticipated to complete in 2020.
- **Fairfax County Parkway and Franconia-Springfield Parkways Alternatives Analysis and Long Term Study**
 - o In 2014, VDOT and FCDOT initiated a joint study to assess short-term, multimodal improvements for the 30-plus miles of Fairfax County and Franconia-Springfield Parkways.
 - o VDOT led the effort on existing conditions for Fairfax County Parkway, while Fairfax County led the effort on existing conditions for Franconia-Springfield Parkway.
 - o Existing conditions analyses included data collection, analysis of existing traffic conditions and crash data, and traffic simulation modeling. A series of short-term improvements have been developed and prioritized. There are \$5.0 million on the list of unfunded projects for consideration to implement these improvements. Small-scale improvements will be included in various VDOT budgets and implemented as funding becomes available. VDOT has completed 49 of the 350 recommendations.
 - o Fairfax County is now leading the subsequent Alternatives Analysis and Long Term Planning Study, assessing current and potential Comprehensive Plan improvements and future options.
 - o In 2017, the County's study of future options began, focusing on planning for a long-range vision. The long-term study has and will continue to involve extensive public involvement. Public meetings were held in October 2018 and March/April 2019 and included online surveys. More than 15,000 survey responses were received during this process.
 - o Staff prepared five mitigation strategies based on the October 2018 feedback for further consideration. A second online survey was completed in June 2019, and staff is working to summarize the feedback on the mitigation strategies.
 - o The next round of public outreach is scheduled to occur in winter 2019/20, focusing on identifying, evaluating, and recommending future options for the corridor to include in the Comprehensive Plan.
 - o The long-term study is anticipated to be complete in 2020.
- **Envision Route 7 Transit Alternatives Analysis (NVTC)**
 - o The study corridor stretches from Alexandria to Tysons.
 - o Phase II, initiated in late 2014, carried over both the Light Rail Transit and BRT options from the Phase I study and the resulting recommendation is for BRT from Tysons to the Mark Center in Alexandria, with

- service to the East Falls Church Metrorail Station. Detailed routing options within Tysons are being evaluated further.
- o In July 2016, the NVTC Board endorsed the study recommendations. A final report has been prepared.
 - o A contract for Phase III of the Alternatives Analysis, focusing on conceptual engineering, refinement of project costs, development of potential phasing strategies, and identification of required right-of-way, was approved in June 2018. The Board approved matching funds for this study at its December 5, 2017, meeting.
 - o NVTC held a workshop in February 2019 with staff from each jurisdiction to discuss right-of-way needs, running-way alignment, and station locations. Other stakeholders in attendance included WMATA, VDOT, and DRPT.
 - o FCDOT has initiated a study of the Route 7 corridor (Spring Hill Metrorail Station to I-66) in Tysons to supplement the NVTC study. This effort will look at the cross section of Route 7, potential bus station locations, and the routing and runningway alignment of the BRT in Tysons. This study is being coordinated with the Route 7/Route 123 interchange study and the Route 7 Widening study (I-66 to I-495).
 - o NVTC held a workshop in May 2019 to present revisions reflecting comments and concerns from stakeholders raised at the first (February 2019) workshop and to address any further concerns of the local jurisdictions before finalizing conceptual layouts of the BRT route.
 - o This study is expected to be completed in fall 2019.
- **Lincolnia Community Business Center (CBC) Transportation Analysis**
 - o On March 6, 2018, the Board approved a new designation of Lincolnia as a CBC.
 - o FCDOT has conducted a transportation analysis to consider modifications to the transportation network to support new, more intense land uses, and has been working with the Department of Planning and Development (DPD) and the Lincolnia Task Force on these efforts. The study was submitted to VDOT for review in January 2019 and was approved by VDOT.
 - o On July 10, 2019 the Planning Commission approved Lincolnia CBC Plan Amendment
 - o On July 16, 2019, the Lincolnia Plan Amendment was approved by the Board of Supervisors.
 - **McLean Community Business Center Comprehensive Plan Amendment**
 - o On April 10, 2018, the Board authorized a Comprehensive Plan Amendment for the McLean CBC. In May 2018, FCDOT initiated the transportation study for this effort by collecting traffic counts.
 - o FCDOT is participating with DPD in the McLean Visioning Study at Task Force meetings, which began in June 2018.
 - o FCDOT engaged a transportation consultant in July 2018 to assist with this study.
 - o FCDOT presented a report on existing transportation conditions to the Task Force in September 2018, with a follow-up presentation in October 2018.
 - o FCDOT presented a report on future baseline Comprehensive Plan 2045 transportation conditions to the Task Force in November 2018.
 - o In April 2019, FCDOT presented to the Task Force a sensitivity analysis report regarding transportation impacts, if there was limited or no-growth in the CBC.
 - o The McLean CBC Task Force recommended in April 2019, a new alternative Vision Plan for the CBC with changes in the land use density amounts for Residential and Non-Residential land uses. FCDOT and its consultant team are analyzing the travel demand and transportation impacts to the McLean CBC street network. This analysis began in June 2019 and is anticipated to conclude in February 2020.
 - o Preliminary transportation analysis results were presented to the Task Force in September 2019. A follow-up discussion with the Task Force during their October 2019 meeting will focus on transportation mitigation options and a preview of the Transportation Impact Analysis report that will be submitted to VDOT for their review.
 - o FCDOT staff will be preparing guidance and recommendations for the transportation elements of the comprehensive plan amendment beginning in October 2019.
 - o In January 2020, FCDOT anticipates discussing VDOT review comments with the Task Force with proposed comment resolution options.

- Planning Commission and Board of Supervisors public hearings are anticipated in 2020.
- **West Falls Church Transit Station Area Study**
 - On July 31, 2018, the Board authorized the Site-Specific Plan Amendment (SSPA) for the Washington Metropolitan Area Transit Authority (WMATA) property located at the West Falls Church Metrorail Station area. Subsequently, the Board authorized an expansion to include the Virginia Tech and University of Virginia Northern Virginia Center into the Comprehensive Plan Amendment Work Program.
 - The initial community meeting and inaugural Task Force meeting were held in January 2019.
 - As WMATA and Virginia Tech are proposing a new mix of land uses that include residential, retail, office and educational uses, FCDOT staff members are working with them to provide guidance and modeling information for the transportation analysis that will be conducted by their transportation consultants.
 - FCDOT staff presented the transportation existing conditions report to the Task Force in March 2019.
 - FCDOT continues to coordinate with DPD staff, WMATA, Virginia Tech, and neighboring City of Falls Church regarding the proposed development of these two sites, and the anticipated transportation impacts on the adjacent road network.
 - Planning Commission and Board of Supervisors public hearings are anticipated in 2020.
- **Merrifield Suburban Center Existing Conditions**
 - On June 20, 2017, the Board adopted the Site-Specific Plan Amendment (SSPA) process to increase public participation in the development of the Comprehensive Plan Amendment Work Program.
 - The screening phase of the 2017 North County Review resulted in two significant nominations [Inova (formerly Exxon Mobil) and Fairview Park] within Providence District and the Merrifield Suburban Center.
 - On June 28, 2018, the Planning Commission approved these two Providence District SSPA nominations for further review.
 - In conjunction with review of the Providence District SSPA nominations, FCDOT completed an Existing Conditions Assessment of the Merrifield Suburban Center.
 - The existing conditions analysis of the transportation infrastructure and capacity was presented to the Task Force in November 2018.
 - FCDOT has coordinated with the two Providence District SSPA Nominators on a transportation analysis evaluating the land use and transportation network and potential transportation impacts associated with the proposed.
 - The transportation analysis and other transportation topics are being discussed with a citizen Task Force. There have been six transportation focused Task Force meetings, and FCDOT staff members have presented at 5 of the 6 meetings.
 - The Final Staff Report was published in September 2019.
 - Planning Commission and Board of Supervisors public hearings are anticipated in September 2019.

Special Projects Division

The Special Projects Division manages the Dulles Corridor Metrorail Project (DCMP) for Fairfax County. The division is working with local, state, and federal partners to implement a \$5.76 billion, 23-mile heavy rail construction project, including \$2.982 billion for Dulles Rail Phase 1 and \$2.778 billion for Dulles Rail Phase 2. The DCMP is an extension of WMATA's rail system which extends the system from just west of East Falls Church into Fairfax County, Dulles International Airport, and Loudoun County. The new extension of the WMATA system is called the Silver Line. Fairfax County's direct funding for DCMP exceeds \$1 billion. The Special Projects Division also coordinates planning, design, and construction issues for the Fairfax County Phase 2 garage projects at the Herndon and Innovation Center Stations with the Metropolitan Washington Airports Authority and the Fairfax Department of Public Works and Environmental Services. In addition to construction management, the team's efforts focus on communication with elected officials, the community, and other stakeholders to ensure accurate reporting of project information and progress.

The Special Projects Division also serves as the lead for the Transform 66 project on behalf of FCDOT. In this role, the team coordinates heavily with VDOT, Express Mobility Partners, and multiple County agencies to address right-of-way, design, traffic analysis, off-corridor trails, stormwater, construction, monitoring, and outreach issues.

- **Dulles Rail (Phase 1)**
 - Final punch list work remains for VDOT items. Record of Decision road work has been completed, though work on the punch list is ongoing. MWAA has awarded a task order contract for the completion of outstanding punch list items, including the realignment of Old Meadow Road. Construction of the Old Meadow Road realignment started in spring 2019 and is expected to be completed by the end of 2019.
- **Dulles Rail (Phase 2)**
 - The cost estimate for all Phase 2 work is \$2.778 billion. Construction of the rail line, system, and stations for Phase 2 is 96 percent complete, while the rail yard is 97 percent complete. Construction continues at each of the Phase 2 Fairfax County station areas.
 - The estimated cost to Fairfax County to construct the parking garages at Herndon and Innovation Center Stations is \$52 million and \$44.5 million, respectively. The Herndon garage was completed April 2019, at which time it was opened to the public to accommodate existing park-and-ride users while the existing garage was closed to complete repairs. Repairs to the existing garage are expected to be completed in fall 2019. In August 2018, settlement of the Innovation garage's foundational elements was discovered and construction work on the garage was suspended to allow for necessary remediation. Construction of the garage resumed March 2019 and precast erection was completed in June 2019. Completion of the garage is scheduled to occur before revenue operations for Phase 2.
 - The schedule for revenue service for Phase 2 in 2020, however the actual date of revenue service will be determined by the WMATA Board.
- **Transform 66**
 - SPD is coordinating the planning, design, and implementation of the off-corridor trail system to complete the I-66 parallel trail. Public information meetings were held in spring 2019. Work continues to address scope and funding issues, including funding agreements with VDOT and the Fairfax County Park Authority for various trail sections.
 - SPD is working with VDOT on the review of the updated interchange justification report for the analysis of the 2025 and 2040 timeframe.
 - Coordination of the review of new roadway design plans and provision of comments to VDOT, including the Nutley Street interchange. The latest plans are an alternative design that includes dual modified roundabouts at the I-66 on/off-ramps rather than the diverging diamond concept. Staff continues to evaluate the new design and provide comments to VDOT. VDOT held an open house on the new concept in June 2019.
 - SPD is providing ongoing assistance for the dedication efforts related to previously committed right-of-way obligations and right-of-entry permits for County-owned properties.
 - Public outreach efforts regarding I-66 construction updates, access modifications, closures, and overall project status.
 - County staff is participating in ongoing discussions with VDOT, EMP, and the City of Fairfax on the location of the administration building, maintenance building, and salt dome. Currently options to locate the maintenance and salt dome at the West Ox/Alliance Drive site in Fairfax County or in Prince William County are being considered
 - Continued coordination on the following concession fee projects, which are expected to be completed by the end of 2022:
 - **Route 29 Interchange:** Median widening to accommodate future Orange Line extension along I-66. An updated cost estimate was provided in December 2018. Preliminary engineering work is underway. The Board supported a concession fee project funding reallocation and additional funding for the purpose of this project.

- **Poplar Tree Road Bridge:** Bridge widening to accommodate a future four lane section per the Comprehensive Plan recommendation. The change order has been executed to include the widening in the Transform 66 project. Substructure work anticipated by the end of the year.
- **Jermantown Road Bridge:** Widening of the Jermantown Road bridge over I-66 to facilitate future widening of Jermantown Road between Phoenix Drive and Route 50. The change order to include the improvement in the I-66 project has been executed.
- **Monument Bridge Sidewalk:** Provision of a sidewalk on the west side of the Monument Drive Bridge to enhance pedestrian access to the future Monument Drive Park and Ride. VDOT is in the process of completing survey.
- **Waples Mill Road at Route 50:** Provide a second left turn lane from westbound Route 50 to Waples Mill Road, three thru lanes on eastbound Route 50, and reconfiguration of westbound Route 50 to eastbound I-66 on-ramp. Design and traffic analysis review is ongoing.
- **Route 29 Pedestrian Improvements:** Pedestrian improvements for missing segments on the south side of Route 29 between Nutley Street and Vaden Drive. Completed project scoping and design team is finalizing comments. Public meeting held in March 2019.

Transit Services Division

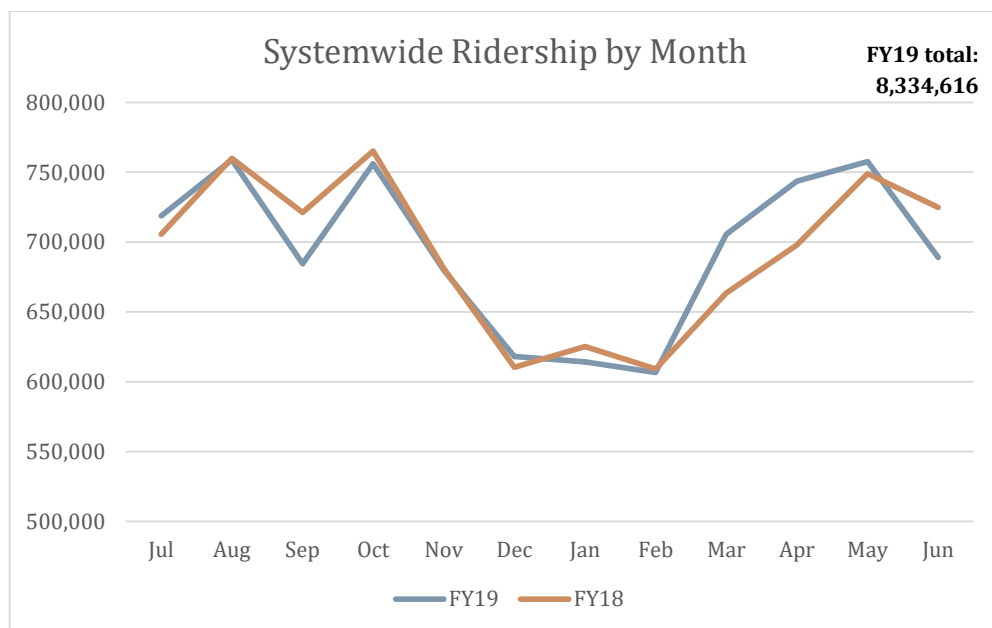
The Transit Services Division (TSD) is responsible for the planning, implementation, and operations of the Fairfax Connector public transportation system in Fairfax County. Efforts include oversight of Connector operations, bus service planning to increase access and mobility for residents and riders, capital improvement projects, upgrades to passenger facilities, coordination and technology enhancements on the bus system.

In November 2018, a request for proposals was issued for the management and operations of the Connector bus system, which is the largest transit system in Virginia. In April 2019, the County awarded the five-year contract, plus ten optional years, for the Connector's management and operations to Transdev Services, Inc. Effective July 1, 2019. The base contract cost (start-up and fiscal years one through five) is approximately \$443 million.

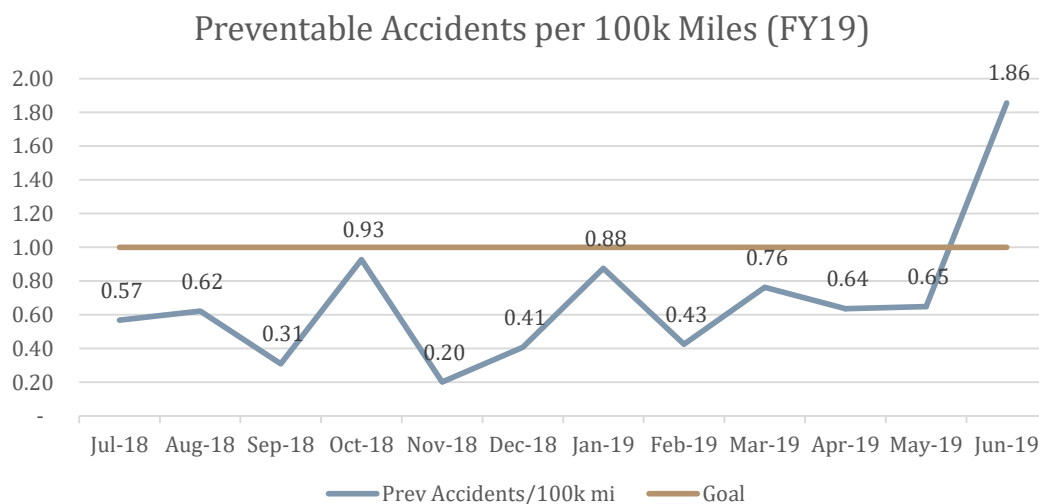
Transdev is the largest private sector operator of multiple modes of transit in North America including bus, rail, streetcar, paratransit and shuttle services. Transdev employs 82,000 people worldwide operating on five continents and in 20 countries providing 11 million passenger trips daily. Transdev has experience in the Northern Virginia area currently operating Loudoun County Transit and Washington Metropolitan Area Transit Authority's (WMATA) Cinder Bed Division.

The transit division has worked tirelessly throughout the contract transition which included months of preparation to solicit bids and award the operations contract. Contract transitions of this scale are complex and typically take six to nine additional months of work to complete the full transition post award. Staff will continue to focus on providing excellent customer service during the transition.

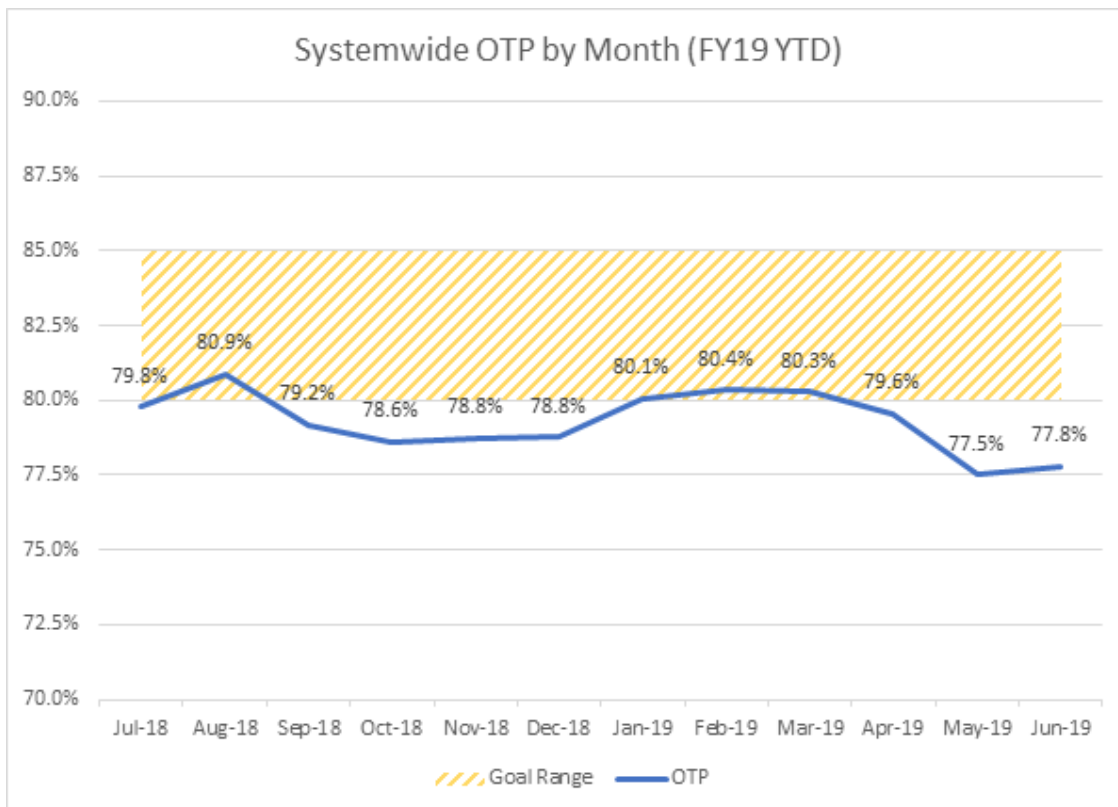
- **Fairfax Connector Bus System – Operational Data**
 - o **Total Ridership:** Total ridership for FY19 exceeded FY18 by 0.26% indicating that ridership losses may be leveling off for the Connector. The slight increase occurred even though June 2019 saw a decrease in ridership over June 2018 due to the impact of the WMATA station platform rebuilding effort which began on May 25, 2019, and closed 6 rail stations south of National Airport.



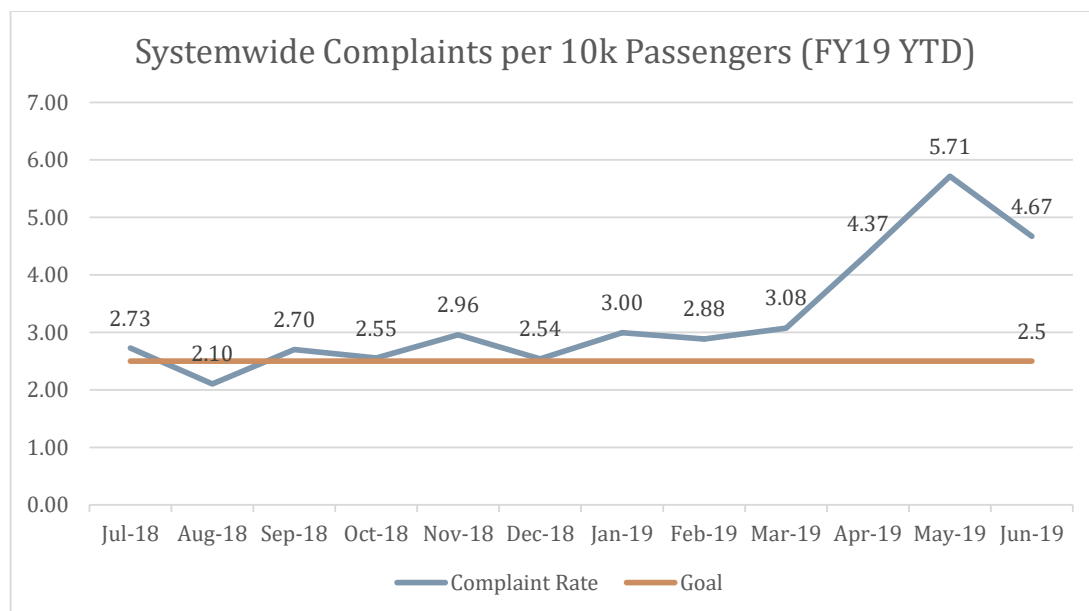
- o **Preventable Accidents:** Transit agencies measure preventable accidents as an indicator of a safe system. A preventable accident is one in which the vehicle driver failed to do everything reasonably expected of a fully trained professional operator. Most transit systems operating fixed route services consider achievement of 1.0 preventable accidents per 100,000 miles to be an indicator of safe operations. The Connector continues to meet the goal of 1.0 preventable accidents per 100,000 miles of operation with year-to-date (YTD) performance at 0.70. Bus contractor and Connector staff are reviewing the increase in accidents that occurred during the contract transition and continues to examine ways to reduce accidents further through use of DriveCam technology and improvements in driver training and safety practices.



- o **On-Time Performance:** On-time performance (OTP) measures adherence to schedule on a systemwide basis which is a key indicator of bus service reliability. On-time is defined as a bus arriving according to the schedule based on a window of 1 minute early to 6 minutes late. Factors influencing OTP include traffic congestion, detours, inclement weather, scheduling, vehicle reliability, and delays caused by incidents, accidents, or other service issues such as, construction. In the last two years the Connector began using Intelligent Transportation System data in lieu of legacy manual reporting methods to record on time performance. The reporting systems and new data are being carefully evaluated to determine the accuracy of the system and further adjustments are anticipated. The data suggests that improvements in OTP are possible and is a key goal for the transit division and the bus contractor. The adopted OTP goal will be in the 80-85% range.



- o **Passenger complaints and accommodations:** Transit providers including the Connector measure customer satisfaction using survey responses (when surveys are conducted) and through complaints submitted to the Connector's Telephone Information Center, web site, social media, and other communications received both written and verbal. Complaints of all types are logged into a database for investigation by the bus operations contractor who is required to follow up with customers on their concerns. Recent complaint data strongly indicates overall customer satisfaction typically ranging below three complaints received per 10,000 passenger trips provided. The increase in customer complaints for April, May, and June are largely in response to missing service due to the contract provider transition.

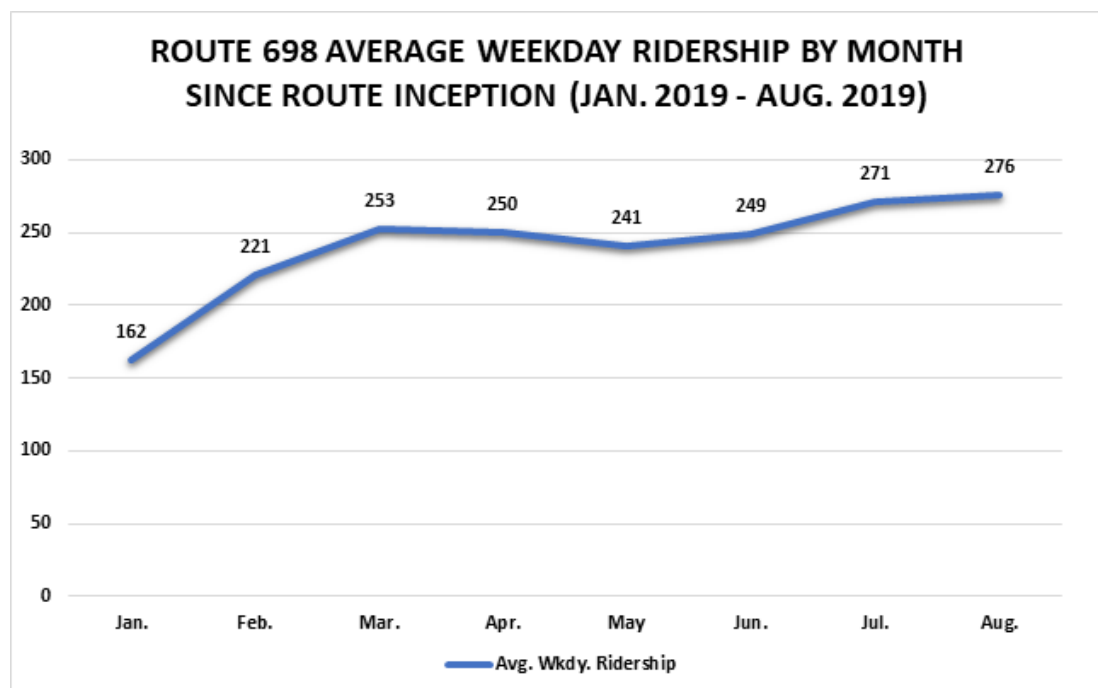


- **Fairfax Connector Bus System – Service Planning**

- o Staff implemented the following Connector service changes between March and September 2019. All service changes were reviewed as mandated by the Federal Transit Administration [FTA] in Circular *C4702.1B, Title VI Requirements and Guidelines for Federal Transit Administration Recipients*. The following service changes were implemented on March 30, 2019:
 - Routes 161 and 162 (Hybla Valley): The level of service on Routes 161 and 162 was rebalanced, shifting revenue hours from Route 161 to Route 162 to improve on-time performance on Route 162. Since March implementation, these routes have seen on-time performance improvement as programmed.
 - Route 308 (Franconia-Springfield Metrorail / VRE Station to Mount Vernon Hospital): The 2016 Transit Development Plan recommended implementing a new route to provide a one-seat ride linking the Franconia-Springfield Metrorail / VRE Station to Mount Vernon Hospital via Richmond Highway and Jeff Todd Way. Since implementation on March 30, 2019, this new route has experienced a steady increase in ridership.
 - Routes 321 and 322 (Springfield): Routes 321 and 322 were experiencing on-time and schedule reliability issues. Analysis showed the need for a headway reduction to improve schedule reliability and a minor realignment to minimize operational issues along Indian Run Parkway. Since implementation, there has been an improvement in on-time performance and an increase in ridership.
 - Route 467 (Dunn Loring to Tysons): Route 467 provides mid-day service in the Town of Vienna to fill in service area gaps due to the operational hours of Route 462. The route improves connectivity to businesses along Maple Avenue and in Tysons, as well as a linkage to Dunn Loring Metrorail Station. A key reason for implementation of this route was to replace the service once covered by the eliminated Metrobus Route 2T. Route 467 was implemented after working with the community to find ways to improve linkage and accessibility. The productivity of Route 467 will be assessed over the first 24 months of operation. If Route 467 does not achieve a minimum level of 137 passengers per day or 5.5 passengers per trip, staff will examine whether the route should be refined or discontinued.
 - Route 699 (Government Center to Downtown D.C.): Route 699 was implemented in December 2017 to reduce congestion within the I-66 corridor inside the Beltway. Funding for the service is being provided through the multimodal grant program managed by the Northern Virginia Transportation Commission (NVTC) with revenue generated from tolls on I-66 inside the Beltway. Route 699

experienced on-time performance issues due to the increasing impact of I-66 construction. To increase capacity and improve run-time, staff added one additional trip during the morning and another during the afternoon with minor timing adjustments. Before the March 2019 service changes, the Route 699 passengers per trip rate was 22.

- Routes RIBS 1 and 3 (Lake Anne to Hunters Woods): The Connector made service adjustments to improve travel time on Routes RIBS 1 and 3 and adjusted these routes for new development at Tall Oaks, which resulted in the elimination of the existing bus turn-around at Tall Oaks. Also, the running times on route segments were adjusted to improve on-time performance issues. Buses continue to serve Wiehle Avenue bus stops north and south of North Shore Drive.
- Route 698: Vienna Metrorail Station – Pentagon: Route 698 is a new route implemented in January 2019 linking the Vienna Metrorail Station to the Pentagon. This express bus service features ten inbound morning trips and ten outbound afternoon trips operating during peak travel periods. Funding for the service is being provided through the multimodal grant program managed by the Northern Virginia Transportation Commission (NVTC) with revenue generated from tolls on I-66 inside the Beltway. From the start of this service through June 2019, the route has experienced a stable ridership level of over 240 passengers per day (shown in the following chart). The total ridership for the first six months of service was approximately 24,700 passengers. Over the first six months, the average passengers per trip rate was 12.



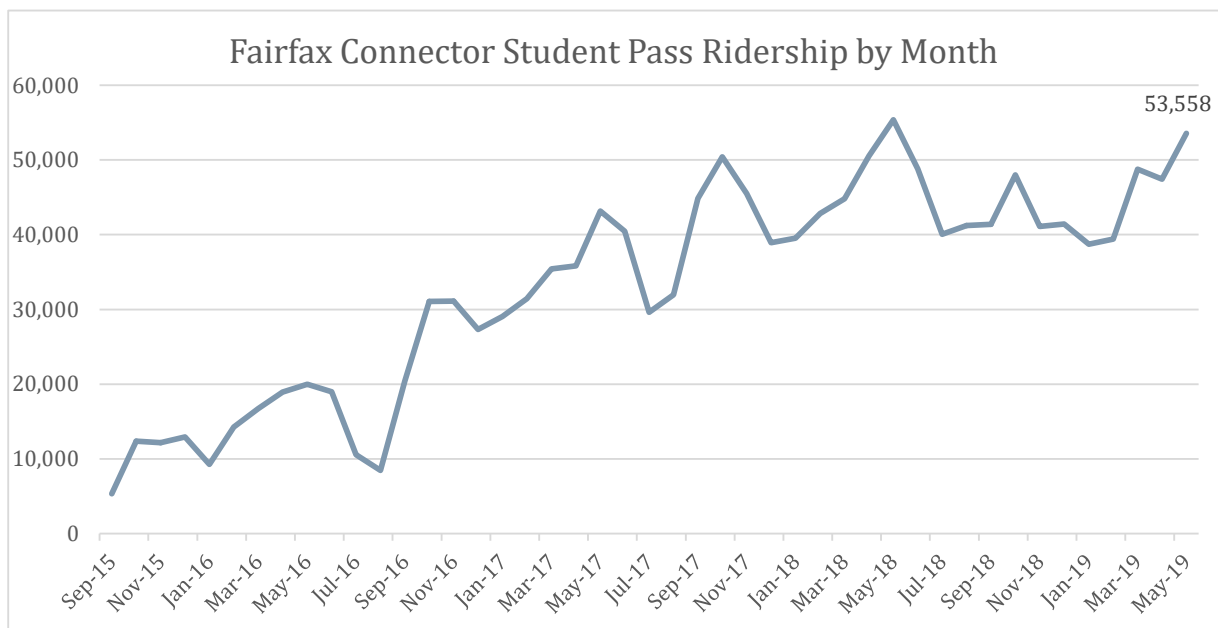
- Staff is conducting an efficiency and effectiveness analysis of all 300 series routes operating from the Franconia - Springfield Metrorail Station and all routes in the area of Metrorail Silver Line Phase 2. The results of these efforts will be recommended service level improvements that could be implemented with minimum budget impact and will be included in the annual Transit Development Plan update.
- Significant effort is underway to improve transit services within the County in response to implementation of the Silver Line Phase 2 Metrorail extension. Specifically, the Connector will update approximately 30 routes to provide access to the three new Metrorail Stations within Fairfax County. The Silver Line Phase 2 planning endeavor is part of a continuous planning effort to optimize routes. Staff is also currently working on route optimization efforts in the Franconia-Springfield and both efforts are expected to be completed by the spring 2020.

- **Free Student Bus Pass Program**

- o After a successful pilot program during the 2015 – 2016 school year, the Board accepted staff recommendations to expand the Student Bus Pass Program. Expansions in effect for the 2018 – 2019 school year included the transition of all student passes from a flash pass to a SmarTrip card and a pilot program allowing Justice High School students to ride limited Metrobus routes. The program expansion has allowed for increased connectivity and access to afterschool events and activities.
- o As of August 2019, approximately 12,689 student SmarTrip cards have been distributed to schools with 8,393 cards distributed to students. Among all the schools, South Lakes High School has the highest percentage of students with Free Student Bus Passes at 47 percent (1,153 students with passes) followed by Mt. Vernon and Edison High Schools at 40 percent (794 and 821 students with passes respectively). For the new Metrobus Pilot at Justice School, as of May 1, 2019, 35 percent of the student population have passes (750 students).
- o Student ridership from the start of the program in September 2015 through August 2019 has reached 1,604,182 trips. The following table presents total ridership for the past fiscal years.

	FY 16	FY 17	FY 18	FY 19
Student Riders	140,961	344,241	523,139	523,025

- o In FY2019, there were 523,025 trips taken with an average of 43,585 trips taken per month, which equates to approximately 6.3 percent of the monthly Fairfax Connector ridership. The following chart presents the program's growth over the past four years.



- **Bus Shelters:** There are currently 20 WMATA maintained shelters and 399 County maintained shelters within the County. These 399 shelters are divided into several groups: 200 are advertising shelters maintained by a private contractor, 169 are on-street shelters maintained by the Maintenance and Stormwater Management Division (MSMD), and 30 are located in transit facilities or park-and-rides. FCDOT has implemented a shelter replacement program to replace shelters that have reached their useful life cycle. Additionally, FCDOT has added a new shelter design to the system, called the Euro shelter. This shelter is

more open, lighter, and modern looking. FCDOT is also updating the design of new shelters that will allow for increasing the size of the concrete pad by two feet for additional standing capacity and bicycle rack space. Currently, 30 shelters are to be replaced with newer equipment in coordination with MSMD, 20 of which are located in Commercial Revitalization Districts. These shelter projects are currently in the design and construction development phase.

- **Bus Shelter Advertising Program:** FCDOT is engaged in a public-private partnership with Insite Advertising. In support of County initiatives on accessibility and pedestrian safety, the partnership maintains new bus shelters, while improving ADA and pedestrian access at multiple locations throughout the County. A total of 200 Connector bus shelter are advertising shelters. Insite sells advertising space to subsidize the construction and maintenance of bus shelters, with a percentage share of the profits returned to the County. The revenue received by the County from this program in FY2019 is estimated to be \$140,000 which will be used to offset transit operating costs. FCDOT, in partnership with Insite, WMATA, and the County's Maintenance and Stormwater Management Division, is working to convert additional existing shelters to advertising shelters. Also, Insite provides enhanced maintenance, such as landscaping and cleaning, which provides a better product for Connector and Metrobus customers.
- **Title VI Plan Update:**
 - o The County's Title VI Program is intended to ensure non-discrimination on the basis of race, color, national origin, or economic status, and provides meaningful access to Fairfax Connector programs and activities by all, including persons with limited English proficiency. The original program was approved by the Board on July 1, 2014, and was approved by the Federal Transit Administration (FTA) on November 26, 2014. FCDOT is required to update its Title VI Plan every three years to ensure compliance with subsequent changes in Federal Title VI regulations. The revised Title VI Plan was adopted by the Board of Supervisors on July 25, 2017, and was approved by the FTA on July 26, 2018. The next update of the Title VI plan is due to FTA in 2021.
 - o As part of the continued process to update the Title VI plan, TSD has started conducting interviews onboard Connector buses. The onboard survey was conducted from March to June of 2019. The draft and final results will be completed by August 2019.
 - o Fairfax County's Disadvantaged Business Enterprise (DBE) Policy establishes policies and procedures for ensuring that minority owned businesses are able to compete for transportation planning, design, and construction contracts. The County's current DBE program establishes an overall DBE participation goal of 16.4 percent in FCDOT contracts that are supported by FTA funds. The County is in the process of updating the DBE goal and methodology to include firms that could provide planning consulting services, as a result of the award of a new FTA grant that supports Transit Oriented Development planning for the proposed BRT project along Richmond Highway.
- **Americans with Disabilities Act (ADA) Self Assessments:** In compliance with the agreement between the U.S. Department of Justice and Fairfax County, FCDOT completed self-assessments of major park-and-ride facilities and bus stops improved by the County since 2007. FCDOT has advanced the project schedule and completed the remediation of the Reston Town Center, Lorton VRE, Sully Park-and-Ride, Government Center Park-and-Ride, and the Tysons West* Park Transit Station. The Herndon Monroe Park-and-Ride remediation is near complete. FCDOT, in cooperation with the Facilities Management Department, is projected to complete remediation of the Centreville Park-and-Ride, Burke Centre VRE Station Park-and-Ride, Reston South Park-and-Ride, and the Backlick Road VRE Station Park-and-Ride in early FY2020. FCDOT has reviewed the bus stops identified for additional improvements, and will complete remediation of all project sites in FY2020

- **Fairfax Connector Fleet:**

FCDOT initiated a mid-life vehicle rebuild program in 2016. FCDOT has completed 53 rebuilds to date under this program and plans to rebuild an additional 25 buses in FY2020. The rebuild program helps extend the life of the bus from 12 years to 15 years and reduces overall operating costs while increasing service reliability. FCDOT ordered four expansion buses in FY2019, and will be ordering an additional eleven buses in FY2020 expanding the fleet to 323 buses.

- **Intelligent Transportation Systems (ITS):** The ITS project provides County and Contractor staff with advanced tools needed for real-time monitoring and management of the Fairfax Connector bus system. The public facing components of the system include automated vehicle stop announcements (visual and audio), open source data sharing with Transit App, Moovit App, and Google Transit, as well as a web-based BusTracker utility that allows riders to determine when a bus is predicted to arrive at their stop location.

Milestones reached this period include:

- o Final Systems Acceptance Testing (FSAT) completed post closeout action items including:
 - Ongoing analysis of various components of the transit system and setting up policies and procedures for improved system efficiencies.
 - Completed training of FCDOT TSD and contractor staff on various components of the system.
- o Future project goals include:
 - CleverCAD Mobile tablets (Android or iOS) to allow supervisors to better manage the day-to-day operations of the Fairfax Connector fleet.
 - Replacement of the current Land Mobile Radio System (LMR) technology with an integrated Voice Over Internet Protocol (VOIP) system.

- **Transit Development Plan (TDP) Updates:** The TDP is a six-year fiscally constrained plan that includes a list of financially feasible recommendations tied to specific fiscal years covered by the plan, as well as additional recommendations that could be implemented, if additional funding is identified. The TDP, which was approved by the Board on March 15, 2016, builds on the County's 2009 TDP, and extends the plan's horizon year from 2020 to 2025. Since approval of the TDP, some of the TDP recommendations have been implemented, but a significant portion of the recommendations have been moved to the unfunded section of the plan. TSD staff is examining other funding resources such as NVTC grants and examining potential system efficiencies to fund TDP recommendations.

- o To improve transit service, staff has developed a continuous planning effort (route optimization). The transit system has been divided into five service areas, each based around one or two Metrorail Stations. Each year, a different route optimization area will be undertaken. The route optimization effort examines the transit network for inefficiencies and origin-destination patterns, develops short-term service changes, and generates a list of service changes for inclusion in the TDP annual and five-year updates. Staff is currently working on route optimization efforts in the Franconia – Springfield and Herndon – Reston area. These efforts are expected to be completed in spring of 2020.
 - Transit staff completed a minor update of the 2016 TDP, which was submitted to DRPT in February 2019. Staff submits annual updates to DRPT summarizing the current and projected service and capital improvement changes over the next ten years. The following bullets present a few of the planning and operational activities identified in the update letter for FY 2020: Conduct a Route Optimization Study on routes serving the Vienna-Chantilly area and the I-66 Fairfax Corner facility, generally defined as the central and western regions of the County.
 - Implement service changes identified in the Reston-Herndon Route Optimization Study to improve route performance and system connectivity in support of the opening of Phase 2 of the Metrorail Silver Line.
 - Implement service changes identified in the Franconia-Springfield Route Optimization Study to improve route performance and system connectivity.
 - Add one route and modify one route to assist with congestion mitigation on I-66 inside the Capital Beltway. These actions are being implemented through dedicated funding from the Transform I-66 Inside the Beltway project.

Transportation Design Division

The Transportation Design Division (TDD) is responsible for the implementation of multi-modal transportation projects throughout the County that are included in the approved CIP and the TPP. Projects are grouped into four primary program categories: Bus Stop Safety and Accessibility; Bicycle and Pedestrian Access Improvements; Roadway Improvements; and Additional Capital Improvement Projects. Overall, between March 2019 and September 2019, 34 County-managed projects were completed, including 16 bus stop improvements, 17 pedestrian improvement projects, and one roadway improvement project. 41 County-managed projects were authorized for or are under construction, including six bus stop improvements, 32 pedestrian improvement projects, and three roadway improvement projects. Approximately nine County-managed projects are in the utility relocation, permitting, and pre-construction phase, all of which are pedestrian improvement projects. Approximately 102 County-managed projects are in design or land acquisition phases, including 34 bus stops, 56 pedestrian improvement projects, 11 roadway improvement projects, and one other capital improvement project. TDD works closely with the Land Acquisition Division and Utilities Design and Construction Division within DPWES for the acquisition of necessary land rights and construction management services. In addition to implementing projects, TDD assists planning activities within the department by providing technical guidance and cost estimating services for various studies and analyses being managed by the Capital Projects and Transportation Planning sections.

- **Bus Stop Safety and Accessibility Program**
 - o 16 sites completed; 597 sites have been completed to date.
 - o Six sites are authorized for or under construction.
 - o 28 sites are in the design or land acquisition phase.
- **Pedestrian and Bicycle Improvement Program**
 - o 17 projects were completed
 - o 32 projects are currently under construction
 - o Nine projects are in the utility relocation, permitting, and pre-construction phases.
 - o 14 projects are in land acquisition phase.
 - o 42 projects are in design.
- **Roadway Improvement Program**
 - o One project was completed.
 - o Three projects are currently under construction.
 - o Two project are in land acquisition phase.
 - o Nine projects are in design.
- **Additional Capital Improvement Projects**
 - o One project is in design (Rolling Road VRE Parking Lot Expansion).
- **Grant Funded Bicycle and Pedestrian Access Improvements (projects listed below are included in the Pedestrian Access Program section above)**
 - o **Richmond Highway Public Transportation Initiative (RHPTI):** One pedestrian intersection improvement project (Lukens Lane Phase II) was recently completed, and one sidewalk project (Virginia Lodge to Huntington Avenue) is under construction. In addition, 17 bus stop safety improvements that were authorized for construction have been completed.
 - o **Dulles Corridor Bicycle and Pedestrian Access (DCBPA):** The last three projects of this group are currently under construction. Ten projects under this program were identified as part of the Tysons Metrorail Station Access Management Study (TMSAMS), and three projects were identified as part of the Reston Metrorail Access Group (RMAG). Of the TMSAMS projects, one is under construction, and nine have been completed. Of the RMAG projects, two are under construction, and one is completed.

- o **Tysons Metrorail Station Access Management Study (TMSAMS):** Ten projects were completed under an expedited process utilizing C & I funds, and ten projects were included in the DCPBA program above. FCDOT is coordinating with FCPA on three projects, including one project that FCPA is managing through construction. Two projects were completed by developers. Two projects are under construction, and 12 others have been completed. Additional information on the TMSAMS projects can be found at www.fairfaxcounty.gov/transportation/study/tysons-metrorail.
- o **Reston Metrorail Station Access Group (RMAG):** One project is in the design phase (W&OD Trail Bridge over Wiehle Avenue), and two projects are under construction, but one is awaiting completion of two adjoining projects that are being constructed by developers before proceeding further. In addition, two projects are located on private property which require further coordination with landowners prior to commencing design activities. Two projects are awaiting completion of further feasibility and location studies. Additional information on the RMAG projects can be found online at www.fairfaxcounty.gov/transportation/study/wiehle-sam.
- o **Route 50 Pedestrian Improvements (Jaguar Trail to Seven Corners):** Pedestrian improvements at three intersections and eight sidewalk segments. Seven projects have been completed and the remaining four are currently under construction.
- o **Safe Routes to School (SRTS):** One project is in the utility relocation phase (Old Courthouse Road at Westbriar Elementary School), and one additional project (Wolftrap Road Elementary School) is in design initiation.
- o **Additional Grant Funded Bicycle and Pedestrian Access Improvements:** One project is under construction (Georgetown Pike Trail – Phase III). Two additional projects (Cinderbed Road Bikeway and South Van Dorn Bicycle/Pedestrian Improvements) are in design.

County Transportation Priorities Plan

On January 28, 2014, the Board of Supervisors approved its TPP for FY2015 – FY2020, which followed a two-year effort to prioritize project needs throughout the County called the Countywide Dialogue on Transportation (CDOT). The TPP included approximately 220 projects funded with \$1.4 billion in revenues from various sources. The TPP projects include new and improved existing roads, sidewalks, trails, and on-road bicycle facilities, and provide new and enhanced transit service in the County. FCDOT developed projected timelines for the TPP projects.

On December 1, 2015, staff presented a proposed schedule of activities associated with updating the TPP to the Board Transportation Committee (BTC). Some of these activities included: revising revenue estimates to include revenues through FY2024, updated project costs, development of benefit-cost information for each project, project implementation timelines, and public outreach. Outreach efforts were conducted from September 2017 through January 2018, and staff met with individual Board members and with the Board Transportation Committee in 2017 and 2018 as the TPP update activities were occurring. Staff was awaiting the outcome of the 2018 General Assembly session, as it was assumed that legislative efforts to address funding needs for WMATA would impact funding availability for the FY 2019-2024 TPP. In spring 2018, the General Assembly approved HB 1539/SB 856, which provides \$154 million per year in dedicated capital funding for WMATA. Of this amount, \$102 million is annually being diverted from existing local and regional sources. The financial impact of this legislation on the TPP is expected to be approximately \$45-50 million per year. At the Board Transportation Committee meeting on July 18, 2018, staff informed the Board that funding is not available to advance any additional projects at this time. The transportation funding situation wasn't addressed during the 2019 General Assembly session but may be addressed in the future. If new transportation revenues become available, staff will revisit the proposed list of projects evaluated for the TPP. In the meantime, the TPP update is on hold.

It is envisioned that the TPP will be revised periodically, resulting in a rolling funding plan for County transportation projects. It will also be updated to reflect actions of the Commonwealth Transportation Board, the Northern Virginia Transportation Authority, and other funding agencies. Projects with projected start dates in

FY2019 (when scoping and initial coordination will begin) have been added to the project status section of this report. Projects with project start dates in FY2020 or later are listed below. A more detailed list of projects with projected timelines along with more information on the TPP can be found at www.fairfaxcounty.gov/transportation/tpp-2017.

71 TPP projects have been completed to date.

Transportation Priorities Plan: FY2019 – FY2020 Projects

TPP ID No.	Project Name	District	Est. Cost (\$M)	TPP Funding (\$M)	Projected Scoping Start
13	Dulles Toll Road - South Lakes Drive Overpass	Hunter Mill	\$82.25	\$0.50	TBD
49-53	Fairfax County Parkway Improvements	Braddock, Dranesville, Hunter Mill, Springfield, Sully	\$396.10	\$55.00	Study underway*
157	Old Dominion Drive Walkway	Dranesville	\$0.25	\$0.25	1/1/2020
159	Olney Road Walkway	Dranesville	\$0.50	\$0.50	1/1/2020
197	Georgetown Pike (Route 193) Crosswalk	Dranesville	\$0.10	\$0.10	1/1/2020
199	Georgetown Pike (Route 193) Walkway	Dranesville	\$1.00	\$0.05	1/1/2020
204	Ingleside Avenue Walkway	Dranesville	\$0.95	\$0.95	1/1/2020
215	Cleveland Ramp	Providence	TBD	\$2.00	Conceptual design completed

*Widening from Route 29 to Route 123 and the Popes Head Road interchange are in design.

Abbreviations

ADA = Americans with Disabilities Act	N/A = Not Available or Not Applicable
BMP = "Best Management Practices" Stormwater Management Facility	NB = Northbound
BRT = Bus Rapid Transit	NEPA = National Environmental Policy Act
CIM = Community Information Meeting	NTP = Notice to Proceed
COG = Council of Governments	NVCC = Northern Virginia Community College
CTB = Commonwealth Transportation Board	NVTA = Northern Virginia Transportation Authority
CPTED = Capital Projects and Traffic Engineering Division, Department of Transportation	NVTC = Northern Virginia Transportation Commission
DCBPA = Dulles Corridor Bicycle and Pedestrian Access	PCE = environmental Programmatic Categorical Exclusion
DHR = Department of Historic Resources	PFI = Preliminary Field Inspection
DPWES = Department of Public Works and Environmental Services	PIM = Public Information Meeting
DPZ = Department of Planning and Zoning	PPTA = Public-Private Transportation Act
DRPT = Department of Rail and Public Transportation	RFP = Request for Proposals
DTR = Dulles Toll Road	RFQ = Request for Qualifications
DVP = Dominion Virginia Power	RHPTI = Richmond Highway Public Transportation Initiative
EB = Eastbound	RMAG = Reston Metrorail Access Group
EIS = Environmental Impact Statement	ROW = Right-of-Way
ES = Elementary School	RT7PI = Route 7 Pedestrian Initiative
FCDOT = Fairfax County Department of Transportation	RT50PI = Route 50 Pedestrian Initiative
FCPA = Fairfax County Park Authority	SB = Southbound
FCPS = Fairfax County Public Schools	STPD = Site Analysis and Transportation Planning Division, Department of Transportation
FHWA = Federal Highway Administration	SUP = Shared-Use Path
FMD = Facilities Management Department	SWM = Stormwater Management
FY = Fiscal Year	TBD = To Be Determined
HMSAMS = Herndon Metrorail Stations Access Management Study	TDD = Transportation Design Division, Department of Transportation
HS = High School	TMP = Traffic Management Plan
IJR = Interchange Justification Report	TMSAMS = Tysons Metrorail Station Access Management Study
IMR = Interchange Modification Report	TPP = County Transportation Priorities Plan (six-year funding plan)
LAD = Land Acquisition Division, Department of Public Works and Environmental Services	UDCD = Utilities Design and Construction Division, Department of Public Works and Environmental Services
LDS = Land Development Services Department	VDOT = Virginia Department of Transportation
LF = Linear Feet	VPDES = Virginia Pollutant Discharge Elimination System
LUP = Virginia Department of Transportation Land Use Permit	VRE = Virginia Railway Express
MOA = Memorandum of Agreement	VSMP = Virginia Stormwater Management Program
MOU = Memorandum of Understanding	WB = Westbound
MSMD = Maintenance and Stormwater Management Division, Department of Public Works and Environmental Services	WMATA = Washington Metropolitan Area Transit Authority
MUTCD = Manual on Uniform Traffic Control Devices	
MWAA = Metropolitan Washington Airports Authority	

Project Status Report Key**Program Identifiers*****DCBPA** = Dulles Corridor Bicycle and Pedestrian Access****HMSAMS** = Herndon Metrorail Stations Access Management Study****RHPTI** = Richmond Highway Public Transportation Initiative****RMAG** = Reston Metrorail Access Group****RT50PI** = Route 50 Pedestrian Initiative****SRTS** = Safe Routes to School****TMSAMS** = Tysons Metrorail Station Access Management Study***Season Convention*****Winter** = January through March****Spring** = April through June****Summer** = July through September****Fall** = October through December***Status*****Bid Ad******Cancelled******Complete******Construction*******Design******Design-Build******On Going******On Hold******Project Initiation******Land Acquisition******Study******Utility Relocation*****Construction phase begins when design and Land Acquisition are complete, and may include pre-advertisement activities, bid advertisement, and contract award.***Funding Source*****ARRA** = American Recovery & Reinvestment Act of 2009****C & I** = Commercial and Industrial Property Tax for Transportation****CMAQ** = Congestion Mitigation & Air Quality****DAR** = Defense Access Road****DOD** = Department of Defense****FTA** = Federal Transit Administration****HB2** = State funding provided by Commonwealth Transportation Board after 7/1/16 (Smart Scale FY2018 and beyond)****HSIP** = Highway Safety Improvement Program (formerly HES)****JARC** = Job Access Reverse Commute****NVTD Bonds** = Northern Virginia Transportation District Bonds****NVTA** = Northern Virginia Transportation Authority local and/or regional funds****OEA** = Office of Economic Adjustment****Primary** = Primary 6-Year Program****RSTP** = Regional Surface Transportation Program****Secondary** = Secondary 6-Year Program****SGR** = State of Good Repair*

Braddock District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Braddock Road Multimodal Corridor Improvements	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	620	Project Initiation	\$ 120M		\$ 5.4M	NVTA Regional
District(s): Braddock	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Borkowski, Tad		Design	TBD	TBD
Scope: Intersection and corridor improvements from Guinea Road to Ravensworth Road, including bicycle and pedestrian facilities	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-081-000		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	45				
	Other Project No:	UPC 114627; 0620-029-468				
VDOT will implement the project. Board approved revised agreements for 30% design of phases I and II on 5/21/19. Field survey and consultant procurement scheduled for late summer 2019 through spring 2020. CIM in winter 2021. Public hearing in summer 2021. Design approval fall 2021.						

Braddock Road/Roberts Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	620	Design	\$ 1.6M		\$.85M	2014 Bonds	
District(s): Braddock	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
Scope: Add a Northbound Right Turn lane on Roberts Road at Braddock Road, including a sidewalk connection from Tapestry Drive to Braddock Road	Project Manager:	Roberson, Jeanmarie		Design	Jan-16	Jul-19 Sep-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Feb-19 Apr-19	Sep-19 Jul-19	
	FC Project No:	5G25-059-002		Utility Relocation	Nov-18	Jul-19 Sep-19	
	Program:			Construction	Oct-19 Dec-19	Jun-20 Sep-20	
	TPP No:	317					
	Other Project No:						
Project is part of Third Four-Year Transportation Program approved by BOS on 7/10/12. Addressing VDOT Traffic Engineering comments for final signal approval. Land acquisition completed 7/12/19. Utility relocations are 80% complete. Schedule adjusted due to delay receiving VDOT review and approval of signal plans and signing and marking plans required for permit submission.							

Burke Centre VRE Connector Phase IV	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		Design	\$ 3M		\$ 1.2M	2014 Bonds	
District(s): Braddock	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Hojatzadeh, Max		Design	Feb-16	Nov-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Oct-18	Jul-19	
Scope: Connect VRE station to surrounding neighborhoods to the west via shared-use path, sidewalk, and sharrows	FC Project No:	ST-000037-003		Utility Relocation	Aug-19	Nov-19	
	Program:			Construction	Dec-19	Jan-21	
	TPP No:	346					
	Other Project No:						
Land acquisition completed on 7/10/19. Retaining wall plans submitted to LDS on 4/15/19. Retaining wall plan comments received from LDS on 5/1/19. Comments have been addressed, and plans submitted to LDS for approval.							

Braddock District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Fairfax County Parkway Widening from Route 29 to Route 123	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	286	Design	\$ 194.1M		\$ 144M	NVTA Local, Smart Scale Funding
District(s): Braddock, Springfield	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
Scope: Widen from 4 to 6 lanes, including Popes Head Road interchange and improvements to pedestrian and bicycle facilities	Project Manager:	Qi, Maggie		Design	Aug-16	Nov-20 Sep-23
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Oct-19 Mar-21	Jan-21 Jun-22
	FC Project No:	DOT-000045		Utility Relocation	Oct-19 Aug-22	Jan-21 Aug-23
	Program:			Construction	Feb-21 Nov-23	Dec-23 Mar-25
	TPP No:	1, 51				
Other Project No:	UPC 107937					
Project delivery changed from Design-Build to Design-Bid-Build. NEPA documents in progress. Addressing public comments and working on IJR. Evaluating alternatives for Popes Head Road interchange. Design Public Hearing expected in late 2019/early 2020. Schedule shown for Phase I only (Popes Head Road interchange). Schedule for Phase II (Fairfax County Parkway Widening) to be determined based on funding procurement. Schedule adjusted due to change in project delivery and to allow time for community involvement and evaluation of interchange alternatives.						

Government Center Area Bicycle Demonstration Project	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
		On-Hold	\$.18M		\$.18M		C & I		
District(s): Braddock	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Wynands, Nicole		Design		Apr-14		TBD	
Scope: Improve bicycling in the Fairfax Government Center Area by retrofitting roadways using road/lane diets	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA		NA	
	FC Project No:	5G25-063-007		Utility Relocation		NA		NA	
	Program:			Construction		TBD		TBD	
	TPP No:	129							
	Other Project No:								
Roads to be evaluated include Government Center Parkway (Random Hills Road to Fairfax City), Post Forest Drive (West Ox Road to Government Center Parkway), Legato Road (Post Forest Drive to Route 29), and Ridge Top Road (Random Hills Road to Route 29). Each street is evaluated as it is identified for repaving by VDOT. Bike lanes on Post Forest and Ridge Top Road were implemented in 2018 through VDOT repaving. Both roads received road diets. Government Center Parkway and Legato Road will be evaluated when they are identified by VDOT for repaving.									

I-66 from I-495 Capital Beltway to University Boulevard in Gainesville	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	66	Design-Build	\$ 3218M		\$ 3218M		Federal, State, Private		
District(s): Braddock, Hunter Mill, Providence, Springfield, Sully	Project Type:	Interstate	Schedule	Phase		Start Date		End Date	
	Project Manager:	Xiong, Yuqing		Design		Jul-14		Oct-19	
Scope: 2 Express and 3 general purpose lanes in each direction, including rapid bus service, a parallel trail, and safety, operational, and interchange improvements	Lead Agency:	Virginia Department of Transportation		Land Acquisition		Apr-18		TBD	
	FC Project No:	DOT-000015		Utility Relocation		Apr-18		TBD	
	Program:			Construction		Nov-17		Dec-22	
	TPP No:	3							
	Other Project No:	UPC 110741, 110496, 108491							
PIM held June 5, 2019. FCDOT received IJR 2040 re-evaluation comments from VDOT in June 2019. The proposed Nutley Street/I-66 interchange was revised from diverging diamond to modified roundabouts. County staff reviewed design changes and provided comments. The design and IJR are both in final development for this segment. An agreement between FCDOT and VDOT has been negotiated to fund several segments of off corridor trails, and more are under review. Partnering efforts continue on meeting higher water quality standard for stormwater management.									

Braddock District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Lakepointe Drive/Guinea Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	5422	Complete	\$ 1.1M		\$.3M	2014 Bonds
District(s): Braddock	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	Feb-16	May-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Apr-17	Aug-17
Scope: Construct approximately 825 LF of sidewalk, including curb and gutter, pedestrian crosswalks, and curb ramps on north and east legs of intersection	FC Project No:	5G25-060-004		Utility Relocation	Dec-17	Mar-19
	Program:			Construction	Jun-18	Aug-19 Apr-19
	TPP No:	330				
	Other Project No:					
Construction substantially completed on 4/23/19.						

Monument Drive Commuter Parking Garage and Transit Center	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	6751	Design	\$ 38.5M		\$ 38.5M		I-66 Concession Funds	
District(s): Braddock	Project Type:	Transit	Schedule	Phase	Start Date		End Date	
	Project Manager:	Luo, Caijun		Design	Mar-19 Apr-19		Mar-21	
	Lead Agency:	Capital Facilities		Land Acquisition	Sep-19		Dec-20	
Scope: Approximately 820 space parking garage and transit center including carpool, bicycle, and pedestrian facilities	FC Project No:	DOT-000092		Utility Relocation	Feb-20		Dec-20	
	Program:			Construction	Mar-21		Jun-23	
	TPP No:							
	Other Project No:	TF-000044-002; UPC 112817						
Design NTP issued on 4/3/19. Meetings held in May and June 2019 concerning different design concepts. One preferred concept selected June 2019 for schematic design phase. Traffic study scope of work meeting held with VDOT June 2019. NEPA Categorical Exclusion Concurrence form submitted to VDOT July 2019. Schematic design plans distributed for review.								

Northern Virginia Community College Transit Center	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		On-Hold	\$ 1M		\$ 1M	2007 Bonds	
District(s): Braddock	Project Type:	Transit	Schedule	Phase		Start Date	End Date
	Project Manager:	Luo, Caijun		Design		TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD	TBD
Scope: Construct transit center with up to 7 bus bays and amenities, such as shelters and lighted kiosks	FC Project No:	5G25-056-000		Utility Relocation		TBD	TBD
	Program:			Construction		TBD	TBD
	TPP No:						
	Other Project No:						
FCDOT provided conceptual layout to NVCC. Developed planning level cost estimates and forwarded to NVCC. Draft funding and administration agreement sent to NVCC for review. Consensus has not been reached on a location or concept plan. Coordinating next steps with the district office and NVCC.							

Braddock District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Rolling Road VRE Parking Expansion	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	638	Design	\$ 2M		\$ 1.1M	C & I	
District(s): Braddock, Springfield	Project Type:	Transit	Schedule	Phase	Start Date	End Date	
	Project Manager:	Fasceski, Jeff		Design	Aug-18	Jun-21	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Aug-20 May-20	Feb-21	
Scope: Surface parking lot expansion	FC Project No:	2G40-055-000		Utility Relocation	TBD	TBD	
	Program:			Construction	Dec-21	Sep-22	
	TPP No:	358					
	Other Project No:						
Pre-final design is in progress.							

Rolling Road Walkway from Roxbury Avenue to Tuttle Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	638	Design	\$ 2.5M		\$.8M		2014 Bonds	
District(s): Braddock	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Marsh, Dennis		Design		Feb-16		Jun-19 Jan-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Nov-18		May-19 Jul-19
Scope: Construct approximately 900 LF of 8-foot concrete sidewalk along northbound side of Rolling Road	FC Project No:	5G25-060-036		Utility Relocation		Feb-19 Aug-19		Jul-19 Apr-20
	Program:			Construction		Aug-19 Feb-20		May-20 Nov-20
	TPP No:	167						
	Other Project No:							
Final design in progress. LAD NTP 11/30/18. Land acquisition completed 7/29/19. Utility relocations (water, gas, and fiber optics) within right-of-way are under design. Additional utility designation received on 4/15/19. Schedule adjusted based on additional SWM design and utility impacts.								

Rolling Road Widening (Old Keene Mill Road Intersection Improvements)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	638	Land Acquisition	\$ 4.755M		\$ 4.755M	Secondary, NVTA Regional	
District(s): Braddock, Springfield	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Chellappa, Smitha		Design	Feb-16	Apr-19 Jun-19	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Apr-19 Jul-19	Oct-19 Dec-19	
Scope: Improvements to the Old Keene Mill Road and Rolling Road intersection	FC Project No:	DOT-000091		Utility Relocation	Oct-19 Dec-19	Apr-20 Jul-20	
	Program:			Construction	Apr-20 Jul-20	Apr-21 Jun-21	
	TPP No:	58					
	Other Project No:	UPC 109814					
Dual left turn lanes and a dedicated right turn lane will be provided on northbound Rolling Road. 30% design completed. Design Public Hearing held on 2/27/18. Board endorsed public hearing plans on 7/31/18. Schedule adjusted due to additional time required to finalize the ROW package. NTP for ROW acquisition was issued 7/29/19.							

Braddock District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Route 236 Widening from I-495 to John Marr Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	236	On-Hold			\$ 2.5M	TBD	
District(s): Braddock, Mason	Project Type:	Secondary Road	Schedule	Phase		Start Date	End Date
	Project Manager:	Luo, Caijun		Design		TBD	TBD
Scope: Widen from 4 to 6 lanes, including streetscape improvements	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD	TBD
	FC Project No:	DOT-000026		Utility Relocation		TBD	TBD
	Program:			Construction		TBD	TBD
	TPP No:	221					
	Other Project No:						
Cost estimate being developed. Partial funding for feasibility study. Improves access and facilitates economic redevelopment. Project is on hold until further funding is identified.							

Shirley Gate Road from Braddock Road to Fairfax County Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	655	Design	\$ 51M		\$ 30M		Local Fund	
District(s): Braddock, Springfield	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date
Scope: Extend 4-lane divided Shirley Gate Road from Braddock Road to Fairfax County Parkway, including pedestrian and bicycle facilities	Project Manager:	Lilley, Ronald		Design		Jun-19		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
	FC Project No:	2G40-079-000		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	18						
Other Project No:								
Planning study completed. Project has been transitioned to the preliminary engineering and conceptual design phase to help define the overall project configuration. Survey completed. Preliminary design contract approved. Developing project schedule. Ordering utility designation. Anticipate traffic data collection fall 2019.								

Wakefield Chapel Road Bike Lanes from Pulley Court to NVCC Campus	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	710	Design	\$ 2M		\$.13M		2014 Bonds		
District(s): Braddock	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
Scope: Construct 5-foot bike lanes on Wakefield Chapel Road from Pulley Court to NVCC Campus, including minor widening and section of new 5-foot sidewalk	Project Manager:	Zahirieh, Shahla		Design		Mar-17		Aug-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Dec-18		Aug-19	
	FC Project No:	5G25-063-002		Utility Relocation		TBD Sep-19		TBD Jan-20	
	Program:			Construction		Jan-20		Nov-20	
	TPP No:	343							
	Other Project No:								
All land rights have been acquired. Permit plans underway.									

Braddock District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Wakefield Chapel Road Walkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	710	Project Initiation	\$.5M		\$.5M	2014 Bonds
District(s): Braddock	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Borkowski, Tad		Design	TBD	TBD
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
Scope: Install walkway on east side from Braddock Road to Stahlway Lane	FC Project No:	5G25-060-046		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	342				
	Other Project No:					
Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. After initial scoping and coordination with the district supervisor, it was decided to include walkway as part of the Braddock Road Multimodal Improvements, TPP Project No. 45, that are moving into design.						

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Balls Hill Road and Old Dominion Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	686	Project Initiation	\$.2M		\$.2M	NVTA Local
District(s): Dranesville	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Roberson, Jeanmarie		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Intersection improvements, including possible roundabout and pedestrian facilities	FC Project No:	2G40-087-002		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	22				
	Other Project No:					
Advanced land acquisition activities completed. Board endorsed preferred option in December 2018. Study complete and forwarded for design. Negotiating design task order. Schedule to be determined once survey is complete which is anticipated in spring 2020.						

Baron Road Walkway from Dead Run Park Trailhead to Douglass Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	606	Complete	\$.7M		\$.7M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
Scope: Construct approximately 430 LF of sidewalk, including curb and gutter and curb ramps	Project Manager:	Ruffner, Scott		Design	Jan-16	May-18	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Mar-17	Aug-17	
	FC Project No:	2G40-088-015		Utility Relocation	NA	NA	
	Program:			Construction	Jun-18	May-19 Feb-19	
	TPP No:	94					
	Other Project No:						
Construction substantially complete 2/28/19.							

Birch Street Sidewalk	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	1744	Construction	\$ 1.7M	\$ 1M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Hojatzadeh, Max		Design	Dec-11	Oct-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-15	Nov-16
Scope: Approximately 700 LF of concrete sidewalk on west side of Birch Street from Grove Avenue to existing Falls Church City sidewalk	FC Project No:	ST-000003-048		Utility Relocation	Aug-17	Apr-18
	Program:			Construction	Sep-18	Jun-19 Oct-19
	TPP No:					
	Other Project No:	PPTF01-04800				
Construction 75% complete. Schedule adjusted due to additional time required to undercut and remove unsuitable soil encountered.						

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Chain Bridge Road at Wasp Lane	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	123	Design	\$.1M		\$.04M	2014 Bonds
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Fasceski, Jeff		Design	TBD May-18	TBD Aug-19
Scope: Install Rapid Flash Rectangular Beacon (RRFB) and crosswalk on Chain Bridge Road at Wasp Lane	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD NA	TBD NA
	FC Project No:	ST-000005-002		Utility Relocation	TBD NA	TBD NA
	Program:			Construction	TBD Oct-19	TBD Mar-20
	TPP No:	692				
	Other Project No:					
Received permission to move forward with permit submission from VDOT on 7/24/19. Preparing VDOT permit package and UDCD construction package.						

Chandon Park to Worldgate	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		Bid Advertisement	\$.5M		\$.5M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Wells, Chris		Design	Dec-17	Apr-19	
	Lead Agency:	Town of Herndon		Land Acquisition	Aug-18 NA	TBD NA	
Scope: Install shared-use path and lighting from Dulles Glen Apartments to Worldgate Drive	FC Project No:	2G40-086-010		Utility Relocation	NA	NA	
	Program:	HMSAMS		Construction	Jul-19 Sep-19	Sep-19 Dec-19	
	TPP No:	190.09					
		Other Project No:					
Project location within the Town of Herndon. Project administered by the Town of Herndon. No land rights required. Trail alignment redesigned as a result of input from the Dulles Glen Apartment owners concerning the tie in point to their property being in the complex maintenance area. Trail redesigned to create an alternate access point to the apartment complex, as well as a connection with Herndon Parkway. Bid advertisement and start of construction delayed due to redesign.							

Chesterbrook Road Walkway from Chesterbrook Vale Court to North Albemarle Street of Chesterbrook Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	689	On-Hold	\$ 1.3M		\$ 1.3M		C & I		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
Scope: Construct walkway on southside of Chesterbrook Road	Project Manager:	Chellappa, Smitha		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
	FC Project No:	2G40-088-005		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	107							
	Other Project No:								
Project on-hold until fall 2019, based on community input to prioritize the Chesterbrook Road Walkway from Chesterford Way to Chesterbrook Vale Court project ahead of this project.									

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Chesterbrook Road Walkway from Chesterford Way to Maddux Lane	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	689	Utility Relocation	\$ 2.4M		\$ 1.8M	C & I
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Construct 5-foot concrete sidewalk on the southside of Chesterbrook Road	Project Manager:	Turner, Latesa		Design	May-15	Feb-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-17	Dec-17
	FC Project No:	2G40-088-016		Utility Relocation	May-18	May-19 Jun-19
	Program:			Construction	Mar-19 May-19	Oct-19 Jun-20
	TPP No:	305				
Other Project No:						
Final construction package submitted to UDCD on 5/20/19. Washington Gas line relocation is complete. Bid advertisement on 5/22/19. Bid opening 6/24/19. Board notification of contract award routing in progress. NTP anticipated in September 2019. Schedule adjusted due to delay in Washington Gas line utility relocation completion and to match construction contract duration.						

Chesterbrook Road Walkway from Forest Lane to North 41 Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	689	Project Initiation	\$ 1M		\$ 1M		C & I		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Steinhilber, Will		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct walkway on southside of Chesterbrook Road	FC Project No:	2G40-088-071		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	240							
	Other Project No:								
Initial scoping and coordination in progress. Anticipate completing scope and forwarding for design in fall 2019.									

Chesterbrook Road Walkway from North Albemarle Street to Forest Lane	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	689	Project Initiation	\$ 1M		\$ 1M		C & I		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Steinhilber, Will		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct walkway on south side of Chesterbrook Road	FC Project No:	2G40-088-070		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	239							
	Other Project No:								
Initial scoping and coordination in progress. Anticipate completing scope and forwarding for design in fall 2019.									

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Crestview Drive Walkway from Eldridge Lane to Builders Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	2525	Project Initiation	\$.6M		\$.3M	TBD
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Xiong, Yuqing		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Construct walkway on the east side of Crestview Drive	FC Project No:	DOT-000072		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	195				
	Other Project No:					
Project scoping complete. Evaluating available funding before forwarding for design.						

Crestview Drive Walkway from Ferris Avenue to Builders Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	2525	Project Initiation	\$.6M		\$.4M		TBD		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Xiong, Yuqing		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct walkway on the west side of Crestview Drive	FC Project No:	DOT-000073		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	196							
	Other Project No:								
Project scoping complete. Evaluating available funding before forwarding for design.									

Davis Drive Bridge	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Study	\$ 164.9M	\$ 21M	NVTA Local	
District(s): Dranesville	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Bandy, Audra		Design	TBD	TBD
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
Scope: Construct a 4-lane roadway over the Dulles Toll Road from Sunrise Valley Drive in Fairfax County to Innovation Avenue in Loudoun County	FC Project No:	2G40-148-000		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	12				
	Other Project No:					
Partial funding for feasibility study and preliminary design. Kick-off meeting held by VDOT in April 2019. Traffic analysis underway.						

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Dolley Madison Boulevard Sidewalk from Old Dominion Drive to Beverly Avenue	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	123	Complete	\$.45M		\$.4M	2014 Bonds
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Install sidewalk on south side of Dolley Madison Boulevard	Project Manager:	Zahirieh, Shahla		Design	Oct-15	Aug-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-17	Jul-18
	FC Project No:	5G25-060-016		Utility Relocation	Apr-18	Dec-18
	Program:			Construction	Oct-18	Jun-19 Feb-19
	TPP No:	348				
	Other Project No:					
Construction substantially complete 2/12/19.						

Dolley Madison Boulevard Walkway from East of Buchanan to Potomac School Road/Georgetown Pike	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	123	Project Initiation	\$ 3.5M		\$ 4M		C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
Scope: Construct walkway on southside of Dolley Madison Boulevard from existing walkway east of Buchanan to Potomac School Road/Georgetown Pike	Project Manager:	Bandy, Audra		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
	FC Project No:	2G40-088-068		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	237						
	Other Project No:							
Scoping complete. Will forward for design once funding is available.								

Dolley Madison Boulevard Walkway from Great Falls Street to McLean Metrorail Station	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	123	Construction	\$ 2.757M		\$ 3.023M		CMAQ		
District(s): Dranesville, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Lauretti, Francesco		Design		Mar-13		Jun-17	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jul-16		Apr-17	
Scope: Approximately 2,400 LF of multi-use trail and sidewalk from Dolley Madison Boulevard/Great Falls Street to McLean Metrorail Station	FC Project No:	AA1400065-12		Utility Relocation		Sep-16		Mar-19	
	Program:	DCBPA		Construction		Jan-19		Apr-20	
	TPP No:								
	Other Project No:	DCBPA-065; UPC 103262							
Contract awarded 6/5/19. VPDES reissuance application submitted to LDS 4/10/19. Construction NTP 8/12/19.									

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Dulles Rail Phase 2	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
		Construction	\$ 2778M		\$.33M	Federal
District(s): Dranesville, Hunter Mill	Project Type:	Transit	Schedule	Phase	Start Date	End Date
	Project Manager:	Canale, Mark		Design	Jul-13	Jun-15
Scope: Construct six new stations, three in Fairfax County, and extend Metrorail from Wiehle Avenue to Ashburn Station (Route 772) in Loudoun County	Lead Agency:	Metropolitan Washington Airports Authority		Land Acquisition	Jul-13	Jan-16
	FC Project No:	DOT-000003		Utility Relocation	Jul-13	Oct-16
	Program:			Construction	Feb-14	Aug-19 TBD
	TPP No:					
	Other Project No:	UPC 97226				
Bid Packet A (Rail Stations, Systems, and Line) was awarded in May 2013. Notice to proceed was issued in July 2013 with a 60 month design-build schedule. Herndon Station garage is completed. Construction of Innovation Center Station garage was delayed due to required remediation of the foundation structure. Innovation Center Station garage is estimated for completion by early 2020. For further information, see http://www.dullesmetro.com . Revenue service date will be established by the WMATA Board.						

Dulles Toll Road/Centreville Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	267	Complete	\$.088M	\$.4M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Marsh, Dennis		Design	Feb-17	Apr-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
Scope: Install signalized pedestrian crosswalk	FC Project No:	2G40-086-008		Utility Relocation	NA	NA
	Program:	HMSAMS		Construction	Apr-18	Mar-19 May-19
	TPP No:	190.07				
	Other Project No:					
Construction substantially complete on 5/20/19.						

Dulles Toll Road/Monroe Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	267	On-Hold	\$ 5.5M			C & I	
District(s): Dranesville, Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Delmare, Lauren		Design		Nov-16	Sep-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA	NA
Scope: Pedestrian and bicycle bridge over Dulles Toll Road	FC Project No:	2G40-086-006		Utility Relocation		NA	NA
	Program:	HMSAMS		Construction		NA	NA
	TPP No:	190.03					
	Other Project No:						
Funded for feasibility study and cost estimates. Study complete. Project on hold until further funding is identified. Funding recommendations expected in fall 2019.							

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Frying Pan Road Widening from Route 28 to Centreville Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	608	On-Hold	\$ 54.3M			
District(s): Dranesville, Hunter Mill	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
Scope: Widen Frying Pan Road to 6 lanes, including intersection improvements and pedestrian and bicycle facilities	Project Manager:	Stevens, Daniel		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000043		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	54				
Other Project No:						
Project is on hold due to need for funding. Frying Pan Road is being analyzed as part of a VDOT study of the Route 28/Dulles Toll Road/Dulles Greenway interchange.						

Georgetown Pike and Route 123	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	193	Design	\$ 1.3M		\$ 1.2M	NVTA	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
Scope: 700 LF of 10-foot SUP on east side of Georgetown Pike south of Colonial Farm Road and 350 LF of 5-foot sidewalk on east side of Route 123 and Potomac School Road	Project Manager:	Nabavi, Seyed		Design	Apr-17	May-19 Jul-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Aug-18	Feb-19	
	FC Project No:	2G40-087-011		Utility Relocation	NA	NA	
	Program:			Construction	Jul-19 Aug-19	Apr-20	
	TPP No:	313					
	Other Project No:						
Draft construction package is in progress. Permit plan submitted to VDOT on 7/30/19.							

Georgetown Pike Walkway Phase III from Falls Bridge Lane East to Existing Trail	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	193	Complete	\$.3M		\$.3M		Federal		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Dresser, John		Design		Dec-13		Aug-18	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		May-18		Jun-18	
Scope: Approximately 275 LF trail along the north side of Georgetown Pike	FC Project No:	AA1400130-13		Utility Relocation		Aug-18		Dec-18	
	Program:			Construction		Nov-18		Dec-19 Aug-19	
	TPP No:								
	Other Project No:	GTP-130, EN99-029-164							
Construction substantially complete 8/1/19.									

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Georgetown Pike Walkway Phase IV from IIs Bridge Lane to Seneca Plaza	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	193	Construction	\$ 1M		\$ 1M	C & I
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 1200 LF of 6-foot walkway along the north side of Georgetown Pike	Project Manager:	Dresser, John		Design	Feb-16	Feb-19 Mar-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Oct-18	Jan-19
	FC Project No:	2G40-088-036		Utility Relocation	Nov-18	May-19 Jun-19
	Program:			Construction	Jun-19 Apr-19	Jan-20 Nov-19
	TPP No:	125				
	Other Project No:					
Utility relocations completed 5/31/19 (Verizon and Dominion Energy). Final construction package sent to UDCD on 4/25/19. Pre-construction meeting held on 7/2/19. Construction NTP date was 7/22/19.						

Great Falls Street Walkway from Grande Lane to Haycock Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		Project Initiation	\$.4M		\$.4M	TBD	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	CPTED, To Be Determined		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Construct walkway on west side of Great Falls Street	FC Project No:	DOT-000076		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	201					
	Other Project No:						
Project scoping deferred until funding is identified.							

Great Falls Street Walkway from I-66 Bridge to North West Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	697	Construction	\$ 3.25M		\$ 1.2M		2014 Bonds	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Beall, James		Design		Oct-15		Mar-19 May-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Dec-17		Jul-18
Scope: Construct approximately 1,400 LF of sidewalk and curb and gutter along the east side of Great Falls Street	FC Project No:	5G25-060-042		Utility Relocation		Jan-19		May-19 Aug-19
	Program:			Construction		Mar-19 Jul-19		Apr-20 Nov-20
	TPP No:	202						
	Other Project No:							
Verizon, Cox, and Dominion relocations are in progress. Washington Gas line relocations are complete. VDOT construction permit received 6/14/19. UDCD revising draft bid book based on TDD comments. Schedule adjusted due to additional time required to obtain VDOT final plan approval (additional geotechnical and hydraulics comments required for third final VDOT submittal on 4/15/19), and to match construction contract duration. Bid advertisement 8/26/19.								

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Herndon Parkway from W&OD Trail to Fairbrook Drive	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	924	Land Acquisition	\$ 1.55M	\$.1M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	Apr-17	Oct-19
	Lead Agency:	Town of Herndon				
Scope: Add approximately 2,100-ft of two-way cycletrack on south side of Herndon Parkway	FC Project No:	DOT-000005		Land Acquisition	Apr-19	Feb-20
	Program:	HMSAMS		Utility Relocation	Jul-19	Apr-20 Jul-20
	TPP No:	190.08		Construction	Mar-20 Jan-21	Dec-20 Aug-22
	Other Project No:					
Project location within the Town of Herndon. Project administered by Town of Herndon. Project incorporated into VDOT East Spring Street Widening project. Agreement for partial funding for construction anticipated in fall 2019. Land acquisition in progress. Schedule adjusted to match VDOT East Spring Street Widening project.						

Herndon Parkway/Herndon Metro Entrance North	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	924	Land Acquisition	\$.25M		\$.25M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Wells, Chris		Design		Apr-17	Mar-18
	Lead Agency:	Town of Herndon					
Scope: Install mid-block signalized crosswalk	FC Project No:	2G40-086-005		Land Acquisition		May-18	Dec-19
	Program:	HMSAMS		Utility Relocation		Mar-19	Dec-19
	TPP No:	190.03		Construction		Feb-20	Dec-20
	Other Project No:						
Project location within the Town of Herndon. Intersection project with pedestrian improvements and transit bus bays currently administrated by the Town of Herndon. Land acquisition in progress.							

Hunter Mill Road Bridge over Difficult Run	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	674	On-Hold	\$.5M		\$.32M		Bridge, RSTP		
District(s): Dranesville, Hunter Mill	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date	
	Project Manager:	Steinhilber, Will		Design		Sep-13		Jan-18	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Replace temporary bridge with permanent structure	FC Project No:	DOT-000009		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:								
	Other Project No:	UPC 102691							
Public hearing held on 6/17/15. The design concepts of the project have been approved by VDOT and Fairfax County. The bridge is currently in good condition and is not eligible for State of Good Repair (SGR) funding. The project is currently on hold, since SGR funding is only for bridges in poor condition and classified as structually deficient.									

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
I-495 Express Lanes Northern Extension	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	495	Design-Build				Federal, State, Private
District(s): Dranesville, Providence	Project Type:	Interstate	Schedule	Phase	Start Date	End Date
	Project Manager:	Xiong, Yuqing		Design	Apr-18	Jun-19 Dec-20
Scope: Extend Express Lanes approximately 3.5 miles along I-495 between the Route 123 interchange and the Maryland state line at the American Legion Bridge	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000096		Utility Relocation	TBD	TBD
	Program:			Construction	TBD Dec-20	TBD Dec-23
	TPP No:					
	Other Project No:	UPC 113414				
NEPA process started in June 2018, and the first PIM was held on 6/11/18. The second PIM was held in May 2019. The project team met with FCDOT and DPWES in October 2018 and January 2019 to start coordination on stormwater management and bicycle and pedestrian facilities. Fairfax County provided initial comments to VDOT in April 2019, and VDOT has provided revised trail map in June 2019. The current project estimate and allocated funding is between \$500 million and \$600 million. Updated project schedule.						

I-66 Inside the Beltway Eastbound Widening Project	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	66	Design-Build	\$ 125M		\$ 125M		Federal, State		
District(s): Dranesville	Project Type:	Interstate	Schedule	Phase		Start Date		End Date	
	Project Manager:	Xiong, Yuqing		Design		Feb-16		Dec-17	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Widen I-66 eastbound between the Dulles Connector Road and Fairfax Drive	FC Project No:	DOT-000016		Utility Relocation		TBD		TBD	
	Program:			Construction		Jan-18		Oct-21	
	TPP No:								
	Other Project No:	UPC 108424							
The project team hosted the Pardon Our Dust Meeting on July 10, 2019. Final design is underway, including the design for the I-66 Eastbound Direct Access to West Falls Church Metrorail Station. Final Noise Study was completed and released in February 2019. New lane is scheduled to be open to traffic by fall 2020. The construction for W&OD Trail bridge started in April 2019, and the construction for Metro access ramp is scheduled to start summer 2020.									

Idylwood Road from Norwalk Street to Eastman Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	695	Complete	\$.3M		\$.59M		C & I		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Nabavi, Seyed		Design		May-17		Jan-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA		NA	
Scope: Construct 200 LF of 5-foot wide sidewalk along Idylwood Road	FC Project No:	2G40-088-024		Utility Relocation		NA		NA	
	Program:			Construction		Feb-19		Aug-19 Jun-19	
	TPP No:	136							
	Other Project No:								
Construction substantially complete on 6/21/19.									

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Idylwood Road Walkway from Friendship Lane to Stephanie Marie Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	695	Project Initiation	\$.3M		\$.3M	Developer
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Askarzadeh, Negin		Design	NA	NA
	Lead Agency:	Developer		Land Acquisition	NA	NA
Scope: Construct walkway on the north side of Idylwood Road	FC Project No:	DOT-000077		Utility Relocation	NA	NA
	Program:			Construction	NA	NA
	TPP No:	203				
	Other Project No:					
An 8-foot asphalt walkway will be constructed by the developer. Development plan approved on 2/14/17. Developer anticipates starting construction in summer 2020.						

Innovation Avenue/Rock Hill Road to Innovation Center Metrorail Station	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	847	Land Acquisition	\$.55M		\$.5M		C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
Scope: Construct approximately 310 LF of 8-foot concrete sidewalk on east side of Innovation Avenue from Innovation Metrorail Station to Dulles Green Boulevard	Project Manager:	Marsh, Dennis		Design	Nov-17	Jul-19 Sep-19		
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-18	Jun-19 Nov-19		
	FC Project No:	2G40-086-012		Utility Relocation	NA	NA		
	Program:	HMSAMS		Construction	Aug-19 Dec-19	Feb-20 Apr-20		
	TPP No:	190.11						
	Other Project No:							
Final design is complete. LAD NTP 11/30/18. Land rights on 1 of 2 properties have been acquired. No utility relocations required. New streetlights to be added by NOVEC at time of construction. Signage plans, TMP plans, and Project Data Sheet are approved. Schedule adjusted due to ongoing land rights negotiations with the Commonwealth of Virginia. The Commonwealth is in the process of obtaining the necessary signatures.								

Innovation Center Metrorail Station Parking Garage	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		Construction	\$ 52M		\$ 52M	NVTA Local, C & I, EDA Bonds	
District(s): Dranesville	Project Type:	Transit	Schedule	Phase	Start Date	End Date	
	Project Manager:	Canale, Mark		Design	Nov-14	Aug-16	
	Lead Agency:	Capital Facilities, DPWES		Land Acquisition	Jan-13	Oct-15	
Scope: An approximately 2,030 space parking structure, bus bays, Kiss and Ride and Metrorail Station pedestrian connection for the Metrorail Silver Line	FC Project No:	TF-000021-001		Utility Relocation	TBD	TBD	
	Program:			Construction	Dec-16	Dec-19 Jan-20	
	TPP No:						
	Other Project No:						
Power washing and cleaning of the precast structure is complete. Installation of electrical/plumbing risers and architectural precast patching is ongoing. Excavation for stormwater management and site work continues. Curtainwall glazing and roofing at Stair A is complete. Elevator system installation has begun at Stair A. The concrete slab for the generator yard is complete. Slab on grade concrete formwork and washes in the garage are complete. Metro plaza and kiss-and-ride walkways are scheduled to begin mid September.							

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Innovation Center to Arrowbrook	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Land Acquisition	\$ 1.25M	\$ 2M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Dresser, John		Design	Jun-17	Jul-19 Oct-19
Scope: 645 LF of multi-purpose, lighted trail from the Arrowbrook Development to Sunrise Valley Drive. HAWK Signal installation across Sunrise Valley Drive.	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-18	Jul-19 Sep-19
	FC Project No:	2G40-086-007		Utility Relocation	Dec-18	Apr-19
	Program:	HMSAMS		Construction	Nov-19	May-20 Jul-20
	TPP No:	190.06				
	Other Project No:					
Land rights on 1 of 3 properties have been acquired. Utility relocations are completed (Cox). Plans were approved by LDS and sent to Bonds and Agreements on 6/6/19. Schedule has been adjusted due to land acquisition delays involving property ownership changes.						

Innovation Station North Side Neighborhood Access	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		Design	\$.1M		\$.1M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Delmare, Lauren		Design	Jan-17	Sep-17	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA	
Scope: Add shared-use path and lighting	FC Project No:	2G40-086-016		Utility Relocation	NA	NA	
	Program:	HMSAMS		Construction	NA	NA	
	TPP No:	190.15					
	Other Project No:						
Feasibility and cost estimate study is complete. Awaiting funding allocation for design and construction.							

Kirby Road Walkway from Birch Road to Ivy Hill Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	695	Construction	\$ 1.75M		\$.95M		C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Turner, Latesa		Design		Mar-15		Nov-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Feb-17		Sep-17
Scope: Construct 6-foot concrete sidewalk on north side of Kirby Road	FC Project No:	2G40-088-017		Utility Relocation		NA		NA
	Program:			Construction		Feb-19		Dec-19 Apr-20
	TPP No:	143						
	Other Project No:							
Final design complete. VDOT permit received 11/27/18. Draft construction package submitted to UDCD on 1/8/19. Contract awarded 6/3/19. Construction NTP 7/9/19. Construction 5% complete. Project construction bundled with Project 2G40-088-018 Kirby Road Walkway - Ivy Hill Drive to Corliss Court. Project completion date adjusted to match construction contract duration.								

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Kirby Road Walkway from Chesterbrook Elementary School to Halsey Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	695	Land Acquisition	\$ 1.1M		\$.4M	2014 Bonds
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Turner, Latesa		Design	Apr-16	Aug-19 Oct-19
Scope: Construct approximately 520 LF of concrete sidewalk, including curb and gutter, along the south side of Kirby Road	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Dec-18	Jun-19 Apr-19
	FC Project No:	ST-000036-010		Utility Relocation	TBD Aug-19	TBD Nov-19
	Program:			Construction	Sep-19 Nov-19	Jun-20
	TPP No:	140				
	Other Project No:					
Final design is in progress. Land acquisition complete 4/17/19. Utility relocation designs are in progress (Washington Gas line, CenturyLink, Fairfax Water). Schedule adjusted due to additional time required for utility relocation.						

Kirby Road Walkway from Chesterbrook Road to Mori Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	695	Design	\$ 2.15M		\$ 1.25M		OTHER		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Turner, Latesa		Design		Mar-18		Apr-21	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Apr-20		Dec-20	
Scope: Construct approximately 1,300 LF of 5-foot concrete sidewalk along the east side of Kirby Road	FC Project No:	2G40-088-069		Utility Relocation		Jan-21		Apr-21	
	Program:			Construction		Jul-21		Jun-22	
	TPP No:	238							
	Other Project No:								
Intermediate design is in progress. Advance intermediate plans received on 3/20/19. Project SWM design is under review.									

Kirby Road Walkway from Halsey Road to Franklin Avenue	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	695	Design	\$ 1.75M		\$ 1.5M		2014 Bonds	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
	Project Manager:	Turner, Latesa		Design	Apr-16	Aug-19 Nov-19		
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Dec-18	Jun-19 Aug-19		
Scope: Construct approximately 1,300 LF of concrete sidewalk, including curb and gutter, along the south side of Kirby Road	FC Project No:	ST-000036-011		Utility Relocation	TBD Aug-19	TBD Nov-19		
	Program:			Construction	Sep-19 Dec-19	Jun-20 Sep-20		
	TPP No:	141						
	Other Project No:							
Final design is in progress. LAD NTP 12/21/18. Land acquisition completed August 2019. Schedule adjusted due to additional time required for land acquisition.								

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Kirby Road Walkway from Ivy Hill Drive to Corliss Court	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	695	Construction	\$ 1.6M		\$ 1M	C & I
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Turner, Latesa		Design	Mar-15	Nov-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Feb-17	Jun-17
Scope: Construct 6-foot concrete sidewalk on north side of Kirby Road	FC Project No:	2G40-088-018		Utility Relocation	NA	NA
	Program:			Construction	Feb-19	Dec-19 Apr-20
	TPP No:	142				
	Other Project No:					
Contract awarded 6/3/19. Construction NTP 7/9/19. Construction 5% complete. Project construction bundled with Project 2G40-088-017 Kirby Road Walkway - Birch Road to Ivy Hill Drive. Project completion date adjusted to match construction contract duration.						

Kirby Road/Old Dominion Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	695	Project Initiation	\$ 10.7M		\$.5M	TBD	
District(s): Dranesville	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	TBD, To Be Determined		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Improve intersection safety and geometry including extension of turn lanes and additional pedestrian facilities	FC Project No:	2G40-087-013		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	33					
	Other Project No:						
Funding for preliminary study only. Project scoping deferred until funding is identified.							

Lewinsville Road and Spring Hill Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	694	Study	\$ 15.8M		\$.1M	NVTA Local	
District(s): Dranesville	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Stevens, Daniel		Design	Jan-17	Apr-19 Oct-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Partial funding for alternatives analysis to improve traffic flow and safety, add pedestrian crosswalks	FC Project No:	2G40-087-014		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	34					
	Other Project No:						
Alternatives analysis in progress. Four alternatives were developed with a high-level screening process and presented at a community meeting in May 2018. Two alternatives advanced based on community feedback for detailed traffic analysis and plan development. These two alternatives were presented in June 2019. Schedule adjusted due to additional public involvement following meeting in June.							

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Lisle Avenue Walkway from Griffith Road to Peabody Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
		Design	\$.7M		\$.6M	C & I
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Zahirieh, Shahla		Design	Aug-18	Apr-21
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Aug-20	Mar-21
Scope: Construct approximately 870 LF of 5-foot concrete sidewalk along the east side of Lisle Avenue	FC Project No:	2G40-088-044		Utility Relocation	TBD Mar-21	TBD Jun-21
	Program:			Construction	May-21	Feb-22
	TPP No:	147				
	Other Project No:					
Intermediate design in progress.						

Magarity Road from Ware Road to Peabody Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	650	Design	\$ 3.5M		\$ 1M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Dresser, John		Design	Sep-17	Nov-20 Aug-21	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jan-20 Dec-20	Sep-20 Jul-21	
Scope: Provide 8-foot wide asphalt walkway on south side of Magarity Road.	FC Project No:	2G40-088-025		Utility Relocation	Oct-20 Jan-21	Feb-21 Nov-21	
	Program:			Construction	Jan-21 Dec-21	Mar-22 Oct-22	
	TPP No:	150					
	Other Project No:						
A second intermediate design is underway following scoping changes resulting from first submission plan reviews. Scoping changes include the addition of new crosswalks and refuge islands, maintaining the existing two way left turn lane, reducing parking by adding a buffer strip, and increasing the walkway width from 6 feet to 8 feet.							

North West Street Sidewalk from Great Falls Street to Brilyn Place	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	1799	Construction	\$.5M		\$.5M		2014 Bonds	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Beall, James		Design		Sep-15		Feb-19 Apr-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Sep-17		Jul-18
Scope: 260 LF of 5-foot sidewalk along north side of North West Street	FC Project No:	ST-000036-003		Utility Relocation		Jan-19		May-19 Aug-19
	Program:			Construction		Mar-19 Aug-19		Mar-20 Nov-20
	TPP No:	350						
	Other Project No:							
Gas, cable, phone, and internet utility relocation complete. VDOT construction permit received 5/16/19. City of Falls Church permit will be received after bid opening. Schedule adjusted due to delays in receiving VDOT and City final approvals and coordination of project specifications with City, and to match construction contract duration. Construction bid package bundled with Project 5G25-060-042 Great Falls Street Walkway. Current project estimate is \$1.1M split between County and City. County's funding obligation is \$500K. Bid advertisement 8/26/19.								

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Pavement Marking Plans	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
		Project Initiation	\$.1M		\$.1M	RSTP
District(s): Dranesville, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wynands, Nicole		Design	TBD	TBD
Scope: Addition of bike lanes on various roadways in the Tysons area and surrounding neighborhoods	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	AA1400125-13		Utility Relocation	TBD	TBD
	Program:	TMSAMS		Construction	TBD	TBD
	TPP No:					
	Other Project No:					
Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. Funding provided to prepare Pavement Marking plan and add bike lanes and markings along existing roadways in the Tysons area and surrounding neighborhoods. Roadways to be selected per VDOT's summer re-paving schedule. Bike lanes will be added to Towers Crescent Drive in fall 2019, closing a major gap in bicycle infrastructure between the W&OD and Tysons.						

Peabody Drive Walkway from Magarity Road to Lisle Avenue near Westgate Elementary School	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	2726	Project Initiation	\$.4M		\$.4M		C & I		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	TBD, To Be Determined		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct walkway on east side of Peabody Drive	FC Project No:	2G40-088-048		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	160							
	Other Project No:								
Project scoping deferred until funding is identified.									

Redd Road Walkway	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type		
	2706	Project Initiation	\$.1M	\$.1M	C & I		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	TBD, To Be Determined		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Construct walkway and bridge connecting Redd Road (Idylwood Road Side) to Redd Road (Pimmit Drive Side)	FC Project No:	2G40-088-060		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	208					
	Other Project No:						
	Project scoping deferred until funding is identified.						

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Rock Hill Road Walkway Phase 1 from Astoria Circle to Turquoise Lane	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	605	Design	\$ 1.75M	\$ 1.75M	C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Marsh, Dennis		Design	Jul-19	Jan-22
	Lead Agency:	Capital Facilities		Land Acquisition	Mar-21	Nov-21
Scope: Construct approximately 500 LF of 5-foot sidewalk along Rock Hill Road, including missing link to Innovation Station	FC Project No:	2G40-088-062		Utility Relocation	TBD	TBD
	Program:			Construction	Mar-22	Apr-23
	TPP No:	211				
	Other Project No:					
Design task order was approved on 7/19/19. Preliminary plans are underway.						

Route 123 and Great Falls Street/Lewinsville Road Intersection	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	123	Study	\$ 6.9M		\$ 6.9M		2014 Bonds		
District(s): Dranesville	Project Type:	Primary Road	Schedule	Phase		Start Date		End Date	
Scope: Interim intersection improvements	Project Manager:	Aguayo, Vanessa		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
	FC Project No:	5G25-059-008		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	38							
	Other Project No:								
Project included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Part of the Dolley Madison Corridor Study. Short and long-term solutions to reduce traffic congestion were presented to the public in summer 2019. Survey and public comment period ends fall 2019. Next steps include advancing with one short-term and one long-term scenario for further testing, and a possible feasibility study.									

Route 7 from Reston Avenue to Jarrett Valley Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	7	Design-Build	\$ 314M		\$ 314M	NVTa Regional, Federal, SmartScale	
District(s): Dranesville, Hunter Mill	Project Type:	Primary Road	Schedule	Phase		Start Date	End Date
	Project Manager:	Chellappa, Smitha		Design		Jun-11	Feb-20
	Lead Agency:	Virginia Department of Transportation		Land Acquisition		May-19	Aug-20
Scope: Widen to 6 lanes	FC Project No:	DOT-000032		Utility Relocation		May-20	Sep-21
	Program:			Construction		May-19	Jul-24
	TPP No:	271					
	Other Project No:	UPC 52328, 99478, 106917					
Group of community, BOS staff, and government agency stakeholders established and periodic coordination meetings continue. CTB award and NTP to the design-build contractor in July 2018. Pardon our Dust meetings held on 5/7/19 and 5/14/19. 100% plan submission received 8/10/19. Completed early improvements at Baron Cameron Avenue and opened third left-turn lane from Route 7 to Baron Cameron Avenue. Early improvements from Reston Avenue to Baron Cameron Avenue began mid-August. Utility relocation work and storm sewer installation ongoing.							

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 7 Westbound Bridge over Sugarland Run	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	7	Design	\$ 7.9M	\$ 9.1M	Bridge, SGR	
District(s): Dranesville	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Askarzadeh, Negin		Design	Mar-14	Dec-20
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA
Scope: Rehabilitate the westbound Route 7 bridge over Sugarland Run	FC Project No:	DOT-000097		Utility Relocation	NA	NA
	Program:			Construction	Jun-21 May-21	Apr-22 Dec-21
	TPP No:					
	Other Project No:	0007-029-113, P101				
Design public hearing held on 10/23/18. Design has been re-evaluated based on the citizens' feedback. Citizens have been notified regarding the design changes. As a result, a different construction method was identified to reduce the project duration. Pre-final design is in progress.						

Route 7 Widening from I-66 to I-495	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	7	Study	\$.25M		\$.25M	C & I	
District(s): Dranesville, Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Borkowski, Tad		Design	Oct-18	May-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Study widening Route 7 from I-66 to I-495, including potential BRT lanes	FC Project No:	2G40-150-000		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:						
	Other Project No:						
Traffic data collection is complete. Consultant is establishing centerline. Coordination with NVTC BRT study ongoing. Coordination with Washington Gas ongoing.							

Scotts Run Stream Valley Trail from Georgetown Pike to the Scotts Run Stream Valley	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
		Project Initiation	\$ 5.5M		\$ 5.5M		C & I	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Aguayo, Vanessa		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Partially funded to construct trail on the west side of I-495 from Georgetown Pike to the Scotts Run Stream Valley.	FC Project No:	2G40-088-061		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	209						
	Other Project No:							
Anticipated starting scoping and initial coordination in early fall 2019. This project is partially included in the scope of I-495 NEXT project study. Fairfax County provided initial comments to VDOT in April 2019. VDOT I-495 NEXT project team provided revised trail map in June 2019.								

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Sunset Hills Road Realignment	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	675	Project Initiation				Private
District(s): Dranesville	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Borkowski, Tad		Design	TBD	TBD
	Lead Agency:	Developer				
Scope: Relocate existing Sunset Hills Road further north to align with Crowell Road	FC Project No:	DOT-000099		Land Acquisition	TBD	TBD
	Program:			Utility Relocation	TBD	TBD
	TPP No:					
	Other Project No:			Construction	TBD	TBD
FCDOT is analyzing the relocation of existing Sunset Hills Road to the location in the county's comprehensive plan. This relocation will be beneficial to traffic flow on Hunter Mill Road, Dulles Toll Road, and Sunset Hills Road.						

Tysons Wayfinding Signage	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
		Bid Advertisement	\$.125M		\$.125M		C & I		
District(s): Dranesville, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Wynands, Nicole		Design		Aug-17		Apr-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA		NA	
FC Project No:	AA1400126-13	Utility Relocation		NA		NA			
Scope: Installation of bicycle wayfinding signage in the Tysons area and surrounding neighborhoods	Program:	TMSAMS		Construction		Apr-19 Oct-19		Aug-19 Apr-20	
	TPP No:								
	Other Project No:	TMSAMS-126							
The pre-final design comments from VDOT are being addressed. Final design sent to VDOT in April 2019. Schedule adjusted to accommodate additional VDOT plan review. Construction is on hold until the fall to allow for timely bicycle and pedestrian signage installation as part of VDOT's annual repaving multimodal improvements.									

Van Buren Street from W&OD to Monroe Street Bridge	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	666	Land Acquisition	\$ 2.2M		\$.25M		C & I		
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Wells, Chris		Design		Apr-18		May-19 Aug-19	
	Lead Agency:	Town of Herndon							
Scope: Reconstruct with on-road bike lanes, sidewalks, drainage, and urban standards	FC Project No:	2G40-086-013		Land Acquisition		Apr-19		Aug-19 Sep-19	
	Program:	HMSAMS		Utility Relocation		Apr-19		Aug-19 Dec-19	
	TPP No:	190.12		Construction		Oct-19		Nov-20	
	Other Project No:								
Project location within Town of Herndon, and being administered by Town of Herndon. Project provides 5-foot sidewalks, ADA ramps, on-street and off-street bicycle lanes, street trees, street lighting, and high visibility crosswalks. The Town Council approved the concept design of the project on 2/28/17. Land acquisition in progress. Schedule adjusted, because of additional time required to obtain land rights.									

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Van Buren Street/Worldgate Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	666	Land Acquisition	\$.25M		\$.25M	C & I
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	Mar-15	May-18
	Lead Agency:	Town of Herndon				
Scope: Install signalized crosswalk	FC Project No:	2G40-086-004		Land Acquisition	Oct-17	Mar-19 Dec-19
	Program:	HMSAMS		Utility Relocation	NA	NA
	TPP No:	190.02				
	Other Project No:			Construction	May-19 Feb-20	Nov-19 May-20
Project location within the Town of Herndon. Project administered by the Town of Herndon. Design complete and land acquisition in progress. Schedule adjusted, because of additional time needed to acquire the necessary easements from property owners.						

Walker Road Bridge	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	681	On-Hold	\$ 4.85M		\$ 1.1M	Secondary	
District(s): Dranesville	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Borkowski, Tad		Design	Nov-12	TBD	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Replace bridge over Piney Run (PE and ROW only)	FC Project No:	DOT-000040		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:						
	Other Project No:	0681-029-717,P101,B; UPC 84383					
Funded for design and ROW only. Project redesigned to incorporate pedestrian and bicycle facilities. Design public hearing held 2/3/16. Board of Supervisors endorsed design plans for the bridge replacement on 6/21/16. Project is on hold until funding becomes available.							

Westmoreland Street and Rosemont Drive Bike Lanes	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	693	Land Acquisition	\$.55M		\$.45M	2014 Bonds	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Turner, Latesa		Design	Oct-17	Sep-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Feb-19 Mar-19	Aug-19 Sep-19	
FC Project No:	5G25-063-009	Utility Relocation		NA	NA		
Scope: Widen approximately of 400 LF of Westmoreland Street to add bike lanes, connecting to existing bike lanes north and south of Rosemont Drive	Program:			Construction	Nov-19	Aug-20	
	TPP No:	187					
	Other Project No:						
Final design is in progress. LAD NTP 3/22/19. Land rights on 2 of 3 properties have been acquired.							

Dranesville District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Westmoreland Street Walkway from Kirby Road to Lemon Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	693	Project Initiation			\$ 1.8M	2014 Bonds	
District(s): Dranesville	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Askarzadeh, Negin		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope:	FC Project No:	ST-000036-015		Utility Relocation	TBD	TBD	
Construct walkway on west side of Westmoreland Street	Program:			Construction	TBD	TBD	
	TPP No:	186					
	Other Project No:						
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Estimate to be determined. Project scoping and initial coordination in progress. Anticipate completing scoping fall 2019. Will forward for design once funding is available.							

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Ashgrove Lane Trail	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Design	\$.775M	\$.5M	RSTP	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	Jul-16	TBD
Scope: Phase II- 10-foot wide asphalt trail from Ashgrove Plantation Trail to Westwood Center Drive	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jul-17	Jul-18
	FC Project No:	AA1400121-13		Utility Relocation	NA	NA
	Program:	TMSAMS		Construction	TBD	TBD
	TPP No:				Mar-20	Jan-21
	Other Project No:	TMSAMS-121				
Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. FCPA completed phase I, upgrading existing trail. Design for easement swap completed in July 2017. DPWES LAD staff completed land rights swap with affected property owners. FCDOT and FCPA agreement for construction anticipated fall 2019. Schedule will be finalized once construction agreement is executed. Additional discussions about phase I construction are on-going with FCPA and MSMD.						

Beulah Road Walkway Phase II	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	675	On-Hold	\$.7M		\$.7M		2007 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Vanzandt, Mark		Design		Aug-14		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Approximately 500 LF of pedestrian improvements along Beulah Road from Abbotsford Drive to Antioch Church	FC Project No:	ST-000021-009		Utility Relocation		NA		NA
	Program:			Construction		TBD		TBD
	TPP No:							
	Other Project No:	4YP201-PB009-B						
Project is part of the Second Four-Year Transportation Plan endorsed by the BOS on 10/15/07. The property owner that was impacted by the proposed drainage improvements was unwilling to grant land rights for the project. In the event a project at this location is revisited in the future to complete the missing trail link, the project will be reconsidered for funding.								

Beulah Road Walkway Phase III	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	675	Design	\$.5M		\$.5M	2007 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Lauretti, Francesco		Design	Aug-18	TBD Dec-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD May-20	TBD Dec-20	
Scope: Approximately 475 LF of 6-foot asphalt sidewalk on the north side of Clarks Crossing Road West of Hawthorn Ridge Court	FC Project No:	ST-000021-009		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD Feb-21	TBD Oct-21	
	TPP No:						
	Other Project No:	4YP201-PB009-C					
Task order approved 2/21/19. Survey is complete. Pre-final design distributed for review 8/2/19.							

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Bluemont Way and Discovery Street/Explorer Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	7199	Design	\$.45M		\$.25M	2014 Bonds
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Delmare, Lauren		Design	TBD	TBD
Scope: Road diet project to reduce travel lanes and introduce bike lanes, including pedestrian improvements	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	5G25-062-002		Utility Relocation	TBD	TBD
	Program:	RMAG		Construction	TBD	TBD
	TPP No:	189.01				
	Other Project No:					
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Coordinated with VDOT to implement project after repaving. VDOT repaved and restriped the road with bike lanes in 2018. Pedestrian improvements will be implemented by VDOT with federal funds in fall 2019 or spring 2020.						

Bluemont Way Sidewalk from Discovery Street Pedestrian Bridge Walkway to Reston Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	7199	Design	\$.65M		\$.354M		2014 Bonds		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Fasceski, Jeff		Design		Nov-16		Mar-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jun-19 Dec-19		Feb-20 Jul-20	
Scope: Construct approximately 525 LF of 10-foot wide asphalt shared-use path along the south side of Bluemont Way	FC Project No:	5G25-062-011		Utility Relocation		Mar-20 Sep-20		Jun-20 Dec-20	
	Program:	RMAG		Construction		May-20 Sep-20		Mar-21	
	TPP No:	189.11							
	Other Project No:								
Design in progress. Schedule adjusted to accommodate plan revisions required because an additional pedestrian crossing was added to the project after pre-final design.									

Coppermine Crossing to Merrybrook	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
		Project Initiation	\$.2M		\$.2M		C & I		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Wells, Chris		Design		TBD		TBD	
	Lead Agency:	Fairfax County Park Authority		Land Acquisition		TBD		TBD	
Scope: Improve FCPA fair-weather crossing to pedestrian bridge	FC Project No:	2G40-086-011		Utility Relocation		TBD		TBD	
	Program:	HMSAMS		Construction		TBD		TBD	
	TPP No:	190.10							
	Other Project No:								
Project anticipated to be administered by FCPA. Project scoping deferred until funding is identified.									

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Creek Crossing Pedestrian Enhancements	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	724	Design		\$ 2M	C & I	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Bandy, Audra		Design	Oct-18	Oct-20
	Lead Agency:	Town of Vienna				
Scope: Upgrade existing pedestrian facility on east side of Creek Crossing from Fairway Drive to Old Courthouse Road	FC Project No:	2G40-088-011		Land Acquisition	TBD	TBD
	Program:			Utility Relocation	TBD	TBD
	TPP No:	231				
	Other Project No:					
Significant community coordination will be required. Completed funding agreement with Town of Vienna for town to design facility and FCDOT to finance. Town of Vienna issued NTP on 8/13/18. Survey complete and conceptual layout is underway.						

Dulles Rail Phase 2	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
		Construction	\$ 2778M		\$.33M		Federal	
District(s): Dranesville, Hunter Mill	Project Type:	Transit	Schedule	Phase	Start Date	End Date		
	Project Manager:	Canale, Mark		Design	Jul-13	Jun-15		
	Lead Agency:	Metropolitan Washington Airports Authority		Land Acquisition	Jul-13	Jan-16		
Scope: Construct six new stations, three in Fairfax County, and extend Metrorail from Wiehle Avenue to Ashburn Station (Route 772) in Loudoun County	FC Project No:	DOT-000003		Utility Relocation	Jul-13	Oct-16		
	Program:			Construction	Feb-14	Aug-19		
	TPP No:					TBD		
	Other Project No:	UPC 97226						
Bid Packet A (Rail Stations, Systems, and Line) was awarded in May 2013. Notice to proceed was issued in July 2013 with a 60 month design-build schedule. Herndon Station garage is completed. Construction of Innovation Center Station garage was delayed due to required remediation of the foundation structure. Innovation Center Station garage is estimated for completion by early 2020. For further information, see http://www.dullesmetro.com . Revenue service date will be established by the WMATA Board.								

Dulles Toll Road Eastbound Off-Ramp/Fairfax County Parkway Trail	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	267	Design			2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	Feb-17	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope:	FC Project No:	5G25-062-010		Utility Relocation	TBD	TBD
At grade crossing of trail at Dulles Toll Road on ramp	Program:	RMAG		Construction	TBD	TBD
	TPP No:	189.09				
	Other Project No:	fall				
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Full schedule to be determined at 30% design. Study completion delayed after survey revealed utilities that ruled out tunnel option. At-grade option added in place of tunnel. Public meeting was held on 9/14/17 and at-grade option was chosen. Final project scoping and 30% design anticipated in fall 2019.						

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Dulles Toll Road/Monroe Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	267	On-Hold	\$ 5.5M			C & I
District(s): Dranesville, Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Delmare, Lauren		Design	Nov-16	Sep-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
Scope: Pedestrian and bicycle bridge over Dulles Toll Road	FC Project No:	2G40-086-006		Utility Relocation	NA	NA
	Program:	HMSAMS		Construction	NA	NA
	TPP No:	190.03				
	Other Project No:					
Funded for feasibility study and cost estimates. Study complete. Project on hold until further funding is identified. Funding recommendations expected in fall 2019.						

Explorer Street/New Dominion Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	7442	Project Initiation	\$.1M		\$.1M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Borkowski, Tad		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Install signal at intersection with signalized crosswalk	FC Project No:	5G25-062-004		Utility Relocation	TBD	TBD	
	Program:	RMAG		Construction	TBD	TBD	
	TPP No:	189.03					
	Other Project No:						
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Project scoping and initial coordination in progress. Coordinating with the Reston Town Center Association and the County Attorney's Office regarding different interpretations of existing proffer to determine how to proceed with design and funding of project. FCDOT is working with County Attorney's Office to draft a letter to the community to request funds for the signal.							

Fairfax County Parkway at Sunrise Valley Drive Intersection Improvements	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	286	Study	\$.24M		\$.5M		Service District		
District(s): Hunter Mill	Project Type:		Schedule	Phase		Start Date		End Date	
	Project Manager:	Steinhilber, Will		Design		Mar-19		Mar-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Investigate and analyze intersection improvements, including modifying lane configurations for WB movement and NB right turn	FC Project No:	2G40-151-000		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:								
	Other Project No:								
Kick-off meeting held March 14, 2019. Completed existing condition micro-simulation analysis and crash analysis. Currently reviewing no-build micro-simulation analysis and evaluating possible bicycle and pedestrian improvements to include in the design/analysis.									

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Fox Mill Road Walkway from Fairfax County Parkway to Reston Parkway	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	665	Land Acquisition	\$ 2.5M	\$ 2.4M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Marsh, Dennis		Design	Mar-16	Jan-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Mar-19	Aug-19 Oct-19
Scope: Construct approximately 2,000 LF of 8-foot wide asphalt walkway, including curb and gutter, on the north side of Fox Mill Road	FC Project No:	ST-000036-009		Utility Relocation	Aug-19	Mar-20 Jul-20
	Program:			Construction	Feb-20 Apr-20	Sep-20 Apr-21
	TPP No:	121				
	Other Project No:					
Second pre-final plans are in progress. LAD NTP issued on 3/29/19. Land rights on 5 of 6 properties have been acquired. Utility relocations within ROW required (electric, gas, and fiberoptics). Schedule adjusted based on utility companies relocation schedules.						

Frying Pan Road Widening from Route 28 to Centreville Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	608	On-Hold	\$ 54.3M						
District(s): Dranesville, Hunter Mill	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date	
	Project Manager:	Stevens, Daniel		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Widen Frying Pan Road to 6 lanes, including intersection improvements and pedestrian and bicycle facilities	FC Project No:	DOT-000043		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	54							
	Other Project No:								
Project is on hold due to need for funding. Frying Pan Road is being analyzed as part of a VDOT study of the Route 28/Dulles Toll Road/Dulles Greenway interchange.									

Glade Drive Walkway from Colts Neck Road to Freetown Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	4721	Land Acquisition	\$.8M		\$.65M		C & I	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
	Project Manager:	Nabavi, Seyed		Design	May-15	Apr-19 Dec-19		
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-18	Mar-19 Oct-19		
Scope: Approximately 1,200 LF of sidewalk on north side of Glade Drive	FC Project No:	2G40-088-007		Utility Relocation	Jul-17	Aug-17		
	Program:			Construction	May-19 Jan-20	Jan-20 Sep-20		
	TPP No:	127						
	Other Project No:							
Final plans approved on 2/6/19. Plat was revised on 5/10/19. Public Hearing for acquisition of land rights scheduled for 9/24/19. Land rights on 4 of 5 properties have been acquired. Schedule was adjusted to account for time needed to acquire land rights through eminent domain process.								

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Glade Drive Walkway from Middle Creek Lane to Glade Bank Way	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	4721	Complete	\$.35M	\$.4M	C & I	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	May-15	Sep-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	May-17	Oct-17
Scope: Approximately 600 LF of sidewalk on north side of Glade Drive	FC Project No:	2G40-088-006		Utility Relocation	Jul-17	Aug-17
	Program:			Construction	Oct-18	Jun-19
	TPP No:	126				Mar-19
	Other Project No:					
Construction substantially complete on 3/29/19.						

Herndon Metrorail Station Parking Garage	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		Construction	\$ 44.9M		\$ 44.9M	NVTA Local, C & I, EDA Bonds	
District(s): Hunter Mill	Project Type:	Transit	Schedule	Phase	Start Date	End Date	
	Project Manager:	Miller, Kris		Design	Nov-14	Jun-16	
	Lead Agency:	Capital Facilities, DPWES		Land Acquisition	Dec-14	Aug-15	
Scope: Approximately 2,006 space parking structure and associated pedestrian and vehicular connections for Metrorail Silver Line-Phase II	FC Project No:	TF-000020-001		Utility Relocation	Nov-16	Nov-17	
	Program:			Construction	Jun-16	Jul-19	
	TPP No:					Sep-19	
	Other Project No:						
New garage completed April 2019. Project scope widened to include restoration of existing garage. Restoration started fall 2018 and was completed September 2019.							

Hunter Mill Road and Lawyers Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type		
	674	On-Hold	\$ 15.5M		NVTA Local		
District(s): Hunter Mill	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Askarzadeh, Negin		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Replace intersection with roundabout, including 10-foot shared-use path and pedestrian crossings	FC Project No:	2G40-087-012		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	32					
	Other Project No:						
Project on hold until further funding is identified.							

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Hunter Mill Road Bridge over Difficult Run	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	674	On-Hold	\$.5M		\$.32M	Bridge, RSTP
District(s): Dranesville, Hunter Mill	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
Scope: Replace temporary bridge with permanent structure	Project Manager:	Steinhilber, Will		Design	Sep-13	Jan-18
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000009		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:					
	Other Project No:	UPC 102691				
Public hearing held on 6/17/15. The design concepts of the project have been approved by VDOT and Fairfax County. The bridge is currently in good condition and is not eligible for State of Good Repair (SGR) funding. The project is currently on hold, since SGR funding is only for bridges in poor condition and classified as structurally deficient.						

Hunter Mill Road/Sunrise Valley Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	674	Construction	\$ 1.6M		\$ 1.4M	C & I	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Lauretti, Francesco		Design		Feb-13	Sep-16
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Oct-14	Jul-15
Scope: Install signalized pedestrian crosswalks, 5-foot concrete sidewalk, refuge islands, curb gutter, and 8-foot trail	FC Project No:	ST-000003-031		Utility Relocation		May-15	Mar-19
	Program:			Construction		Oct-18	Jul-19 Sep-19
	TPP No:						
	Other Project No:	PPTF01-03100					
Construction NTP 3/11/19. Construction 75% complete. Schedule adjusted due to unanticipated utility conflicts encountered during construction which required redesign. Utility conflicts resolved.							

I-66 from I-495 Capital Beltway to University Boulevard in Gainesville	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	66	Design-Build	\$ 3218M		\$ 3218M		Federal, State, Private		
District(s): Braddock, Hunter Mill, Providence, Springfield, Sully	Project Type:	Interstate	Schedule	Phase		Start Date		End Date	
	Project Manager:	Xiong, Yuqing		Design		Jul-14		Oct-19	
Scope: 2 Express and 3 general purpose lanes in each direction, including rapid bus service, a parallel trail, and safety, operational, and interchange improvements	Lead Agency:	Virginia Department of Transportation		Land Acquisition		Apr-18		TBD	
	FC Project No:	DOT-000015		Utility Relocation		Apr-18		TBD	
	Program:			Construction		Nov-17		Dec-22	
	TPP No:	3							
	Other Project No:	UPC 110741, 110496, 108491							
PIM held June 5, 2019. FCDOT received IJR 2040 re-evaluation comments from VDOT in June 2019. The proposed Nutley Street/I-66 interchange was revised from diverging diamond to modified roundabouts. County staff reviewed design changes and provided comments. The design and IJR are both in final development for this segment. An agreement between FCDOT and VDOT has been negotiated to fund several segments of off corridor trails, and more are under review. Partnering efforts continue on meeting higher water quality standard for stormwater management.									

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Isaac Newton Square West Sidewalk	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
		On-Hold	\$.375M		\$.375M	RSTP	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Askarzadeh, Negin		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Construct 5-foot of concrete sidewalk on Isaac Newton Square West from Metro Center Drive to Isaac Newton Square South	FC Project No:	AA1400101-13		Utility Relocation	TBD	TBD	
	Program:	RMAG		Construction	TBD	TBD	
	TPP No:						
	Other Project No:	RMAG-101; UPC 104294					

Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. Project located on private property. The property owner submitted a rezoning application that is scheduled for action at the October 15, 2019, BOS meeting. The County has sought pedestrian connectivity as part of the rezoning and has recommended approval of the application. The property owner is proposing to build a sidewalk along the east side of the Isaac Newton Square if off-site permission can be achieved. Project on hold until development plans are finalized.

Monroe Street Connector	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	666	Study	\$.1M		\$.1M	C & I	
District(s): Hunter Mill	Project Type:	Secondary Road	Schedule	Phase		Start Date	End Date
	Project Manager:	Bandy, Audra		Design		Jun-18	Oct-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA	NA
Scope: Study will determine feasibility and constructability of a new road connection from Monroe Street to the Herndon-Monroe Park-and-Ride adjacent to Sunrise Valley Drive	FC Project No:	2G40-090-002		Utility Relocation		NA	NA
	Program:			Construction		NA	NA
	TPP No:	312					
	Other Project No:						

Report for the study is finalized and meeting to be scheduled with Hunter Mill District in fall 2019.

Monroe Street Walkway from Dulles Toll Road to Monroe Manor Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	666	Design	\$ 1.6M		\$.75M	C & I	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Roberson, Jeanmarie		Design		Jun-17	Oct-20 Dec-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Nov-19 NA	Jan-20 NA
Scope: Provide 1,100 LF of 8-foot wide walkway on east side of Monroe Street to complete missing links	FC Project No:	2G40-086-014		Utility Relocation		Jul-20 Nov-19	Jan-21 Mar-20
	Program:	HMSAMS		Construction		Feb-21 Dec-19	Dec-21 Aug-20
	TPP No:	190.01, 190.13					
	Other Project No:						

Project has been phased to advance the schedule of the northern segment from Fox Mill Road to Sunrise Valley Drive. Pre-final design distributed for review 8/8/19. Second phase will include Sunrise Valley Drive/Monroe Street intersection improvements (TPP No. 190.01).

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
New Dominion Parkway from Reston Parkway to Fairfax County Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	6363	Design	\$ 2M		\$ 2M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Madhusudhan, Galappa		Design		TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD	TBD
Scope: Reconstruct New Dominion Parkway with on-road bike lanes, reduced median width, and reduced lane widths from Fairfax County Parkway to Reston Parkway	FC Project No:	2G40-085-003		Utility Relocation		TBD	TBD
	Program:	RMAG		Construction		TBD	TBD
	TPP No:	189.13					
	Other Project No:						
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Conceptual design plans received on 9/14/18. Initiating conceptual engineering required to evaluate and refine project scope which is anticipated to be complete in fall 2019. Schedule to be determined at that time.							

North Shore Drive Walkway from east of North Shore Court to Sycamore Valley Court	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	4726	Land Acquisition	\$ 1.9M		\$ 1.4M	C & I	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Nabavi, Seyed		Design	Feb-17	Nov-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Feb-19	Oct-19	
Scope: Construct 5-foot concrete sidewalk along the south side of North Shore Drive	FC Project No:	2G40-088-027		Utility Relocation	Nov-19	Jul-20	
	Program:			Construction	Aug-20	Mar-21	
	TPP No:	155					
	Other Project No:						
Second final design submitted on 7/9/19. Design Review Board met on 8/20/19. Coordination is ongoing. LAD NTP issued on 2/28/19. Land rights on 3 of 12 properties have been acquired. Utility coordination is ongoing. Design Review Board approval is required before land acquisition can be finalized.							

Old Courthouse Road and Besley Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	677	Design	\$ 13M		\$ 3.3M	NVTALocal, 2014 Bonds	
District(s): Hunter Mill	Project Type:	Secondary Road	Schedule	Phase		Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design		Jul-15	Nov-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jan-20	Sep-20
Scope: Realign Old Courthouse Road to eliminate sharp curve and relocate Besley Road intersection, including new bridge, bicycle lanes, and shared-use path	FC Project No:	5G25-059-007		Utility Relocation		Sep-20	Mar-21
	Program:			Construction		Apr-21	Jul-23
	TPP No:	35					
	Other Project No:						
Pre-final design is in progress. Intermediate design comments received on 7/11/19. Utility designation update and test holes are in progress. Utility relocation coordination is ongoing.							

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Old Courthouse Road Trail	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	677	Land Acquisition	\$ 1.2M		\$ 1.2M	C & I
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Aguayo, Vanessa		Design	Aug-15	Oct-18
	Lead Agency:	Town of Vienna				
Scope: Trail on one side from Westbriar Drive/Fairway Drive northeast to Battery Park Street	FC Project No:	DOT-000021		Land Acquisition	Oct-18	Jun-19 Nov-19
	Program:	TMSAMS		Utility Relocation	Nov-19	May-20
	TPP No:	232				
	Other Project No:			Construction	Jun-20	Mar-21
Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12.Town of Vienna managing design, which is in final design phase. County LDS plan approval moving forward with ROW and utilities. Board approval for phase two (land acquisition and construction) on 12/4/18. Working with the Town of Vienna to relocate utilities. Project is in final land negotiations. The Town of Vienna experienced slight delay with the utility contract.						

Old Courthouse Road Walkway from Creek Crossing Road to Country Club Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	677	Utility Relocation	\$ 1.3M		\$.835M		Federal, C & I		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Hojatzadeh, Max		Design		May-16		May-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Aug-18		Mar-19	
Scope: Construct 5-foot concrete sidewalk along Old Courthouse Road	FC Project No:	AA1400138-15		Utility Relocation		Aug-18		Jul-19	
	Program:	SRTS		Construction		Sep-19		Jun-20	
	TPP No:	307							
	Other Project No:	SRTS-138							
Funding via Safe Routes to School Grant. Utility relocation 80% completed. Draft construction package submitted to UDCD on 3/4/19. VDOT permit received on 4/2/19. VDOT Bid Authorization request submitted 7/15/19.									

Plaza America Proffer Agreement (PA060J)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	675	On-Hold	\$.225M		\$.225M	Proffer	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Chellappa, Smitha		Design		Feb-04	Oct-05
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Oct-05	TBD
Scope: 6 bus shelters , 2 benches, and 5 pads	FC Project No:	ST-000022-004		Utility Relocation		TBD	TBD
	Program:			Construction		TBD	TBD
	TPP No:						
	Other Project No:	D00448-PA060J					
Proffer contribution for public transportation improvements. Land acquisition unsuccessful at eastbound Sunset Hills at Target site. Remaining proffer funds used to fund expanded transit service. No other available proffers deemed applicable. Coordinated with district supervisor's office regarding next steps. Direction given to continue to pursue funding for the project.							

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Reston Parkway/Dulles Toll Road Eastbound Off-Ramp and On-Ramp	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	602	Design	\$.75M		\$.5M	2014 Bonds
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Lauretti, Francesco		Design	Jun-17	May-19 Oct-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
Scope: Intersection pedestrian improvements, including sidewalks, trails, and bike facility upgrades	FC Project No:	5G25-062-008		Utility Relocation	NA	NA
	Program:	RMAG		Construction	Jun-19 Dec-19	Jun-20 Aug-20
	TPP No:	189.08				
	Other Project No:					
Final plans in progress. Schedule was adjusted to allow for an additional design submittal to address new comments received from VDOT Traffic Engineering.						

Reston Parkway/Dulles Toll Road Westbound On-Ramp	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	602	Design	\$.6M		\$.25M		2014 Bonds		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Lauretti, Francesco		Design		Jun-17		Feb-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		May-19 Sep-19		Dec-19 Feb-20	
Scope: Intersection pedestrian improvements, including sidewalks, trails, and bike facility upgrades	FC Project No:	5G25-062-007		Utility Relocation		NA		NA	
	Program:	RMAG		Construction		Jan-20 May-20		Mar-21 May-21	
	TPP No:	189.07							
	Other Project No:								
	Final plans in progress. Final plat received 8/2/19. Land acquisition authorization in progress. The schedule was adjusted to allow additional time to complete and review the project plat.								

Route 123 over Leesburg Pike Bridge Rehabilitation	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	123	Project Initiation	\$ 2.5M		\$ 2.5M	State	
District(s): Hunter Mill, Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Borkowski, Tad		Design	Sep-19	Feb-20	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA	
Scope: Restore the bridge deck	FC Project No:	DOT-000100		Utility Relocation	NA	NA	
	Program:			Construction	Mar-20	Dec-20	
	TPP No:	0123-029-385					
	Other Project No:	0123-029-385; UPC 111685					
Public information meeting held on 5/30/19. Project advertised for construction and construction award expected in October 2019.							

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 7 from Reston Avenue to Jarrett Valley Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	7	Design-Build	\$ 314M		\$ 314M	NVTA Regional, Federal, SmartScale
District(s): Dranesville, Hunter Mill	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Chellappa, Smitha		Design	Jun-11	Feb-20
Scope: Widen to 6 lanes	Lead Agency:	Virginia Department of Transportation		Land Acquisition	May-19	Aug-20
	FC Project No:	DOT-000032		Utility Relocation	May-20	Sep-21
	Program:			Construction	May-19	Jul-24
	TPP No:	271				
	Other Project No:	UPC 52328, 99478, 106917				
Group of community, BOS staff, and government agency stakeholders established and periodic coordination meetings continue. CTB award and NTP to the design-build contractor in July 2018. Pardon our Dust meetings held on 5/7/19 and 5/14/19. 100% plan submission received 8/10/19. Completed early improvements at Baron Cameron Avenue and opened third left-turn lane from Route 7 to Baron Cameron Avenue. Early improvements from Reston Avenue to Baron Cameron Avenue began mid-August. Utility relocation work and storm sewer installation ongoing.						

Route 7/Route 123 Interchange (Study Only)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	7	Study	\$.35M		\$.35M	C & I	
District(s): Hunter Mill, Providence	Project Type:	Primary Road	Schedule	Phase		Start Date	End Date
	Project Manager:	Borkowski, Tad		Design		Sep-12	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA	NA
Scope: Conceptual design and traffic operations study to determine future interchange configuration or at-grade intersection configuration	FC Project No:	2G40-035-002		Utility Relocation		NA	NA
	Program:			Construction		NA	NA
	TPP No:	216					
	Other Project No:						
Evaluating a two-quadrant intersection with and without the cap (i.e., elevated pedestrian plaza), and a continuous flow intersection with cap. Analyzing land use and roadway connectivity for potential Bus Rapid Transit in Tysons. Preferred option analysis and 15% design should be completed by the end of 2020 dependent on final outreach plan that is being finalized and anticipated to occur in spring 2020.							

Soapstone Drive Overpass	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	4720	Project Initiation	\$ 169.24M		\$ 13.15M		NVTA Local, RSTP	
District(s): Hunter Mill	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date
	Project Manager:	Bandy, Audra		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Construct a 4-lane roadway over the Dulles Toll Road from Sunrise Valley Drive to Sunset Hills Road, including pedestrian, bicycle, and transit facilities	FC Project No:	2G40-078-000		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	15						
	Other Project No:							
The recommended (hybrid) alternative was approved by the Board of Supervisors on 5/13/14. FCDOT completed additional architectural analysis for the environmental assessment, as directed by Virginia Department of Historic Resources in fall 2018. FCDOT began work on section 106 in March 2019. The Keeper of the National Register of Historic Places is anticipated to give a final decision regarding a potentially eligible historic district in October 2019.								

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Soapstone Drive Walkway from South Lakes Drive to Snakeden Branch	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	4720	Project Initiation	\$ 1.2M		\$ 1.2M	C & I
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	TBD, To Be Determined		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Construct walkway on westside of Soapstone Drive	FC Project No:	2G40-088-051		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	173				
	Other Project No:					
Project scoping deferred until funding is identified.						

South Lakes Drive Walkway from Greenkeepers Court to Sunrise Valley Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	5329	Design	\$ 2.3M		\$ 3.65M		2014 Bonds		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Hojatzadeh, Max		Design		May-17		Apr-20 Aug-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Aug-19 Nov-19		Mar-20 Jun-20	
Scope: Install walkway: Section 1- Greenskeepers Ct. to Soapstone Dr., Section 3-Whisperwood Glen Rd. to Ridge Heights Rd., Section 4-Harbor Ct. to Twin Branches Rd.	FC Project No:	5G25-060-039		Utility Relocation		TBD Dec-19		TBD Dec-20	
	Program:			Construction		May-20 Sep-20		Mar-21 Jun-21	
	TPP No:	175							
	Other Project No:								
Final design is in progress. Design Review Board project presentation scheduled for 8/20/19. Utility relocation design under review. Schedule adjusted to address final comments and present project to Design Review Board.									

Sunrise Valley Drive from Fairfax County Parkway to Innovation Station	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	5320	Design	\$ 6.1M		\$ 5M		C & I	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Roberson, Jeanmarie		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Reconstruct Sunrise Valley Drive from Innovation Station to Fairfax County Parkway to provide on-road bike lanes by narrowing median and travel lane widths	FC Project No:	2G40-086-015		Utility Relocation		NA		NA
	Program:	HMSAMS		Construction		TBD		TBD
	TPP No:	190.14						
	Other Project No:							
Initiating conceptual engineering required to evaluate and refine project scope. Scope has been refined and 30% design is ongoing. 30% design expected to be completed by end of year. Schedule to be determined at that time.								

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Sunrise Valley Drive from Reston Parkway to Fairfax County Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	5320	Design	\$ 1.6M		\$ 1.6M	2014 Bonds
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Hojatzadeh, Max		Design	TBD	TBD
Scope: Narrow median between Reston Pkwy and Fairfax County Pkwy to provide buffered bike lanes in each direction from Glade Drive to Edmund Halley Drive	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	5G25-062-016		Utility Relocation	TBD	TBD
	Program:	RMAG		Construction	TBD	TBD
	TPP No:	189.16				
	Other Project No:					
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Initiating conceptual engineering required to evaluate and refine project scope. Scope has been refined and 30% design is ongoing. 30% design expected to be completed by end of year. Schedule to be determined at that time.						

Sunrise Valley Drive from Reston Parkway to Soapstone Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	5320	Design	\$ 9.1M		\$ 1.5M		C & I		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Shahnaj, Sonia		Design		Mar-18		TBD	
Scope: Install separated bike lanes and a pedestrian facility on the north side of Sunrise Valley Drive	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
	FC Project No:	2G40-085-002		Utility Relocation		TBD		TBD	
	Program:	RMAG		Construction		TBD		TBD	
	TPP No:	189.04							
	Other Project No:								
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Project schedule developed up to pre-final design phase. Complete schedule to be developed pending the completion of pre-final design and the review of anticipated development application in the vicinity of the project. Intermediate design plans distributed for review on 4/30/19. Comments due on 6/7/19. Met with VDOT on 7/9/19. Received comments from VDOT on 7/31/19. Pre-final design is in progress.									

Sunrise Valley Drive Sidewalk	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	5320	Construction	\$ 1.81M	\$ 2.678M	RSTP	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Hojatzadeh, Max		Design	Aug-13	Nov-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Mar-16	Oct-18
Scope: Construct 5-foot concrete sidewalk on south side of Sunrise Valley Drive between Glade Drive and Reston Parkway	FC Project No:	AA1400100-13		Utility Relocation	Oct-18	Mar-19 May-19
	Program:	RMAG		Construction	Jun-19 May-19	Dec-19 Jan-20
	TPP No:	189.05				
	Other Project No:	RMAG-100; UPC 107438				
VDOT contract award approval received on 7/2/19. Contract awarded 7/31/19. Schedule adjusted due to additional time needed to obtain VDOT's authorization for bid advertisement.						

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Sunrise Valley Drive Walkway from Hitchcock Drive to Colts Brook Drive	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	5320	Design	\$.9M	\$.5M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Shahnaj, Sonia		Design	Jun-18	Jan-21
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	May-20	Dec-20
Scope: Construct 6-foot asphalt walkway on north side of Sunrise Valley Drive	FC Project No:	5G25-060-040		Utility Relocation	TBD Jan-21	TBD Jun-21
	Program:			Construction	Jun-21	Apr-22
	TPP No:	176				
	Other Project No:					
Pre-final design is in progress.						

Sunrise Valley Drive Walkway North Side from Soapstone Drive to South Lakes Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	5320	Construction	\$ 1.75M		\$ 1.765M		CMAQ, RSTP	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Lauretti, Francesco		Design		Sep-12		Jan-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jul-16		Aug-17
Scope: Upgrade approximately 4,500 LF of an existing asphalt sidewalk to a 10-foot shared-use path on north side of Sunrise Valley Drive	FC Project No:	AA1400074-12		Utility Relocation		Jan-15		Jun-19 Jul-19
	Program:	DCBPA		Construction		Apr-19 May-19		Apr-20
	TPP No:							
	Other Project No:	DCBPA-074; UPC 103285						
Contract award authorization package submitted to VDOT 6/13/19. VDOT authorization received 7/10/19. Board notification of contract award in process. Underground utility (Cox and Verizon) relocations are complete. VPDES reissuance application submitted to LDS 4/10/19. Project construction is bundled with Project AA1400073-12, Sunrise Valley Drive Sidewalk South Side.								

Sunrise Valley Drive Walkway South Side from Soapstone Drive to South Lakes Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	5320	Construction	\$ 1.429M		\$ 1.429M		CMAQ, RSTP	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Lauretti, Francesco		Design		Sep-12		Aug-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jun-16		Jan-17
Scope: Approximately 5,000 LF of 5 to 7-foot concrete sidewalk on south side of Sunrise Valley Drive	FC Project No:	AA1400073-12		Utility Relocation		Jan-15		Jun-19
	Program:	DCBPA		Construction		Apr-19 May-19		Apr-20
	TPP No:							
	Other Project No:	DCBPA-073; UPC 103284						
Contract award authorization package submitted to VDOT 6/13/19. VDOT authorization received 7/11/19. Board notification of contract award in process. VPDES reissuance application submitted to LDS 4/10/19. Project construction is bundled with Project AA1400074-12, Sunrise Valley Drive Sidewalk on north side.								

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Sunrise Valley Drive/Edmund Halley Drive	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	5320	On-Hold	\$.25M	\$.25M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Bandy, Audra		Design	Jul-16	TBD
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA
Scope: Install signalized crosswalks	FC Project No:	5G25-062-005		Utility Relocation	TBD	TBD
	Program:	RMAG		Construction	TBD	TBD
	TPP No:	189.05				
	Other Project No:					

Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Scoping completed and forwarded to VDOT in March 2016 to be constructed by Signal Rebuild Program. Coordinating with VDOT, Capital Rail Constructors (CRC), and project AA1400100-13, Sunrise Valley Drive Sidewalk, to develop a construction schedule and project designs so the multiple projects do not overlap. Project temporarily on hold as a result.

Sunrise Valley Drive/Reston Association Entrance	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	5320	Construction	\$.14M	\$.15M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Zahirieh, Shahla		Design	Jun-17	Oct-18
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Nov-17	Oct-18
Scope: Provide pedestrian crosswalk on the east leg of the intersection	FC Project No:	5G25-062-014		Utility Relocation	Nov-18	Mar-19
	Program:	RMAG		Construction	Nov-18 Mar-19	Aug-19 Dec-19
	TPP No:	189.17				
	Other Project No:					

Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. This project will be designed and constructed by the VDOT Signal Rebuild team. County prepared survey, plats, and acquired the land rights. Land acquisition completed 10/18/18. List of the acquired land rights and plats to VDOT 10/18/18. Construction of the project is on hold pending the completion of Silver Line road work at the intersection of Sunrise Valley Drive and Reston Parkway.

Sunset Hills Road Eastbound Ramp/Fairfax County Parkway Trail	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	675	Design	\$.5M	\$.5M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Lauretti, Francesco		Design	May-17	May-19 Oct-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
Scope: Provide a crosswalk at the on-ramp from Sunset Hills Road to the Fairfax County Parkway and extend the shared-use path 130 LF	FC Project No:	2G40-086-018		Utility Relocation	NA	NA
	Program:	RMAG		Construction	Jul-19 Dec-19	Oct-20 Nov-20
	TPP No:	189.10				
	Other Project No:					

Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Final plans in progress. Final design in progress. Schedule adjusted to address additional comments from VDOT Location and Design, as well as VDOT Traffic Engineering. FCDOT replied to comments; VDOT is reviewing.

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Sunset Hills Road Walkway from Old Reston Avenue to Reston Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	675	Complete	\$.85M		\$.5M	C & I
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Madhusudhan, Galappa		Design	Nov-15	Nov-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-17	Aug-18
Scope: Approximately 315 LF of sidewalk along the north side of Sunset Hills Road and intersection improvements at Old Reston Avenue	FC Project No:	2G40-088-009		Utility Relocation	Oct-18	Jan-19
	Program:			Construction	Jan-19	Jul-19
	TPP No:	177, 189.02				
	Other Project No:					
Construction substantially complete 7/26/19.						

Sunset Hills Road/Discovery Street	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	675	Complete	\$.06M	\$.06M	2014 Bonds	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Zahirieh, Shahla		Design	Jul-16	Jan-19
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Oct-17	Dec-18
Scope: Provide crosswalk on the east leg of the intersection	FC Project No:	5G25-062-006		Utility Relocation	NA	NA
	Program:	RMAG		Construction	Feb-19	Aug-19 Jun-19
	TPP No:	189.06				
	Other Project No:					
Substantially complete 6/30/19.						

Sunset Hills Road/Town Center Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	675	Construction	\$.576M		\$.691M	RSTP	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Zahirieh, Shahla		Design	Aug-13	Aug-16	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-15	Jun-16	
Scope: Pedestrian intersection improvements	FC Project No:	AA1400099-13		Utility Relocation	NA	NA	
	Program:	RMAG		Construction	Aug-18	May-20 Jun-20	
	TPP No:						
	Other Project No:	RMAG-099; UPC 107437					
At a coordination meeting with VDOT and developer on 8/2/17, it was decided the County will begin the work when the adjoining construction is completed. Due to another developer's projects at the intersection of Sunset Hills Road and Town Center Parkway, the construction plans were revised and approved on 4/9/19. Revised permit received 4/25/19. Contract documents submitted to VDOT for approval 7/9/19. Schedule adjusted due to additional time needed for the review cycles with VDOT.							

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Town Center Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	7414	Complete	\$ 8.7M		\$ 8.7M	C & I
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Bandy, Audra		Design	NA	NA
Scope: Underpinning of the Silver Line west of Reston Town Center Station for future Town Center Parkway Underpass	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	AA1400103-13		Utility Relocation	NA	NA
	Program:	RMAG		Construction	Jan-16	Aug-19
	TPP No:	14				
	Other Project No:	RMAG-103				
Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. Conceptual design of the bridge structure that will carry the Metrorail over future Town Center Parkway complete. MWAA issued change order, and construction completed with the Dulles Metrorail Phase 2 project. Coordinating with VDOT on alternative analysis of roadway alignment, and developing agreement. VDOT is initiating the project to complete an alternative analysis of the roadway alignment. NTP given May 2019.						

Town Center Parkway from Sunset Hills Road to Baron Cameron Avenue	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	7414	Design	\$ 1.8M		\$ 1.8M		2014 Bonds		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Zahirieh, Shahla		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct on-road bike lanes by reducing median and lane widths	FC Project No:	2G40-085-006		Utility Relocation		TBD		TBD	
	Program:	RMAG		Construction		TBD		TBD	
	TPP No:	189.15							
	Other Project No:								
Preliminary design plans received 7/16/18. Utility designations received 9/10/18. Final design proposal was received on 10/8/18. Initiating conceptual engineering required to evaluate and refine project scope which is anticipated to be complete in fall 2019. Schedule to be determined at that time.									

Town Center Parkway/W&OD Trail	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	7414	On-Hold	\$.06M		\$.06M		2014 Bonds		
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Zahirieh, Shahla		Design		Mar-17		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct 10-foot shared-use path from the existing sidewalk along Town Center Parkway to the existing Washington and Old Dominion Trail	FC Project No:	5G25-062-013		Utility Relocation		TBD		TBD	
	Program:	RMAG		Construction		TBD		TBD	
	TPP No:	189.14							
	Other Project No:								
Project is included in the 2014 Transportation Bond Referendum which voters approved in November 2014. Project is currently on hold to respond to neighboring HOA request concerning the trail location. FCDOT Site Analysis Section met with the developer, JBG, on 1/25/18. According to this meeting, JBG will provide a pedestrian access located south of W&OD Trail through redevelopment of their site.									

Hunter Mill District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Wiehle Avenue/Washington/Old Dominion (W&OD) Trail Phase II	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	828	Design	\$ 13.401M		\$ 11.645M	RSTP, CMAQ	
District(s): Hunter Mill	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
Scope: Construct pedestrian/bicycle grade separated crossing	Project Manager:	Shahnaj, Sonia		Design	Nov-14	Sep-20 May-21	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jul-19 Mar-20	Jul-20 Apr-21	
	FC Project No:	AA1400102-13		Utility Relocation	Aug-20	Apr-22	
	Program:	RMAG		Construction	Jan-22	Jun-23	
	TPP No:						
	Other Project No:	RMAG-102; UPC 104294; 9999-029-098					
Agreement finalized with the Isaac Newton Square developer on 5/17/19 to provide a pedestrian connection. Second pre-final plan review comments received on 5/30/19. Memo of understanding with the Reston Fire Station completed on 6/12/19. NTP for contract addendum for third pre-final plans was issued on 7/3/19. Third pre-final design is in progress. Project schedule adjusted due to design modifications needed to connect W&OD Trail with the adjacent Isaac Newton Square development.							

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Backlick Road and Industrial Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	617	Design	\$ 5.5M		\$ 4M	TBD
District(s): Lee, Mason	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	TBD Apr-19	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Construct a left turn lane on Backlick Road, including pedestrian improvements along northbound side of Backlick Road between Hechinger Drive and Industrial Road	FC Project No:	2G40-087-010		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	21				
	Other Project No:					
Preliminary design is in progress. Utility designation completed. Project schedule developed up to intermediate design phase. Remaining scope and schedule to be determined after intermediate design completion. Second task order will be issued for final design.						

Browne Academy Trail	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type		
		Project Initiation		\$.4M	C & I		
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	TBD, To Be Determined		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Construct trail at Browne Academy from Edgehill Court to Dewey Drive	FC Project No:	2G40-088-040		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	97					
	Other Project No:						
Project scoping deferred until funding is identified.							

Cinder Bed Road Bikeway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	637	Design	\$ 14.71M		\$ 1.5M	Federal, Local, LCM	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Fasceski, Jeff		Design	Feb-18	May-22	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Dec-20 Nov-21	Aug-21 Jun-22	
Scope: Pedestrian and bicyclist access improvements along Cinder Bed Road from Barry Road to Newington Road	FC Project No:	AA1400137-15		Utility Relocation	Aug-21 Sep-21	Jan-22 May-22	
	Program:			Construction	Sep-22	Nov-23	
	TPP No:	109					
	Other Project No:	UPC 106143; EN 14-029-107, P101, R201, C501					
	Intermediate design underway. Schedule adjusted due to survey delays and environmental constraints affecting preliminary design.						

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Fairfax County Parkway/Terminal Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	3726	Design	\$ 2.25M	\$ 1.5M	NVTa Local	
District(s): Lee, Mount Vernon	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
Scope: Addition of left turn lane on eastbound Terminal Road at the intersection of Fairfax County Parkway	Project Manager:	Hojatzadeh, Max		Design	TBD May-19	TBD May-22
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD Jul-21	TBD Mar-22
	FC Project No:	2G40-087-020		Utility Relocation	TBD Apr-22	TBD Oct-22
	Program:			Construction	TBD Jul-22	TBD May-23
	TPP No:	27.03				
	Other Project No:					
Survey received on 5/13/19. Design NTP issued on 5/29/19. Preliminary design is in progress.						

Fleet Drive Walkway from Yadkin Court to South of Franconia Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	635	Construction	\$ 2.1M		\$ 1.25M	2014 Bonds	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
Scope: Approximately 1,300 LF of sidewalk and curb and gutter along the east side of Fleet Drive	Project Manager:	Hojatzadeh, Max		Design	Jul-15	Nov-18	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Feb-18	Jul-18	
	FC Project No:	5G25-060-027		Utility Relocation	May-18	Apr-19	
	Program:			Construction	Mar-19 Aug-19	Dec-19 Jul-20	
	TPP No:	119					
	Other Project No:						
Final construction package sent to UDCD on 3/29/19. Executed CSX Right-of-Entry agreement received on 7/23/19 and submitted to UDCD. Bid advertisement in process. Schedule adjusted due to time required to execute CSX Right-of-Entry agreement.							

Franconia Road/Westchester Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	644	Complete	\$.3M		\$.3M	C & I	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Beall, James		Design		Apr-16	Nov-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Apr-18	Jun-18
Scope: Median extension and pedestrian crossing with median refuge on Franconia Road at Westchester Street and left turn lane on Franconia Road at Bush Hill Drive	FC Project No:	2G40-088-022		Utility Relocation		NA	NA
TPP No:	122	Construction		Apr-19	Sep-19 Jun-19		
Other Project No:							
Substantially complete 6/27/19.							

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Franconia-Springfield Metrorail Station/VRE Enhanced Bicycle Parking	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	289	On-Hold	\$.13M		\$.13M	C & I
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Install covered bicycle parking	FC Project No:	ST-000037-006		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	123				
	Other Project No:					
Met with VRE April 2016. Informed of upcoming third rail project which may close area during construction. Project on hold pending plans for Atlantic Gateway expansion of CSX three train tracks. Bike parking constructed in July 2017 for 12 bikes. Staff will monitor of bike parking in fall 2019 to determine if additional temporary parking equipment is needed.						

Franconia-Springfield Parkway from Spring Village Drive to Ridgeway Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	7900	Design	\$.8M		\$.5M		C & I	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Madhusudhan, Galappa		Design		Oct-17		May-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA		NA
Scope: Construct approximately 625 LF of 10-foot wide shared-use path on north side of Franconia-Springfield Parkway	FC Project No:	2G40-088-066		Utility Relocation		TBD Mar-20		TBD Jul-20
	Program:			Construction		Jul-20		Apr-21
	TPP No:	228						
	Other Project No:							
Pre-final design submitted 6/27/19. Consultant addressing partial comments received from VDOT. Meeting held with with VDOT on 8/22/19 to review the approval process for limited access line adjustment by Commonwealth Transportation Board.								

Frontier Drive from Franconia-Springfield Parkway to Loisdale Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	2677	Design	\$ 140M		\$ 35M	NVTA Regional	
District(s): Lee	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Bandy, Audra		Design	Mar-16	Apr-19	
	Lead Agency:	Virginia Department of Transportation				TBD	
Scope: Extend Frontier Drive including improvements to circulation around Franconia-Springfield Metrorail Station and Franconia-Springfield Parkway ramps	FC Project No:	DOT-000008		Land Acquisition	TBD	TBD	
	Program:			Utility Relocation	TBD	TBD	
	TPP No:	16		Construction	TBD	TBD	
	Other Project No:	UPC 106742					
Current contract for design approval only. Schedule shown for design approval only. Phase two of project will require a separate contract when the project delivery method will be determined. A design supplement was executed on 4/8/19. It includes a revision of the typical section and the intersection at WMATA entrance. Project coordination meetings held with WMATA in December 2018 and May 2019. Additional coordination with WMATA required to finalize scope of improvements. Schedule to be determined once resolved.							

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
I-95 Northbound Directional Off-Ramp to Northbound Fairfax County Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	95	On-Hold	\$ 81M		\$ 4.193M	Federal
District(s): Lee, Mount Vernon	Project Type:	Interstate	Schedule	Phase	Start Date	End Date
	Project Manager:	Askarzadeh, Negin		Design	Oct-11	Mar-17
Scope: From I-95 Exit 166 for Route 286 northbound, to 0.6 miles west of Exit 166 (PE only)	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	DOT-000019		Utility Relocation	NA	NA
	Program:			Construction	NA	NA
	TPP No:	4				
	Other Project No:	UPC 93033				
Funding for design only. Preliminary design completed. Submitted application for House Bill 2 (HB2) funding in July 2016, but project was not selected for funding. VDOT held a public hearing in September 2016. Board endorsed public hearing plans on 3/14/17. Upon completion of necessary design documents, VDOT plans to submit the public hearing plans to VDOT’s Central Office for design approval. No additional funds are available. Final plans will be developed once additional funding is identified.						

Jefferson Manor Improvements Phase IIIA	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	1614	Design	\$ 3.5M		\$ 4M	2007 Bonds	
District(s): Lee	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Turner, Latesa		Design	Mar-15	Apr-19 Aug-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-17	Aug-18	
Scope: Infrastructure reconstruction on Albemarle Drive in Jefferson Manor	FC Project No:	2G25-097-000		Utility Relocation	Jul-18	Jun-19	
	Program:			Construction	May-19 Oct-19	Apr-20 Oct-20	
	TPP No:	220					
	Other Project No:						
Received VDOT comment clearance on 7/22/19. Preparing permit submission which is anticipated in August 2019. SWPPP is being prepared. Utility relocations pf Washington Gas line and Fairfax Water are complete. Schedule adjusted due to additional time required to obtain final design approval.							

Memorial Street/Donora Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	1401	Design	\$.25M		\$.25M		C & I & Proffer	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
	Project Manager:	Madhusudhan, Galappa		Design	TBD	TBD		
	Lead Agency:	Fairfax County Department of Transportation			Dec-18	Mar-21		
Scope: Construct crosswalk with median refuge on east leg of Memorial Street, curb bulb out and, crosswalk on Donora Drive	FC Project No:	2G40-088-077		Land Acquisition	TBD	TBD		
				Apr-20	Nov-20			
	Program:			Utility Relocation	TBD	TBD		
	TPP No:	657						
	Other Project No:							
Survey received on 4/19/19. Intermediate design submitted to VDOT on 7/10/19. Meeting held with CPTED on 7/31/19 to discuss design changes related to widening the pedestrian refuge island.								

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Richmond Highway Bus Rapid Transit (BRT)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type
	1	Design	\$ 735M		\$ 307M		NVTA, CMAQ, RSTP
District(s): Lee, Mount Vernon	Project Type:	Transit	Schedule	Phase	Start Date	End Date	
	Project Manager:	Aguayo, Vanessa		Design	May-18	TBD	
Scope: Implementation of BRT on Richmond Highway from Huntington Metrorail Station to Fort Belvoir	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
	FC Project No:	2G40-114-000		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:						
	Other Project No:						
Public meeting held 1/23/19. Environmental documentation, 20% design, survey, branding, travel demand and ridership models, and maintenance facility evaluation underway. Phase I (Huntington to Hybla Valley) completion scheduled for 2026. Phase II (Hybla Valley to Fort Belvoir) completion scheduled for 2028. Summer neighborhood meetings conducted in July-August 2019. Next public information meeting on 9/17/19.							

Richmond Highway from Mount Vernon Memorial Highway to Napper Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	1	Design	\$ 372M		\$ 177.8M	RSTP, NVTA Regional, Revenue Sharing	
District(s): Lee, Mount Vernon	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Hamidi, AJ		Design	Jul-16	Dec-22	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Jun-19 Dec-19	Nov-22	
Scope: Widen Richmond Highway from 4 to 6 lanes	FC Project No:	DOT-000023		Utility Relocation	Jun-20 Jun-21	Dec-22 Jun-23	
	Program:			Construction	Apr-23	Aug-26	
	TPP No:	60					
	Other Project No:	UPC 107187					
	The Design Public Hearing was held on 3/26/19. On 7/30/19, the Board of Supervisors endorsed the design public hearing plans. The start of ROW acquisition is anticipated in the winter of 2019. The schedule was adjusted due to refinements in the design intended to reduce ROW impacts, as well as measures to address stakeholder comments.						

Route 1 Southbound from Collard Street and Holly Hill Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	1	Cancelled	\$.091M		\$.091M		2014 Bonds		
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Shahnaj, Sonia		Design		Jun-18		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct 5-foot concrete sidewalk along southbound Route 1 from Collard Street to Holly Hill Road	FC Project No:	5G25-061-033		Utility Relocation		TBD		TBD	
	Program:	RHPTI		Construction		TBD		TBD	
	TPP No:	188.06							
	Other Project No:								
Project was canceled due to upcoming BRT project going to construction sooner than anticipated. Bicycle and pedestrian improvements will be included with the BRT project.									

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 1/Fordson Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	1	Complete	\$.125M	\$.125M	2014 Bonds	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Hojatzadeh, Max		Design	May-18	Jan-19 Mar-19
Scope: Construct approximately 30 LF of 5-foot concrete sidewalk in southwest corner of Route 1 at Fordson Road intersection to complete missing link	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	5G25-061-035		Utility Relocation	TBD	TBD
	Program:	RHPTI		Construction	Mar-19 Apr-19	Aug-19 Jul-19
	TPP No:	188.08				
	Other Project No:					
Construction substantially completed ahead of schedule on 7/11/19.						

Shields Avenue Improvements Alignment Study	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	241	Study	\$ 4.2M		\$ 4.2M	2014 Bonds	
District(s): Lee	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Qi, Maggie		Design	Aug-17	Jun-19 Apr-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Phase I, analysis on the future alternatives not to preclude future BRT operations and Phase II, look at alternative Concepts given Route 1 BRT project	FC Project No:	5G25-059-009		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	270					
	Other Project No:						
Project is included in the 2014 Transportation Board Referendum. Phase 1, updated traffic projections using latest travel demand model and land use assumption from newly adopted Embark Comprehensive Plan and bus movements, was concluded summer 2019. Given findings time line of standalone project, BRT team incorporating project into overall project to streamline efforts and minimize reconstruction. Phase 2 of study will review construction needs and improving traffic conditions for Shields Avenue in light of BRT project.							

South Van Dorn Street/Franconia Road Walkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	613	Construction	\$.375M		\$.4M	2014 Bonds	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Beall, James		Design	Dec-15	Feb-19 Mar-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jan-18	Jul-18	
Scope: Construct approximately 430 LF of sidewalk along the west side of South Van Dorn Street and south of Franconia Road, including new bus stop pad and curb ramps	FC Project No:	5G25-060-018		Utility Relocation	TBD NA	TBD NA	
	Program:			Construction	Apr-19 May-19	Jul-19 Nov-19	
	TPP No:	353					
	Other Project No:						
VDOT permit received 4/5/19. Construction NTP 8/16/19. Schedule adjusted due to additional time required to negotiate construction task order.							

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Springfield CBC Commuter Parking Garage	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
		Land Acquisition	\$ 63.81M		\$ 63.81M	C & I, FTA, CMAQ
District(s): Lee	Project Type:	Transit	Schedule	Phase	Start Date	End Date
	Project Manager:	Luo, Caijun		Design	Sep-14	Mar-18 Aug-19
	Lead Agency:	Capital Facilities, DPWES		Land Acquisition	Mar-18	May-19 Sep-19
Scope: Facility includes transit center, commuter parking, carpool, bicycle and pedestrian facilities, public amenities, and a pedestrian bridge over Old Keene Mill Road	FC Project No:	DOT-000044		Utility Relocation	Aug-19 Jan-20	Jul-22 Nov-22
	Program:			Construction	Aug-19 Jan-20	Jul-22 Nov-22
	TPP No:					
	Other Project No:	ST-000033; UPC 106274				
Final site plan approval late July 2019. All building permit comments addressed. VDOT approval of MOT received. Preparing Bid document to submit to VDOT. Land acquisition for pedestrian bridge is complete. Easements with Fairfax Water and VDOT are being reviewed and processed. Schedule adjusted due to bridge redesign to address VDOT comments, issues related to conformance with Federally funded Locally Administered Projects, and enhanced MOT plans.						

Telegraph Road at Hayfield Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	611	Project Initiation	\$ 3M		\$ 3M	C & I	
District(s): Lee	Project Type:	Primary Road	Schedule	Phase		Start Date	End Date
	Project Manager:	Lilley, Ronald		Design		Feb-19	Oct-20
	Lead Agency:	Virginia Department of Transportation		Land Acquisition		NA	NA
Scope: Provide an additional northbound through lane on Telegraph Road through the signalized intersection with Hayfield Road to reduce congestion and improve safety	FC Project No:	DOT-000101		Utility Relocation		May-20	Oct-20
	Program:			Construction		Feb-21	Aug-21
	TPP No:						
	Other Project No:						
Funding agreement approved by the Board of Supervisors on 9/24/19, allowing transfer of funds to VDOT to implement project.							

Telegraph Road Walkway	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	611	Land Acquisition	\$ 6.75M	\$ 6M	2007 Bonds	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Ayers, Robert		Design	Jun-11	Apr-19 Sep-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-17	Mar-19 Sep-19
Scope: Pedestrian improvements and approximately 3,500 LF of 4-foot bike lane along east side of Telegraph Road from South Kings Highway to Lee District Park	FC Project No:	ST-000021-023		Utility Relocation	Mar-18	Aug-19 Feb-20
	Program:			Construction	May-19 Nov-19	Mar-20 May-21
	TPP No:					
	Other Project No:	4YP201-PB023				
Final project plat and utility permit documents with GSA for sign off. Dominion Power, Cox, and Verizon waiting on GSA permit, MCI cable relocation underway. Signal Plan approved. VPDES re-issuance application submitted to LDS 4/10/19. Final curb ramp revisions to VDOT on 7/26/19 for approval to apply for permit. Schedule to be adjusted after ongoing land negotiations and utility permits are concluded with GSA which is anticipated in October 2019.						

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Telegraph Road Walkway Phase I from Pike Road to Rose Hill Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	611	Construction	\$ 1.6M		\$ 2.1M	2014 Bonds
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	El Kaissi, Mohamad		Design	Oct-15	May-19 Apr-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	May-18	Feb-19
Scope: Install 1,235 LF of 5-foot sidewalk to fill in missing links, including crosswalks and curb ramps	FC Project No:	ST-000036-014		Utility Relocation	Jan-19	Jun-19
	Program:			Construction	Jul-19	May-20
	TPP No:	180				
	Other Project No:					
VDOT permit received 5/15/19. Construction package submitted to UDCD on 6/26/19. Overhead utility relocation was completed on 6/30/19. Title sheet was signed by UDCD on 7/3/19.						

Telegraph Road Walkway Phase II from Pike Road to Wilton Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	611	On-Hold	\$ 3.625M				2014 Bonds	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Bandy, Audra		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Construct 5-foot of concrete sidewalk to fill in missing links, including crosswalks and curb ramps	FC Project No:	ST-000036-017		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	180						
	Other Project No:							
FCDOT is coordinating with DPWES and VDOT on two creek restoration projects that will impact the sidewalk design. Also, DPWES is working with VDOT on a request to maintain a retaining wall along the creek. DPWES has completed a value engineering study for the creek restoration. The design and permitting for the creek restoration is expected to be completed by May 2020. This project is on hold until construction of the creek restoration is complete which is anticipated to occur in FY 2023.								

Telegraph Road Walkway Phase III from Wilton Road to Farmington Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	611	Construction	\$.95M		\$.95M	2014 Bonds	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	El Kaissi, Mohamad		Design	Oct-15	May-19 Apr-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	May-18	Mar-19	
Scope: Install 960 LF of 5-foot sidewalk to fill in missing links, including crosswalks and curb ramps	FC Project No:	ST-000036-018		Utility Relocation	Jan-19	Jun-19 Apr-19	
	Program:			Construction	Jul-19	May-20	
	TPP No:	180					
	Other Project No:						
Utility relocation completed on 4/24/19. VDOT permit received 5/10/19. Construction package was submitted to UDCD on 6/25/19. Title sheet was signed by UDCD on 7/3/19.							

Lee District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Van Dorn Street Pedestrian and Bicycle Access Improvements	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	613	Design	\$ 2.95M	\$ 1M	C & I, Federal	
District(s): Lee	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Turner, Latesa		Design	Feb-18	Feb-22
Scope: Construct approximately 2,000 LF of 8 to 10-foot walkway along north side of South Van Dorn Street from Oakwood Road to Alexandria City Line	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jan-21	Aug-21
	FC Project No:	2G40-088-029		Utility Relocation	TBD	TBD
	Program:			Construction	Sep-22	Dec-23
	TPP No:	182				
	Other Project No:					
Intermediate design distributed for review on 3/29/19.						

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Backlick Road and Industrial Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	617	Design	\$ 5.5M		\$ 4M	TBD
District(s): Lee, Mason	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	TBD Apr-19	TBD
Scope: Construct a left turn lane on Backlick Road, including pedestrian improvements along northbound side of Backlick Road between Hechinger Drive and Industrial Road	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-087-010		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	21				
	Other Project No:					
Preliminary design is in progress. Utility designation completed. Project schedule developed up to intermediate design phase. Remaining scope and schedule to be determined after intermediate design completion. Second task order will be issued for final design.						

Backlick Road Walkway (east side)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	617	On-Hold	\$.25M		\$.08M		2007 Bonds		
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Marsh, Dennis		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jul-09		TBD	
Scope: Approximately 360 LF of walkway along east side of Backlick Rd opposite the Wilburdale community	FC Project No:	ST-000021-025		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:								
	Other Project No:	4YP201-PB025							
Final design is complete. 2 of 3 easements have been acquired. One homeowner is unwilling to sign. On hold per Supervisor's request.									

Backlick Road Walkway from Kandel Court to Cindy Lane	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	617	Design	\$ 1.55M		\$ 1.1M		2014 Bonds		
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Turner, Latesa		Design		Jul-16		Aug-19 Sep-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jan-19		Jul-19	
Scope: Construct approximately 750 LF of concrete sidewalk along the east side of Backlick Road	FC Project No:	5G25-060-020		Utility Relocation		Feb-19		Sep-19	
	Program:			Construction		Sep-19 Oct-19		May-20	
	TPP No:	90							
	Other Project No:								
Final design is in progress. Second pre-final plans distributed for review on 7/9/19. Land acquisition completed 7/24/19. Utility relocations are in progress.									

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Edsall Road Walkway from Timber Forest Drive to Edsall Gardens Apartments	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	648	Construction	\$.725M		\$.7M	2014 Bonds	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Hojatzadeh, Max		Design		Dec-15	Nov-18
Scope: Construct approximately 1,060 LF of sidewalk along westbound Edsall Road and add signalized pedestrian crossing at Timber Forest Drive and Edsall Road	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Aug-17	Apr-18
	FC Project No:	5G25-060-024		Utility Relocation		Mar-18	Jul-18
	Program:			Construction		Feb-19	Sep-19
	TPP No:	113					Oct-19
	Other Project No:						
Construction is 95% complete. Schedule was adjusted to match construction contract duration.							

Glen Forest Drive Walkway from Route 7 to Glen Forest Elemetary School	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	2773	Complete	\$.95M		\$ 1.2M	C & I	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Hojatzadeh, Max		Design	Mar-15	Jan-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Mar-18	Oct-18	
Scope: Construct approximately 1,150 LF of sidewalk along the south side of Glen Forest Drive from Leesburg Pike to Moray Lane	FC Project No:	5G25-060-028		Utility Relocation	Nov-18	May-19 Jul-19	
	Program:			Construction	Mar-19	Sep-19 Aug-19	
	TPP No:	128					
	Other Project No:						
Construction substantially completed on 8/22/19.							

Holmes Run Stream Valley Trail	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type		
		Project Initiation	\$ 1.5M	\$ 1.5M	C & I		
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	TBD, To Be Determined		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Upgrade and pave Holmes Run Stream Valley Trail	FC Project No:	2G40-088-067		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	230					
	Other Project No:						
Project scoping deferred until funding is identified.							

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Little River Turnpike Walkway from Columbia Road to Mayhunt Court	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	236	Utility Relocation	\$ 1.75M		\$ 1.1M	2014 Bonds
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Lauretti, Francesco		Design	Jun-16	Jun-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Apr-18	May-19
Scope: Construct approximately 2,580 LF of 5-foot sidewalk, including curb and gutter	FC Project No:	5G25-060-045		Utility Relocation	TBD May-19	TBD Oct-19
	Program:			Construction	Jul-19 Sep-19	Jun-20 Aug-20
	TPP No:	235				
	Other Project No:					
VDOT permit received 7/16/19. Stormwater Pollution Prevention Plan is being prepared. VPDES Registration Statement submitted to LDS 7/25/19. Land acquisition completed 5/21/19. Change in schedule due to delay in receiving comments from VDOT.						

Little River Turnpike Walkway from Hillbrook Drive to Little River Run Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	236	Design	\$ 6.75M		\$ 3M	2014 Bonds	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
Scope: Construct 1,550 LF of 9-foot wide, curb abutted sidewalk	Project Manager:	Lauretti, Francesco		Design	Aug-17	Sep-20 May-21	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-19 Jun-20	Aug-20 Mar-21	
	FC Project No:	5G25-060-044		Utility Relocation	Sep-20 Apr-21	Jan-21 Jun-21	
	Program:			Construction	Feb-21 Jul-21	Jun-22 Aug-22	
	TPP No:	234					
	Other Project No:						
Pre-final design is in progress. Project schedule revised due to additional time needed to discuss and resolve design options with property owners. Agreement in progress. Working with utility companies to resolve options for pole placement.							

Medford Drive Walkway from Annandale High School to Davian Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	4054	Complete	\$.75M		\$.4M	2014 Bonds	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Nabavi, Seyed		Design	Jan-15	Sep-18	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	May-16	Mar-17	
Scope: Approximately 475 LF of sidewalk, including curb and gutter on east side of Medford Drive from Davian Drive to Four Year Run	FC Project No:	5G25-060-031		Utility Relocation	Jan-17	Mar-17	
	Program:			Construction	Dec-18	Jul-19 May-19	
	TPP No:	151					
	Other Project No:						
Construction substantially complete on 5/24/19.							

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
North Chambliss Street/Beauregard Street	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	713	Design	\$ 2M	\$ 1M	2014 Bonds	
District(s): Mason	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	Dec-16	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Extend island at slip lane and construct approximately 1000 LF of 5-ft sidewalk from Meeting House Way to Lincolnia Senior Center entrance	FC Project No:	5G25-059-003		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	320				
	Other Project No:					
Survey completed on 7/18/19. Pre-scoping document received on 5/6/19. Task order approved. Developing project schedule.						

Peace Valley Lane Walkway	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Design	\$ 1.3M	\$.5M	OTHER	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Fasceski, Jeff		Design	Aug-18	Oct-21
Scope: Construct approximately 825 LF of 5-foot concrete sidewalk along Peace Valley Lane near Justice High School	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jul-20	Jan-21
	FC Project No:	2G40-088-049		Utility Relocation	Mar-21	Jul-21
	Program:			Construction	Apr-22	May-23
	TPP No:	161				
	Other Project No:					
Pre-final design being finalized. Additional survey in progress to locate trees on FCPA property that are potentially impacted by the project.						

Route 236 Corridor Bicycle Improvements	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	236	Project Initiation	\$ 7.5M	\$ 7.5M	C & I	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Delmare, Lauren		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Add bicycle lanes, wide curb lanes, bicycle shoulders to complete network gaps from City of Fairfax to City of Alexandria	FC Project No:	2G40-088-033		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	229				
	Other Project No:					
Study is complete and was endorsed by the Board on 7/25/17. Will be separated into multiple projects. Finalizing project scoping. Will forward for design once funding is available.						

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Route 236 from High Place to Old Columbia Pike	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	236	Design	\$ 4.25M		\$ 1.3M	2014 Bonds	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Zahirieh, Shahla		Design	Nov-17	May-21	
Scope: Construct 1,500 LF of 8-foot wide walkway along north side of Little River Turnpike to both west of and east of Roberts Avenue	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-20	Apr-21	
	FC Project No:	5G25-060-043		Utility Relocation	TBD May-21	TBD Jul-21	
	Program:			Construction	Jun-21	May-22	
	TPP No:	205					
	Other Project No:						
Pre-final design plans distributed for review on 6/25/19.							

Route 236 Widening from I-495 to John Marr Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	236	On-Hold			\$ 2.5M	TBD	
District(s): Braddock, Mason	Project Type:	Secondary Road	Schedule	Phase		Start Date	End Date
Scope: Widen from 4 to 6 lanes, including streetscape improvements	Project Manager:	Luo, Caijun		Design		TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD	TBD
	FC Project No:	DOT-000026		Utility Relocation		TBD	TBD
	Program:			Construction		TBD	TBD
	TPP No:	221					
	Other Project No:						
Cost estimate being developed. Partial funding for feasibility study. Improves access and facilitates economic redevelopment. Project is on hold until further funding is identified.							

Route 50 Walkway from Graham Road to Wayne Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	50	Construction	\$.484M		\$.484M		RSTP, CMAQ		
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Nabavi, Seyed		Design		Oct-13		Jun-17	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		NA		NA	
Scope: Approximately 500 LF of sidewalk and trail on south side of Route 50	FC Project No:	AA1400056-12		Utility Relocation		Apr-17		Oct-17	
	Program:	RT50		Construction		Aug-18		Oct-19 Dec-19	
	TPP No:								
	Other Project No:	RT50-056; UPC 108500							
Construction 95% complete. Construction NTP 4/25/19. Contract awarded 2/27/19. Project construction bundled with Project #1400055-2012, Route 50 Sidewalk from Cedar Hill Road to Allen Street. Schedule adjusted, because it took longer than anticipated to process the bid approval.									

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 50 Walkway from South Street to Aspen Lane	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	50	Complete	\$ 1.284M		\$ 1.284M	RSTP, CMAQ
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 1,300 LF of sidewalk and trail on south side of Route 50	Project Manager:	El Kaissi, Mohamad		Design	Oct-13	Sep-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-16	Mar-17
	FC Project No:	AA1400061-12		Utility Relocation	Apr-17	Apr-18
	Program:	RT50		Construction	Jul-18	Jul-19 May-19
	TPP No:					
	Other Project No:	RT50-061; UPC 108493				
Construction substantially complete 5/31/19.						

Route 50 Walkway from Woodlawn Avenue to Church	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	50	Complete	\$.508M		\$.508M		RSTP, CMAQ		
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Roberson, Jeanmarie		Design		Oct-13		Jun-17	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Oct-16		May-17	
Scope: Approximately 550 LF sidewalk on north side of Route 50	FC Project No:	AA1400057-12		Utility Relocation		NA		NA	
	Program:	RT50		Construction		Nov-17		Apr-19 Mar-19	
	TPP No:								
	Other Project No:	RT50-057; UPC 108497							
Construction was substantially completed on 3/27/19.									

Route 50 Widening from Cedar Hill Road to Annandale Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	50	On-Hold	\$ 47.5M		\$ 5M	NVTA Local	
District(s): Mason, Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
Scope: Widen Route 50 inside the Beltway from 4 to 6 lanes, including intersection improvements and pedestrian and bicycle facilities	Project Manager:	Bandy, Audra		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
	FC Project No:	DOT-000030		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	69					
	Other Project No:						
Partial funding for environmental analysis and preliminary engineering only. Project is on hold until I-66 Express Lanes project is completed and new traffic patterns are established. District offices have been updated on status.							

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 50/Allen Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	50	Complete	\$.25M		\$.258M	RSTP, CMAQ
District(s): Mason, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	El Kaissi, Mohamad		Design	Oct-13	Jun-17
Scope: Pedestrian intersection and bus stop improvements	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-16	May-17
	FC Project No:	AA1400052-12		Utility Relocation	NA	NA
	Program:	RT50		Construction	Nov-17	Apr-19
	TPP No:					Mar-19
	Other Project No:	RT50-052; UPC 108494				
Construction substantially complete 3/27/19.						

Seminary Road Walkway from north of Magnolia Lane to Colfax Avenue	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	716	Land Acquisition	\$ 1.05M		\$ 1.6M		2014 Bonds	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
Scope: 890 LF of sidewalk along Seminary Road from north of Magnolia Lane to City of Alexandria limits before Calhoun Avenue	Project Manager:	Marsh, Dennis		Design		Sep-16		Oct-19
	Lead Agency:	Fairfax County Department of Transportation						Sep-19
	FC Project No:	5G25-060-038		Land Acquisition		Aug-18		Aug-19
	Program:			Utility Relocation		Feb-19		Sep-19
	TPP No:	169						Apr-19
	Other Project No:			Construction		Nov-19		Jun-20
Plans approved on 7/2/19. LAD NTP issued on 8/13/18. Land rights on 9 of 14 properties have been acquired. Public Hearing for acquisition of land rights held on 7/30/19. Verizon and Cox lines relocations complete. In plan water meter adjustments required. TMP and pavement markings and signage and project data sheet have been approved.								

Seven Corners Interchange Improvements	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
		Project Initiation	\$ 95M		\$ 4.35M		RSTP, NVTA Local	
District(s): Mason, Providence	Project Type:	Primary Road	Schedule	Phase		Start Date		End Date
	Project Manager:	TBD, To Be Determined		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Interchange improvements	FC Project No:	2G40-076-000		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	9						
	Other Project No:							
Partial funding for study and alternatives analysis. Continuing work on follow-on motions the Board adopted with the Comprehensive Plan Amendment. As of July 2018, NVTA approved \$1.35 million in RSTP funds. County has additional \$3 million in local funding available for Phase 1A Segment 1A (new road connecting Route 50 westbound on-ramp with a bridge over Route 50 to Sleepy Hollow Road, with a project estimate of \$95 million). County continues to apply to state and regional sources for additional funds.								

Mason District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Sleepy Hollow Road Walkways from Columbia Pike to Route 7	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	613	Design	\$ 6.25M	\$ 4.3M	C & I	
District(s): Mason	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Vanzandt, Mark		Design	Aug-16	Jun-21
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	May-20	Jan-21
Scope: Construct approximately 5,400 LF of 5-foot sidewalk and variable width asphalt trail along Sleepy Hollow Road	FC Project No:	2G40-088-028		Utility Relocation	TBD	TBD
	Program:			Construction	Nov-21	Mar-23 Dec-22
	TPP No:	172				
	Other Project No:					
Pre-final design is in progress. Test hole request submitted in June 2019. Storm drain video pipe inspections and geotechnical soil borings were completed in July 2019.						

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Belle View Boulevard and George Washington Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	1510	On-Hold	\$.4M		\$.1M	C & I
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Add bicycle/pedestrian crossing and connection to Mount Vernon trail	Project Manager:	Jarvis, Mackenzie		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-088-065		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	227				
	Other Project No:					
Project is on hold pending the outcome of the National Park Service study which is expected to be completed March 2020.						

Fairfax County Parkway/Terminal Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	3726	Design	\$ 2.25M		\$ 1.5M	NVTA Local	
District(s): Lee, Mount Vernon	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
Scope: Addition of left turn lane on eastbound Terminal Road at the intersection of Fairfax County Parkway	Project Manager:	Hojatzadeh, Max		Design	TBD May-19	TBD May-22	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD Jul-21	TBD Mar-22	
	FC Project No:	2G40-087-020		Utility Relocation	TBD Apr-22	TBD Oct-22	
	Program:			Construction	TBD Jul-22	TBD May-23	
	TPP No:	27.03					
	Other Project No:						
Survey received on 5/13/19. Design NTP issued on 5/29/19. Preliminary design is in progress.							

Giles Run Connector Road from Lorton Road to Laurel Hill Adaptive Reuse Site	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	3362	Design	\$ 4M		\$ 2.8M	C & I	
District(s): Mount Vernon	Project Type:	Secondary Road	Schedule	Phase		Start Date	End Date
Scope: Improve existing park access road and construct 1500 LF of 8-foot asphalt trail between Lorton Road and the Laurel Hill Adaptive Re-use Development	Project Manager:	Turner, Latesa		Design		Dec-17	Apr-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Nov-19	Jan-20
	FC Project No:	2G40-067-000		Utility Relocation		Feb-20	May-20
	Program:			Construction		Oct-20	Oct-21
	TPP No:						
	Other Project No:						
Pre-final design is in progress. This project will be permitted through the LDS review process.							

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Gunston Cove Road Walkway from Cranford Street to Amsterdam Street	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	600	Complete	\$.75M	\$.5M	2014 Bonds	
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Madhusudhan, Galappa		Design	Apr-16	Apr-18
Scope: Construct approximately 320 LF of 5-foot concrete sidewalk, including curb and gutter and drainage improvements along north side of Gunston Cove Road	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jul-17	Sep-17
	FC Project No:	5G25-060-029		Utility Relocation	NA	NA
	Program:			Construction	Sep-18	May-19
	TPP No:	131				
	Other Project No:					
Substantially complete 5/31/19.						

Gunston Road from Richmond Highway to the Potomac River (Mason Neck Trail)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	242	Project Initiation	\$ 5M		\$ 5M		C & I		
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Stevens, Daniel		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct missing walkway links along Gunston Road from Joseph V. Gartlan Great Marsh Trailhead parking lot to Julia Taft Way	FC Project No:	2G40-088-031		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	206							
	Other Project No:								
Finalizing project scope and identifying potential funding sources to advance the project. On 9/24/19, BOS approved submitting a Transportation Alternatives application for this project for up to \$1,000,000, including a 20% local match of up to \$200,000.									

Hooes Road from Fairfax County Parkway to Silverbrook Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	636	Project Initiation	\$ 20.55M		\$ 15M		TBD	
District(s): Mount Vernon, Springfield	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date
	Project Manager:	TBD, To Be Determined		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Widen from 2 to 4 lanes, including pedestrian signal and pedestrian and bicycle facilities	FC Project No:	DOT-000055		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	55						
	Other Project No:							
Project scoping deferred until funding is identified.								

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Hooes Road Walkway from Ox Road to Furnace Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	636	Project Initiation	\$.4M		\$.4M	C & I
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Construct walkway on north side of Hooes Road from Route 123 to Lorton Road, including crosswalks to existing walkways on Lorton Road	Project Manager:	Stevens, Daniel		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-088-023		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	132				
	Other Project No:					
Project scoping is under final review. Will forward for design once funding is available.						

Hooes Road/Newington Forest Avenue	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	636	Complete	\$.75M	\$.2M	2014 Bonds	
District(s): Mount Vernon, Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	Jan-16	Jan-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Feb-18	Apr-18
Scope: Construct 5-foot concrete sidewalk along the south side of Newington Forest Avenue from Treasure Tree Court to Hooes Road, including pedestrian signals and crosswalk	FC Project No:	5G25-060-011		Utility Relocation	May-18	Sep-18
	Program:			Construction	Feb-19	Sep-19 Jul-19
	TPP No:	337				
	Other Project No:					
Construction substantially complete on 7/19/19.						

I-95 Northbound Directional Off-Ramp to Northbound Fairfax County Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	95	On-Hold	\$ 81M		\$ 4.193M		Federal		
District(s): Lee, Mount Vernon	Project Type:	Interstate	Schedule	Phase		Start Date		End Date	
	Project Manager:	Askarzadeh, Negin		Design		Oct-11		Mar-17	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition		NA		NA	
Scope: From I-95 Exit 166 for Route 286 northbound, to 0.6 miles west of Exit 166 (PE only)	FC Project No:	DOT-000019		Utility Relocation		NA		NA	
	Program:			Construction		NA		NA	
	TPP No:	4							
	Other Project No:	UPC 93033							
Funding for design only. Preliminary design completed. Submitted application for House Bill 2 (HB2) funding in July 2016, but project was not selected for funding. VDOT held a public hearing in September 2016. Board endorsed public hearing plans on 3/14/17. Upon completion of necessary design documents, VDOT plans to submit the public hearing plans to VDOT’s Central Office for design approval. No additional funds are available. Final plans will be developed once additional funding is identified.									

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Lorton Arts Access Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Construction	\$ 1.7M	\$ 1.2M	Bonds	
District(s): Mount Vernon	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	Feb-16	Sep-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jan-18	Feb-18
Scope: Provide direct access from Lorton Arts to Workhouse Road south of existing entrance near Route 123	FC Project No:	TS-000020-001		Utility Relocation	NA	NA
	Program:			Construction	Oct-18	Sep-19 Oct-19
	TPP No:					
	Other Project No:					
Construction 45% complete. Schedule adjusted because schedule was developed based on assumption of one month for surcharge; however, it took three months for the soil to settle.						

Mount Vernon Memorial Highway - Potomac Heritage National Scenic Trail	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	235	Design	\$ 5.5M	\$ 6.5M	C & I	
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Shahnaj, Sonia		Design	Jan-19	Oct-21
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Dec-20	Jul-21
Scope: Complete missing links of trail near Washington's Mill Historic State Park to Grist Mill Park, including bridge over Dogue Creek	FC Project No:	2G40-088-026		Utility Relocation	Aug-21	Mar-22
	Program:			Construction	Dec-21	Dec-22
	TPP No:	154				
	Other Project No:					
Environmental work is underway. United States Army Corps of Engineers issued preliminary jurisdictional determination on 6/28/19. Cultural resources study is finalized and will be submittd to DHR. Intermediate design is in progress.						

Old Mount Vernon Road Walkway from Mount Vernon Highway to Westgate Drive	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	623	Construction	\$ 1.525M	\$ 2.1M	2014 Bonds	
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Zahirieh, Shahla		Design	Apr-16	Aug-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Oct-17	May-18
Scope: Construct 5-foot sidewalk along west side of Old Mount Vernon Road	FC Project No:	ST-000036-016		Utility Relocation	Jun-18	Oct-18
	Program:			Construction	Feb-19 Mar-19	Dec-19 Oct-19
	TPP No:	191				
	Other Project No:					
Final construction package to UDCD 3/7/19. Construction NTP 6/3/19. Construction 90% complete.						

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Pohick Road and Southrun Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	641	Construction	\$ 1.3M		\$.2M	2014 Bonds
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 400 LF of sidewalk along southeast side of Southrun Road from Rushing Creek Road to Pohick Road and signalized pedestrian crossings at Pohick Road	Project Manager:	Roberson, Jeanmarie		Design	Nov-15	Apr-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Oct-17	Jan-18
	FC Project No:	5G25-060-010		Utility Relocation	Jan-18	May-19
	Program:			Construction	Feb-19	Feb-20
	TPP No:	336				
	Other Project No:					
Construction NTP 6/26/19. Field meeting with community manager held on 7/12/19.						

Pohick Road Widening from Richmond Highway to I-95	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	635	Project Initiation	\$ 29.25M		\$ 22M		NVTA	
District(s): Mount Vernon	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date
	Project Manager:	Delmare, Lauren		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Widen Pohick Road to 4 lanes, including intersection improvements and pedestrian and bicycle facilities	FC Project No:	DOT-000022		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	57						
	Other Project No:							
Project scoping and initial coordination in progress. After a preliminary evaluation of existing traffic conditions, projected future traffic conditions, reported accident history, and preliminary cost estimate, considering deferring the road widening and advancing a project to provide a complete pedestrian facility on one side of the roadway throughout the corridor. Anticipate completing scoping fall 2019. Will forward for design once funding is available.								

Quander Avenue Walkway from West Potomac High School to Quander Elementary School	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	630	Land Acquisition	\$ 2.75M		\$ 1.3M		2014 Bonds	
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
	Project Manager:	Madhusudhan, Galappa		Design	Jun-16	Jul-19 Nov-19		
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-18	Jun-19 Aug-19		
Scope: Construct approximately 1,800 LF of concrete sidewalk along west side of Quander Road from Stokes Lane to Emmett Drive	FC Project No:	5G25-060-034		Utility Relocation	Jul-19 Oct-19	Jan-20 Mar-20		
	Program:			Construction	Mar-20 Feb-20	Oct-20 Dec-20		
	TPP No:	165						
	Other Project No:							
Final design is in progress. LAD NTP issued on 11/30/18. Land rights on 9 of 11 properties have been acquired. Public Hearing held on 7/30/19 for condemnation of two outlet roads was approved. Consultant revising design based on comments received from West Potomac High School and Mt. Calvary Baptist Church property, who are impacted with our current design. Dominion, Verizon, and Washington Gas line working on relocation designs. Schedule adjusted to start construction when the school is not in session.								

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Richmond Highway Bus Rapid Transit (BRT)	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	1	Design	\$ 735M	\$ 307M	NVTA, CMAQ, RSTP	
District(s): Lee, Mount Vernon	Project Type:	Transit	Schedule	Phase	Start Date	End Date
	Project Manager:	Aguayo, Vanessa		Design	May-18	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Implementation of BRT on Richmond Highway from Huntington Metrorail Station to Fort Belvoir	FC Project No:	2G40-114-000		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:					
	Other Project No:					

Public meeting held 1/23/19. Environmental documentation, 20% design, survey, branding, travel demand and ridership models, and maintenance facility evaluation underway. Phase I (Huntington to Hybla Valley) completion scheduled for 2026. Phase II (Hybla Valley to Fort Belvoir) completion scheduled for 2028. Summer neighborhood meetings conducted in July-August 2019. Next public information meeting on 9/17/19.

Richmond Highway from Mount Vernon Memorial Highway to Napper Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	1	Design	\$ 372M	\$ 177.8M	RSTP, NVTA Regional, Revenue Sharing	
District(s): Lee, Mount Vernon	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Hamidi, AJ		Design	Jul-16	Dec-22
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Jun-19 Dec-19	Nov-22
Scope: Widen Richmond Highway from 4 to 6 lanes	FC Project No:	DOT-000023		Utility Relocation	Jun-20 Jun-21	Dec-22 Jun-23
	Program:			Construction	Apr-23	Aug-26
	TPP No:	60				
	Other Project No:	UPC 107187				

The Design Public Hearing was held on 3/26/19. On 7/30/19, the Board of Supervisors endorsed the design public hearing plans. The start of ROW acquisition is anticipated in the winter of 2019. The schedule was adjusted due to refinements in the design intended to reduce ROW impacts, as well as measures to address stakeholder comments.

Richmond Highway from Pohick Road to North of Occoquan River Bridge	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	1	Project Initiation	\$ 169.95M	\$ 10M	NVTA Local	
District(s): Mount Vernon	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Hamidi, AJ		Design	TBD	TBD
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
Scope: Widen Richmond Highway from 4 to 6 lanes	FC Project No:	2G40-119-000		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	59				
	Other Project No:					

Preliminary engineering study of widening, including CSX railroad crossing and ramps to I-95, was prepared in November 2017. Coordination efforts are being carried out in association with the Commonwealth's Atlantic Gateway project. Discussions are also occurring regarding the CSX railroad bridge over Richmond Highway. Project schedule will be established for the underpass when the Commonwealth and CSX agree to advance the Atlantic Gateway project. Negotiation of a project agreement initiated.

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Route 1 and Fairview Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	1	Cancelled	\$.099M		\$.1M	2014 Bonds	
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Shahnaj, Sonia		Design	Feb-18	Jul-19	
Scope: Construct 5-foot concrete sidewalk to close missing link, including new curb ramp and crosswalk	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jan-19	Jul-19	
	FC Project No:	5G25-061-030		Utility Relocation	Dec-18	Jan-19	
	Program:			Construction	Aug-19	Feb-20	
	TPP No:	188.03					
	Other Project No:						
LAD NTP issued on 1/2/19. Land rights on 0 of 1 properties have been acquired. Utility relocation completed on 1/25/19. Property owner does not want to relocate the church sign and has become nonresponsive. Notified district supervisor's office on 6/26/19. Supervisor's office agreed with FCDOT's decision to cancel project.							

Route 1 at Fairhaven Avenue/Quander Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	1	Design	\$.125M		\$.117M		2014 Bonds	
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
Scope: Install crosswalk, pedestrian signals, and missing sidewalk segments to improve pedestrian facilities at intersection	Project Manager:	Zahirieh, Shahla		Design	TBD Feb-19	TBD Jul-20		
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD NA	TBD NA		
	FC Project No:	5G25-061-028		Utility Relocation	TBD NA	TBD NA		
	Program:			Construction	TBD Aug-20	TBD Mar-21		
	TPP No:	188.01						
	Other Project No:							
Task order approved and NTP issued on 2/5/19. Survey received 5/22/19. Pre-final design plans underway.								

Route 1 Northbound from Sherwood Hall Lane to Kings Village Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	1	Complete	\$.2M		\$.23M		2014 Bonds		
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Hojatzadeh, Max		Design		May-18		Nov-19 Mar-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Jan-19		Feb-19	
Scope: Construct approximately 115 LF of 5-foot concrete sidewalk on northbound side of Route 1	FC Project No:	5G25-061-036		Utility Relocation		TBD		TBD	
	Program:	RHPTI		Construction		Jul-19 Apr-19		Oct-19 Jul-19	
	TPP No:	188.09							
	Other Project No:								
Construction substantially completed ahead of schedule on 7/11/19.									

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 1 Northbound from Virginia Lodge to Huntington Avenue	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	1	Construction	\$ 1.5M		\$ 1.298M	Revenue Sharing, FTA
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Zahirieh, Shahla		Design	Jul-12	Nov-16
Scope: Approximately 1,375 LF of 5-foot concrete sidewalk and extension of a box culvert along the east of Richmond Highway	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jun-15	May-16
	FC Project No:	AA1400080-12		Utility Relocation	Sep-15	Nov-17
	Program:	RHPTI		Construction	Dec-18	Nov-19
	TPP No:					Feb-20
	Other Project No:	RHPTI-080; UPC 71851				
Project is part of the Four-Year Transportation Program endorsed by the Board 2/9/04. Bid advertisement 2/21/19. Bid opening 3/20/19. NIP signed 6/6/19. Contract award 6/10/19. Construction NTP 7/15/19. The schedule was adjusted due to additional time required to award contract and issue NTP, and to match construction contract duration. Construction is 30% complete.						

Route 1/Lukens Lane Phase II	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	1	Complete	\$ 1.5M		\$ 1.5M	CMAQ, Revenue Sharing, FTA	
District(s): Mount Vernon	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Hojatzadeh, Max		Design	Jul-09	Nov-15	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Apr-16	May-17	
Scope: Pedestrian intersection improvements for express bus stop	FC Project No:	AA1400012-06		Utility Relocation	NA	NA	
	Program:	RHPTI		Construction	Aug-18	Jun-19 Apr-19	
	TPP No:						
	Other Project No:	26006G-06002; UPC 99054					
Substantially complete 4/25/19.							

Silverbrook Road/Lorton Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	600	Study	\$ 3.6M		\$.5M	NVTA	
District(s): Mount Vernon	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Xiong, Yuqing		Design	Sep-17	Dec-18 Jun-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Investigate and analyze mitigation measures to improve the intersection, including additional turn lanes and pedestrian and bicycle improvements	FC Project No:	2G40-087-015		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:						
	Other Project No:						
Study identifies intersection improvements that enhance the operations for the left-turn and westbound right-turn movements. The preferred alternative has been recommended as well as an interim improvement. VDOT will implement the interim improvement which includes modifying the signal head at Lorton Road WB to add a right turn arrow. The interim improvement is expected to be complete in spring 2020. The final report of the study was completed in June 2019 and was sent to district office.							

Mount Vernon District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Silverbrook Road/Southern Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	600	Land Acquisition	\$ 1.75M	\$ 1.2M	2014 Bonds	
District(s): Mount Vernon	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
Scope: Add eastbound left turn lane on Silverbrook Road at Southern Road	Project Manager:	Nabavi, Seyed		Design	Mar-16	May-19 Oct-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Oct-18	Apr-19 Sep-19
	FC Project No:	5G25-059-005		Utility Relocation	Apr-19 Sep-19	Sep-09 Feb-20
	Program:			Construction	Jun-19 Mar-20	Jun-20 Mar-21
	TPP No:	326				
	Other Project No:					
Final plans approved on 5/6/19. LAD NTP 11/20/18. Land rights on 0 of 3 properties have been acquired. Public hearing for acquisition of land rights was held on 7/30/19. Schedule was adjusted to account for time needed to acquire land rights through eminent domain process.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Chichester Lane Walkway from Cherry Drive to Day Lilly Court	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	2862	Complete	\$.35M	\$.3M	2014 Bonds	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Tsybin, Alexander		Design	Mar-16	May-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-17	Apr-18
Scope: Construct approximately 270 LF of 5-foot concrete sidewalk along Chichester Lane	FC Project No:	ST-000036-007		Utility Relocation	NA	NA
	Program:			Construction	Jun-18	Mar-19
	TPP No:	108				
	Other Project No:					
Construction substantially complete 3/25/19.						

Chichester Lane Walkway from Lismore Lane to Fairhill Elementary School	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	2862	Complete	\$.175M	\$.3M	2014 Bonds	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Roberson, Jeanmarie		Design	May-17	Mar-18
Scope: Construct approximately 90 LF of sidewalk from north terminus of Chichester Lane to Lismore Lane	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	May-18	Nov-18
	FC Project No:	ST-000036-019		Utility Relocation	NA	NA
	Program:			Construction	Dec-18	Jun-19 Apr-19
	TPP No:	180.01				
	Other Project No:					
Construction substantially complete 4/12/19.						

Dolley Madison Boulevard Walkway from Great Falls Street to McLean Metrorail Station	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	123	Construction	\$ 2.757M	\$ 3.023M	CMAQ	
District(s): Dranesville, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Lauretti, Francesco		Design	Mar-13	Jun-17
Scope: Approximately 2,400 LF of multi-use trail and sidewalk from Dolley Madison Boulevard/Great Falls Street to McLean Metrorail Station	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Jul-16	Apr-17
	FC Project No:	AA1400065-12		Utility Relocation	Sep-16	Mar-19
	Program:	DCBPA		Construction	Jan-19	Apr-20
	TPP No:					
	Other Project No:	DCBPA-065; UPC 103262				
Contract awarded 6/5/19. VPDES reissuance application submitted to LDS 4/10/19. Construction NTP 8/12/19.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Electric Avenue and Cedar Lane Northbound Left Turn Lane	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	698	On-Hold	\$ 1.6M	\$ 1.6M	NVTA Local	
District(s): Providence	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Roberson, Jeanmarie		Design	Mar-15	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Add left turn lane on Cedar Lane and Electric Avenue, including intersection improvements	FC Project No:	2G40-087-004		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	26				
	Other Project No:					
Project is on hold. CPTED has completed intersection traffic analysis, and is currently reviewing scope. Scoping updates anticipated to be complete fall 2019. Project schedule to be determined once the project scope is updated.						

Gallows Road/Prosperity Avenue	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	650	Complete	\$.075M	\$.14M	C & I	
District(s): Providence	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Ruffner, Scott		Design	Jan-18	Sep-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
Scope: Extend 4-foot concrete median along Gallows Road in the vicinity of the Courtyard Hotel to prevent illegal left turns	FC Project No:	2G40-009-002		Utility Relocation	NA	NA
	Program:			Construction	Jan-19	Mar-19
	TPP No:	664				
	Other Project No:					
Construction substantially complete 3/13/19.						

I-495 Express Lanes Northern Extension	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	495	Design-Build			Federal, State, Private	
District(s): Dranesville, Providence	Project Type:	Interstate	Schedule	Phase	Start Date	End Date
	Project Manager:	Xiong, Yuqing		Design	Apr-18	Jun-19 Dec-20
Scope: Extend Express Lanes approximately 3.5 miles along I-495 between the Route 123 interchange and the Maryland state line at the American Legion Bridge	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000096		Utility Relocation	TBD	TBD
	Program:			Construction	TBD Dec-20	TBD Dec-23
	TPP No:					
	Other Project No:	UPC 113414				
NEPA process started in June 2018, and the first PIM was held on 6/11/18. The second PIM was held in May 2019. The project team met with FCDOT and DPWES in October 2018 and January 2019 to start coordination on stormwater management and bicycle and pedestrian facilities. Fairfax County provided initial comments to VDOT in April 2019, and VDOT has provided revised trail map in June 2019. The current project estimate and allocated funding is between \$500 million and \$600 million. Updated project schedule.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
I-495 Express Lanes Ped/Bike at Idylwood Road (North)	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	495	On-Hold	\$ 1.28M		Enhancement, CMAQ	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	Apr-13	TBD
Scope: North side from I-495 to Shreve Hill Road	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000012		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:					
	Other Project No:	UPC 104005				
Project will complete missing pedestrian facilities outside the limits and original scope of the I-495 Express Lanes Project. Project scoping deferred until funding is identified.						

I-495 Express Lanes Ped/Bike at Idylwood Road (South)	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	495	On-Hold	\$ 1.28M		Enhancement, CMAQ	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: South side from I-495 to Whitestone Hill Court	Project Manager:	Wells, Chris		Design	Apr-13	TBD
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000013		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:					
	Other Project No:	UPC 104005				
Project will complete missing pedestrian facilities outside the limits and original scope of the I-495 Express Lanes Project. Project scoping deferred until funding is identified.						

I-495 Tysons Ped/Bike Bridge South of Route 123	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	395	Design	\$ 13.2M	\$ 10.2M	Enhancement, CMAQ, Primary	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: From Old Meadow Road to Tysons Corner Center	Project Manager:	Wells, Chris		Design	Apr-13	Jun-19 Dec-19
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Jun-19 Dec-19	Jun-20 Jun-21
	FC Project No:	DOT-000011		Utility Relocation	Oct-19 Sep-20	Dec-20 Jun-21
	Program:			Construction	Jun-20 Jun-21	Dec-20 Jun-22
	TPP No:					
	Other Project No:	UPC 104005				
Project will provide access across I-495 south of Dolley Madison Boulevard/Chain Bridge Road (Route 123). The preferred design option was chosen in July 2017. The preferred option is along Old Meadow Road crossing I-495 at the south end of Old Meadow Road to Tysons Corner Center. Public design workshops were held on 11/9/17 and 11/28/17. Design Public Hearing held 6/4/2018, and design approval anticipated in fall 2019. Additional funding approved by the Board on 9/24/19. Construction anticipated to begin in spring 2021.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
I-66 from I-495 Capital Beltway to University Boulevard in Gainesville	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	66	Design-Build	\$ 3218M	\$ 3218M	Federal, State, Private	
District(s): Braddock, Hunter Mill, Providence, Springfield, Sully	Project Type:	Interstate	Schedule	Phase	Start Date	End Date
	Project Manager:	Xiong, Yuqing		Design	Jul-14	Oct-19
Scope: 2 Express and 3 general purpose lanes in each direction, including rapid bus service, a parallel trail, and safety, operational, and interchange improvements	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Apr-18	TBD
	FC Project No:	DOT-000015		Utility Relocation	Apr-18	TBD
	Program:			Construction	Nov-17	Dec-22
	TPP No:	3				
	Other Project No:	UPC 110741, 110496, 108491				

PIM held June 5, 2019. FCDOT received IJR 2040 re-evaluation comments from VDOT in June 2019. The proposed Nutley Street/I-66 interchange was revised from diverging diamond to modified roundabouts. County staff reviewed design changes and provided comments. The design and IJR are both in final development for this segment. An agreement between FCDOT and VDOT has been negotiated to fund several segments of off corridor trails, and more are under review. Partnering efforts continue on meeting higher water quality standard for stormwater management.

Idylwood Road Trail	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	695	On-Hold	\$ 1.05M	\$ 1.05M	RSTP	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	TBD	TBD
Scope: Construct trail from Helena Drive to Idyl Lane on the south side of Idylwood Road	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000020		Utility Relocation	TBD	TBD
	Program:	TMSAMS		Construction	TBD	TBD
	TPP No:					
	Other Project No:					

Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. The original scope called for bicycle lanes/bicycle shoulders. It was determined that on-road bicycle shoulders would not be feasible, due to major utility conflicts and ROW constraints. Project scoping deferred until funding is identified.

International Drive/Tysons Blvd	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	6034	Construction	\$.086M	\$.1M	RSTP	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Askarzadeh, Negin		Design	NA	NA
	Lead Agency:	Developer		Land Acquisition	NA	NA
Scope: Pedestrian intersection improvements	FC Project No:	AA1400119-13		Utility Relocation	NA	NA
	Program:	TMSAMS		Construction	NA	NA
	TPP No:					
	Other Project No:	TMSAMS-119; UPC 106935				

The north quadrants were built by VDOT as part of a signal upgrade. Per coordination with VDOT, the south quadrant of the project to be incorporated into a developer plan to improve the intersection. The redevelopment plan was approved on 11/14/18. Site work is underway and the signal and utility work has started. Signal foundations and the poles have been installed. The developer anticipates completing the signal upgrades by the end of October 2019.

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Jones Branch Connector	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	8102	Construction	\$ 60M	\$ 60M	C & I, Revenue Sharing, RSTP	
District(s): Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Dresser, John		Design	Feb-14	May-16
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Dec-15	Jun-16
Scope: Final Design for Extension of Jones Branch Connector from Jones Branch Drive to Dolley Madison Boulevard over I-495 and the I-495 Express Lanes	FC Project No:	AA1400093-13		Utility Relocation	Jan-16	Jan-17
	Program:			Construction	May-16	Oct-19 Dec-19
	TPP No:					
	Other Project No:	JBC-093-093; UPC 103907; 8102-029-065				
Project is in construction phase by VDOT. Construction is 95% complete. The opening of one traffic lane in each direction was completed on 12/15/18. Project completion delayed due to issues related to utility duct bank installation.						

Lincoln Street Feasibility Study	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Study	\$.332M	\$ 1.2M	Tysons Grid Fund	
District(s): Providence	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Luo, Caijun		Design	Sep-17	Sep-19 Feb-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
Scope: New road connecting Old Meadow Road to Margarity Road	FC Project No:	2G40-057-001		Utility Relocation	NA	NA
	Program:			Construction	NA	NA
	TPP No:	314				
	Other Project No:					
Based on VDOT's comments, the design consultant submitted the final design summary technical memorandum and 15% concept design plans in May 2019. FCDOT staff briefed district supervisor's office on 6/20/19 and responded to VDOT in July 2019. Additional tasks were assigned to the consultant to revise the signal justification report and perform additional traffic analysis and design at Magarity Road connection. Schedule adjusted as a result.						

Pavement Marking Plans	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Project Initiation	\$.1M	\$.1M	RSTP	
District(s): Dranesville, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wynands, Nicole		Design	TBD	TBD
Scope: Addition of bike lanes on various roadways in the Tysons area and surrounding neighborhoods	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	AA1400125-13		Utility Relocation	TBD	TBD
	Program:	TMSAMS		Construction	TBD	TBD
	TPP No:					
	Other Project No:					
Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. Funding provided to prepare Pavement Marking plan and add bike lanes and markings along existing roadways in the Tysons area and surrounding neighborhoods. Roadways to be selected per VDOT's summer re-paving schedule. Bike lanes will be added to Towers Crescent Drive in fall 2019, closing a major gap in bicycle infrastructure between the W&OD and Tysons.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 123 over Leesburg Pike Bridge Rehabilitation	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	123	Project Initiation	\$ 2.5M	\$ 2.5M	State	
District(s): Hunter Mill, Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Borkowski, Tad		Design	Sep-19	Feb-20
Scope: Restore the bridge deck	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	DOT-000100		Utility Relocation	NA	NA
	Program:			Construction	Mar-20	Dec-20
	TPP No:	0123-029-385				
	Other Project No:	0123-029-385; UPC 111685				
Public information meeting held on 5/30/19. Project advertised for construction and construction award expected in October 2019.						

Route 123 Walkway from Courthouse Road to Sutton Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	123	Design	\$ 1.75M	\$ 1.8M	2014 Bonds	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Construct approximately 1,910 LF of 5-foot concrete sidewalk on south side of Route 123	Project Manager:	El Kaissi, Mohamad		Design	Dec-17	Aug-20 Oct-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Oct-19 Dec-19	Jun-20 Aug-20
	FC Project No:	5G25-060-023		Utility Relocation	Jul-20 Sep-20	Dec-20 Apr-21
	Program:			Construction	Nov-20	Nov-21
	TPP No:	102				
	Other Project No:					
Pre-final design is in progress. Additional survey required to address design revisions at the intersection was received on 5/15/19 to add two curb ramps at intersection of Five Oaks Road and Chain Bridge Road. Schedule adjusted due to need for additional survey.						

Route 123 Walkway from Horse Shoe Drive to Niblick Drive	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	123	Construction	\$ 1.6M	\$ 1.6M	C & I	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Beall, James		Design	Mar-15	Aug-18
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Dec-16	Jun-18
Scope: Approximately 2,660 LF of 5-foot sidewalk, including pedestrian signal and ramps	FC Project No:	2G40-088-014		Utility Relocation	Sep-18	Feb-19 Apr-19
	Program:			Construction	Feb-19	Oct-19
	TPP No:	103				
	Other Project No:					
Construction NTP issued 5/6/19. Construction 45% complete.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 123/Jermantown Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	123	Construction	\$ 2.5M	\$ 2.5M	C & I	
District(s): Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Lauretti, Francesco		Design	Jun-10	Nov-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Mar-16	Jan-17
Scope: Add right turn lanes on northbound and southbound Route 123, including drainage improvements	FC Project No:	2G40-028-012		Utility Relocation	Feb-17	Feb-19
	Program:			Construction	Sep-18	Nov-19 Mar-20
	TPP No:					
	Other Project No:	RSPI01-01400				
Project is funded by Commercial and Industrial revenues and endorsed by the BOS on 3/23/10. All utility relocations are complete. Construction NTP 6/17/19. Signal timings approved. Change in schedule due to bid process requirements.						

Route 50 Walkway from 8301 Arlington Boulevard to Gallows Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Project Initiation	\$ 1.39M	\$.7M	C & I	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Askarzadeh, Negin		Design	TBD	TBD
Scope: Construct approximately 2500 LF of 6-foot walkway along south side of Route 50	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-088-039		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	88				
	Other Project No:					
Project scoping complete. Evaluating available funding before forwarding for design.						

Route 50 Walkway at Bear Branch Pedestrian Bridge	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	50	Design	\$.85M		\$.65M	C & I	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Roberson, Jeanmarie		Design	TBD May-19	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
Scope: Approximately 140 LF of walkway and a pedestrian bridge on the south side of Route 50	FC Project No:	2G40-088-074		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	87.03					
	Other Project No:						
Topographic survey completed. Final property and survey field check underway. Conceptual design underway. Project design through preliminary (30%) design only.							

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 50 Walkway from Annandale Road to Cherry Street	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Complete	\$.659M	\$.659M	RSTP, CMAQ	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	El Kaissi, Mohamad		Design	Oct-13	May-17
Scope: Approximately 1,310 LF of sidewalk and trail on north side of Route 50	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-16	Apr-17
	FC Project No:	AA1400059-12		Utility Relocation	Jul-17	Apr-18
	Program:	RT50		Construction	Jul-18	Jan-20 Jun-19
	TPP No:					
	Other Project No:	RT50-059; UPC 108501				
	Construction substantially complete 6/13/19.					

Route 50 Walkway from Blake Lane to Stonehurst Drive	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Design	\$.85M	\$.85M	C & I	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 660 LF of 10-foot wide asphalt trail with wayfinding signs	Project Manager:	Ayers, Robert		Design	TBD Apr-19	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-088-072		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	87.01				
	Other Project No:					
Survey received from county surveyor 6/5/19. Survey forwarded to consultant on 6/10/19. Concept design received 7/31/19 and is under review. Utility designation requested on 7/22/19. Draft concept received 7/31/19 and is under review. Schedule to be developed after concept review and receipt of utility designation which is expected in fall 2019.						

Route 50 Walkway from Cedar Hill Road to Allen Street	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Construction	\$ 1.029M	\$ 1.029M	RSTP, CMAQ	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 1,400 LF of sidewalk and trail on north side of Route 50	Project Manager:	Nabavi, Seyed		Design	Oct-13	Jun-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	AA1400055-12		Utility Relocation	Jan-17	Apr-18
	Program:	RT50		Construction	Aug-18	Oct-19 Dec-19
	TPP No:					
	Other Project No:	RT50-055; UPC 108499				
Construction NTP 4/25/19. Construction 40% complete. Project Construction is bundled with Project #1400056-2012, Route 50 Sidewalk from Graham Road to Woodley Lane. Schedule adjusted due to additional time required to process the bid approval.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 50 Walkway from Cedar Lane to Prosperity Avenue	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Design	\$ 1.7M	\$ 1.7M	C & I	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Roberson, Jeanmarie		Design	TBD May-19	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Approximately 1190 LF of 10-foot wide walkway on the north side of Route 50 with bus stop accessibility improvements	FC Project No:	2G40-088-075		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	87.04				
	Other Project No:					
Topographic survey completed. Final property and survey field check underway. Conceptual design underway. Project design through preliminary (30%) design only.						

Route 50 Walkway from Chichester Lane to Cedar Lane	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Design	\$.9M	\$.9M	C & I	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 755 LF of 5-foot wide concrete sidewalk on the south side of Route 50 frontage road	Project Manager:	Roberson, Jeanmarie		Design	TBD May-19	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-088-076		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	87.05				
	Other Project No:					
Topographic survey completed. Final property and survey field check underway. Conceptual design underway. Project design through preliminary (30%) design only.						

Route 50 Walkway from Lindenwood Lane to Nutley Street	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Project Initiation	\$.75M	\$.75M	C & I	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Ayers, Robert		Design	Feb-19	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Approximately 360 LF of 8 to 10-foot of walkway along north side of Route 50 with signalized crosswalks and wayfinding signs	FC Project No:	2G40-088-073		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	87.02				
	Other Project No:					
Most of project is in a floodplain and ponding stream. Proposal to perform survey only for design and for floodplain considerations approved 2/12/19. Survey data received 5/6/19. Met with consultant on 7/15/19 to review issues with project encroachment into floodplain. Received proposal for review of encroachment and impacts of possible realignment of walkway. Comments returned 7/30/19. Revised proposal received 8/6/19. Schedule to be developed after scope is re-evaluated.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 50 Walkway from Meadow Lane to Linden Lane	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Complete	\$.739M	\$.739M	RSTP, CMAQ	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Nabavi, Seyed		Design	Oct-13	Jun-17
Scope: Approximately 600 LF of sidewalk and trail on north side of Route 50	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	AA1400060-12		Utility Relocation	Apr-17	Apr-18
	Program:	RT50		Construction	Jul-18	Jan-20 Jun-19
	TPP No:					
	Other Project No:	RT50-060; UPC 108495				
Construction substantially complete 6/13/19.						

Route 50 Walkway from Westcott Street to Annandale Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Complete	\$ 2.095M	\$ 2.095M	RSTP, CMAQ	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 2,800 LF of sidewalk and trail on north side of Route 50	Project Manager:	Nabavi, Seyed		Design	Oct-13	Jun-17
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	AA1400058-12		Utility Relocation	Apr-17	Aug-18
	Program:	RT50		Construction	Jun-18	Aug-19 Jul-19
	TPP No:					
	Other Project No:	RT50-058; UPC 108498				
Construction substantially complete 7/26/19.						

Route 50 Widening from Cedar Hill Road to Annandale Road	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	On-Hold	\$ 47.5M	\$ 5M	NVTA Local	
District(s): Mason, Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Bandy, Audra		Design	TBD	TBD
Scope: Widen Route 50 inside the Beltway from 4 to 6 lanes, including intersection improvements and pedestrian and bicycle facilities	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	DOT-000030		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	69				
	Other Project No:					
Partial funding for environmental analysis and preliminary engineering only. Project is on hold until I-66 Express Lanes project is completed and new traffic patterns are established. District offices have been updated on status.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 50/Allen Street	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	50	Complete	\$.25M	\$.258M	RSTP, CMAQ	
District(s): Mason, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	El Kaissi, Mohamad		Design	Oct-13	Jun-17
Scope: Pedestrian intersection and bus stop improvements	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-16	May-17
	FC Project No:	AA1400052-12		Utility Relocation	NA	NA
	Program:	RT50		Construction	Nov-17	Apr-19 Mar-19
	TPP No:					
	Other Project No:	RT50-052; UPC 108494				
Construction substantially complete 3/27/19.						

Route 7 Widening from I-66 to I-495	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	7	Study	\$.25M	\$.25M	C & I	
District(s): Dranesville, Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Borkowski, Tad		Design	Oct-18	May-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Study widening Route 7 from I-66 to I-495, including potential BRT lanes	FC Project No:	2G40-150-000		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:					
	Other Project No:					
Traffic data collection is complete. Consultant is establishing centerline. Coordination with NVTC BRT study ongoing. Coordination with Washington Gas ongoing.						

Route 7 Widening from Route 123 to I-495 (Study Only)	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	7	Study	\$.65M	\$.65M	C & I	
District(s): Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
Scope: Conceptual design and traffic operations study to determine future cross section	Project Manager:	Borkowski, Tad		Design	Sep-12	TBD
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	2G40-035-001		Utility Relocation	NA	NA
	Program:			Construction	NA	NA
	TPP No:					
	Other Project No:					
Ground survey and traffic data collection are complete, and the consultant is preparing future lane configurations. NVTC finalized and published results of BRT study in December 2016. Additional BRT study is underway to locate BRT stations, ROW needs, and set alignment. Route 7 widening study is on hold until completion of the BRT study which should be completed by end of 2019.						

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 7/Route 123 Interchange (Study Only)	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	7	Study	\$.35M	\$.35M	C & I	
District(s): Hunter Mill, Providence	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Borkowski, Tad		Design	Sep-12	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
Scope: Conceptual design and traffic operations study to determine future interchange configuration or at-grade intersection configuration	FC Project No:	2G40-035-002		Utility Relocation	NA	NA
	Program:			Construction	NA	NA
	TPP No:	216				
	Other Project No:					
Evaluating a two-quadrant intersection with and without the cap (i.e., elevated pedestrian plaza), and a continuous flow intersection with cap. Analyzing land use and roadway connectivity for potential Bus Rapid Transit in Tysons. Preferred option analysis and 15% design should be completed by the end of 2020 dependent on final outreach plan that is being finalized and anticipated to occur in spring 2020.						

Scotts Run Walkway	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
		Construction	\$ 4.566M	\$ 4.566M	RSTP	
District(s): Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Dresser, John		Design	Jul-15	Aug-18
	Lead Agency:	Fairfax County Park Authority		Land Acquisition	Feb-18	Jun-18
Scope: Construct approximately 2,500 LF of asphalt walkway through Scotts Run Stream Valley Park	FC Project No:	AA1400107-13		Utility Relocation	Oct-18	May-19
	Program:	TMSAMS		Construction	Jan-19	Sep-20
	TPP No:					
	Other Project No:	TMSAMS-107; UPC 104293				
Construction award authorization received from VDOT on 4/15/19. Construction award date was on 5/14/19. Construction NTP date was 7/8/19. Construction is 2% complete.						

Seven Corners Interchange Improvements	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
		Project Initiation	\$ 95M	\$ 4.35M	RSTP, NVTA Local				
District(s): Mason, Providence	Project Type:	Primary Road	Schedule	Phase		Start Date		End Date	
	Project Manager:	TBD, To Be Determined		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Interchange improvements	FC Project No:	2G40-076-000		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	9							
	Other Project No:								
Partial funding for study and alternatives analysis. Continuing work on follow-on motions the Board adopted with the Comprehensive Plan Amendment. As of July 2018, NVTA approved \$1.35 million in RSTP funds. County has additional \$3 million in local funding available for Phase 1A Segment 1A (new road connecting Route 50 westbound on-ramp with a bridge over Route 50 to Sleepy Hollow Road, with a project estimate of \$95 million). County continues to apply to state and regional sources for additional funds.									

Providence District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Tysons Wayfinding Signage	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
		Bid Advertisement	\$.125M		\$.125M	C & I
District(s): Dranesville, Providence	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wynands, Nicole		Design	Aug-17	Apr-19
Scope: Installation of bicycle wayfinding signage in the Tysons area and surrounding neighborhoods	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	AA1400126-13		Utility Relocation	NA	NA
	Program:	TMSAMS		Construction	Apr-19 Oct-19	Aug-19 Apr-20
	TPP No:					
	Other Project No:	TMSAMS-126				
The pre-final design comments from VDOT are being addressed. Final design sent to VDOT in April 2019. Schedule adjusted to accommodate additional VDOT plan review. Construction is on hold until the fall to allow for timely bicycle and pedestrian signage installation as part of VDOT's annual repaving multimodal improvements.						

Springfield District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Burke Road from Aplomado Drive to Parakeet Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	652	Design	\$ 8.5M		\$ 1M	NVTA Local
District(s): Springfield	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
Scope: Realign Burke Road to eliminate hazardous curve and upgrade storm drainage facilities at stream crossing to minimize flooding	Project Manager:	Roberson, Jeanmarie		Design	Dec-16	TBD Dec-20
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD Dec-19	TBD Sep-20
	FC Project No:	2G40-087-003		Utility Relocation	TBD Oct-20	TBD Apr-22
	Program:			Construction	TBD May-22	TBD Aug-23
	TPP No:	23				
Other Project No:						
In accordance with the 12/18/18 meeting with district supervisor and FCDOT, it was decided that an 8 foot walkway will be incorporated into the project along south side Burke Road from Parakeet Drive to Mill Cove Court. Project schedule developed based on the resolution of the walkway width along the south side of the project. Draft project plats under review. Second pre-final design distributed for review 8/2/19.						

Center Road Walkway from West Springfield High School to Garden Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	777	Construction	\$ 1.25M		\$.8M		2014 Bonds	
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
Scope: 667 LF of 5-foot sidewalk, including curb and gutter on south side of Center Road, storm drainage improvements, retaining wall, and potential road widening	Project Manager:	Madhusudhan, Galappa		Design	Dec-14	Jan-19		
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Mar-17	Jun-17		
	FC Project No:	ST-000036-006		Utility Relocation	Dec-17	Sep-18		
	Program:			Construction	Mar-19 Apr-19	Sep-19 Oct-19		
	TPP No:	100						
Other Project No:								
Pardon our dust meeting held on 4/1/19. Final construction package submitted 4/22/19. Construction is 20% complete. Completion date revised, because of additional time required to address final comments on the draft construction package.								

Fair Lakes Boulevard Walkway from Stringfellow Road to Retail Center	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	7735	Design	\$.75M		\$.6M		2014 Bonds, Federal		
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	El Kaissi, Mohamad		Design		Mar-15		May-18	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Mar-17		Apr-18	
Scope: Construct 1,250 LF of 5-foot concrete sidewalk along the south side of Fair Lakes Boulevard	FC Project No:	5G25-060-026		Utility Relocation		May-18		Oct-18	
	Program:			Construction		Apr-20		Mar-21	
	TPP No:	116							
	Other Project No:								
Funding agreement was approved by the Board of Supervisors on 12/4/18 and sent to VDOT for execution on 12/14/18. VDOT PE authorization received on 2/25/19. NTP for environmental review and documentation was issued on 3/14/19. PCE package submitted to VDOT on 7/25/19.									

Springfield District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Fairfax County Parkway Widening from Route 29 to Route 123	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	286	Design	\$ 194.1M		\$ 144M	NVTA Local, Smart Scale Funding
District(s): Braddock, Springfield	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
Scope: Widen from 4 to 6 lanes, including Popes Head Road interchange and improvements to pedestrian and bicycle facilities	Project Manager:	Qi, Maggie		Design	Aug-16	Nov-20 Sep-23
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Oct-19 Mar-21	Jan-21 Jun-22
	FC Project No:	DOT-000045		Utility Relocation	Oct-19 Aug-22	Jan-21 Aug-23
	Program:			Construction	Feb-21 Nov-23	Dec-23 Mar-25
	TPP No:	1, 51				
	Other Project No:	UPC 107937				
Project delivery changed from Design-Build to Design-Bid-Build. NEPA documents in progress. Addressing public comments and working on IJR. Evaluating alternatives for Popes Head Road interchange. Design Public Hearing expected in late 2019/early 2020. Schedule shown for Phase I only (Popes Head Road interchange). Schedule for Phase II (Fairfax County Parkway Widening) to be determined based on funding procurement. Schedule adjusted due to change in project delivery and to allow time for community involvement and evaluation of interchange alternatives.						

Hooes Road from Fairfax County Parkway to Silverbrook Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	636	Project Initiation	\$ 20.55M		\$ 15M		TBD		
District(s): Mount Vernon, Springfield	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date	
	Project Manager:	TBD, To Be Determined		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Widen from 2 to 4 lanes, including pedestrian signal and pedestrian and bicycle facilities	FC Project No:	DOT-000055		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	55							
	Other Project No:								
Project scoping deferred until funding is identified.									

Hooes Road/Newington Forest Avenue	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	636	Complete	\$.75M		\$.2M		2014 Bonds		
District(s): Mount Vernon, Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Nabavi, Seyed		Design		Jan-16		Jan-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Feb-18		Apr-18	
Scope: Construct 5-foot concrete sidewalk along the south side of Newington Forest Avenue from Treasure Tree Court to Hooes Road, including pedestrian signals and crosswalk	FC Project No:	5G25-060-011		Utility Relocation		May-18		Sep-18	
	Program:			Construction		Feb-19		Sep-19 Jul-19	
	TPP No:	337							
	Other Project No:								
Construction substantially complete on 7/19/19.									

Springfield District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Hunter Village Drive Bicycle Parking	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	6945	Project Initiation				C & I
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Wells, Chris		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Covered bicycle parking on the north end of Hunter Village Drive in the vicinity of Old Keene Mill Road	FC Project No:	DOT-000046		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	133				
	Other Project No:					
Project scoping deferred until funding is identified.						

Hunter Village Drive Walkway from Wentworth Place to Flax Street	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
		Land Acquisition	\$.6M		\$.3M		C&I	
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date		
Scope: Construct 5-foot concrete sidewalk along the north side of Hunter Village Drive	Project Manager:	Madhusudhan, Galappa		Design	Dec-17	Nov-19 Apr-20		
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Mar-19 Jul-19	Oct-19 Mar-20		
	FC Project No:	2G40-088-038		Utility Relocation	TBD Apr-20	TBD Jul-20		
	Program:			Construction	Jan-20 Jul-20	Jul-20 Jan-21		
	TPP No:	134						
	Other Project No:							
Final Design submitted to VDOT on 7/25/19. NTP issued to LAD on 7/29/19. SWM approval received on 6/29/19. Schedule adjusted because of additional time required to address comments on the plats and extra time required for utility relocation.								

I-66 from I-495 Capital Beltway to University Boulevard in Gainesville	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	66	Design-Build	\$ 3218M		\$ 3218M		Federal, State, Private		
District(s): Braddock, Hunter Mill, Providence, Springfield, Sully	Project Type:	Interstate	Schedule	Phase		Start Date		End Date	
	Project Manager:	Xiong, Yuqing		Design		Jul-14		Oct-19	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition		Apr-18		TBD	
Scope: 2 Express and 3 general purpose lanes in each direction, including rapid bus service, a parallel trail, and safety, operational, and interchange improvements	FC Project No:	DOT-000015		Utility Relocation		Apr-18		TBD	
	Program:			Construction		Nov-17		Dec-22	
	TPP No:	3							
	Other Project No:	UPC 110741, 110496, 108491							
PIM held June 5, 2019. FCDOT received IJR 2040 re-evaluation comments from VDOT in June 2019. The proposed Nutley Street/I-66 interchange was revised from diverging diamond to modified roundabouts. County staff reviewed design changes and provided comments. The design and IJR are both in final development for this segment. An agreement between FCDOT and VDOT has been negotiated to fund several segments of off corridor trails, and more are under review. Partnering efforts continue on meeting higher water quality standard for stormwater management.									

Springfield District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Lee Chapel Road Walkway from Britford Drive to Burke Lake Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	643	Construction	\$ 3.375M		\$ 3.375M	C & I
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Approximately 1,600 LF of sidewalk on west side of Lee Chapel Road	Project Manager:	Nabavi, Seyed		Design	Apr-15	Mar-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-17	Feb-18
	FC Project No:	5G25-060-030		Utility Relocation	Mar-18	Aug-18
	Program:			Construction	Apr-19 May-19	Apr-20
	TPP No:	144				
	Other Project No:					
VDOT permit received on 4/3/19. Pardon our dust meeting held on 5/29/19. Final construction package submitted on 5/31/19. Bid advertisement 6/6/19. Bid opening 7/9/19. Board notification of contract award in progress.						

Old Keene Mill Road Bike Shoulders	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	644	Project Initiation			\$ 9.1M	C & I	
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
Scope: Provide bicycle infrastructure between Lee Chapel Road and Spring Road	Project Manager:	Wells, Chris		Design	TBD	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD	
	FC Project No:	2G40-088-046		Utility Relocation	TBD	TBD	
	Program:			Construction	TBD	TBD	
	TPP No:	158					
	Other Project No:						
Estimate to be determined. Project scoping deferred until funding is identified.							

Post Forest Drive from Legato Road to Black Ironwood Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	7435	On-Hold	\$.525M		\$.3M		C & I		
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Turner, Latesa		Design		Sep-16		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Construct approximately 500 LF of 6-foot concrete sidewalk along the south side of Post Forest Drive from Legato Road to 210 LF west of Cedar Forest Drive	FC Project No:	5G25-060-032		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	163							
	Other Project No:								
Project on hold pending discussions with VDOT and disposition of the proposed the I-66/Random Hills Road trail project that is part of the I-66 Express Lanes project.									

Springfield District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Rolling Road VRE Parking Expansion	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	638	Design	\$ 2M		\$ 1.1M	C & I
District(s): Braddock, Springfield	Project Type:	Transit	Schedule	Phase	Start Date	End Date
	Project Manager:	Fasceski, Jeff		Design	Aug-18	Jun-21
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Aug-20 May-20	Feb-21
Scope: Surface parking lot expansion	FC Project No:	2G40-055-000		Utility Relocation	TBD	TBD
	Program:			Construction	Dec-21	Sep-22
	TPP No:	358				
	Other Project No:					
Pre-final design is in progress.						

Rolling Road Widening (Old Keene Mill Road Intersection Improvements)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	638	Land Acquisition	\$ 4.755M		\$ 4.755M	Secondary, NVTA Regional	
District(s): Braddock, Springfield	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Chellappa, Smitha		Design	Feb-16	Apr-19 Jun-19	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Apr-19 Jul-19	Oct-19 Dec-19	
Scope: Improvements to the Old Keene Mill Road and Rolling Road intersection	FC Project No:	DOT-000091		Utility Relocation	Oct-19 Dec-19	Apr-20 Jul-20	
	Program:			Construction	Apr-20 Jul-20	Apr-21 Jun-21	
	TPP No:	58					
	Other Project No:	UPC 109814					
Dual left turn lanes and a dedicated right turn lane will be provided on northbound Rolling Road. 30% design completed. Design Public Hearing held on 2/27/18. Board endorsed public hearing plans on 7/31/18. Schedule adjusted due to additional time required to finalize the ROW package. NTP for ROW acquisition was issued 7/29/19.							

Rolling Road Widening from Viola Street to Old Keene Mill Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	638	Design	\$ 56.826M		\$ 51.605M	Secondary, NVTA Regional	
District(s): Springfield	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Chellappa, Smitha		Design	Feb-16	May-19 Aug-19	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	May-19 Aug-19	Feb-21 May-21	
Scope: Widen Rolling Road from 2 to 4 lanes with signal upgrades, pedestrian, bicycle, and access management improvements	FC Project No:	DOT-000024		Utility Relocation	Dec-20 Oct-20	Jul-22	
	Program:			Construction	Aug-22 Jul-22	Dec-24 Feb-25	
	TPP No:	58					
	Other Project No:	UPC 5559					
Design in progress. 30% plans submitted for review and comments in January 2018. Design Public Hearing held on 2/27/18. Board endorsed public hearing plans on 7/31/18. ROW plans are being developed. Schedule adjusted due to additional time required for utility coordination for Phase II and to prepare ROW package. Construction duration was increased when the schedule was revised.							

Springfield District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Rolling Valley Connector Trail	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
		Study	\$ 1.4M		\$.25M	TBD
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	TBD, To Be Determined		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
Scope: Construct new shared-use path from Rolling Valley Park-and-Ride Lot to Pohick Stream Valley Park	FC Project No:	DOT-000083		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	226				
	Other Project No:					
Project scoping deferred until funding is identified.						

Route 28 from Prince William County Line to Route 29	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	28	Design-Build	\$ 86.48M		\$ 76.625M	NVTA Regional, RSTP, SmartScale	
District(s): Springfield, Sully	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Beall, James		Design	Jan-16 Sep-19	TBD Jun-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD Sep-20	TBD May-23	
Scope: Widen Route 28 from 4 lanes to 6 lanes	FC Project No:	2G40-100-000		Utility Relocation	TBD Sep-20	TBD May-23	
	Program:			Construction	TBD Sep-20	TBD May-23	
	TPP No:	62					
	Other Project No:						
Geotechnical analysis approved by VDOT. NEPA Categorical Exclusion (CE) sent to VDOT 2/25/19, received confirmation from FHWA on 7/19/19 that CE is complete and available for public review. Traffic study resubmitted 6/10/19. Consultant is revising 30% plans based on VDOT and FCDOT comments. Design will go through preliminary phase only. RFP released in September 2019. Design public hearing held on September 23, 2019.							

Route 29 from Pickwick Road to Buckley's Gate Drive Phase 2	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	29	Design	\$ 85.9M		\$ 66.974M		C & I, State		
District(s): Springfield, Sully	Project Type:	Primary Road	Schedule	Phase		Start Date		End Date	
	Project Manager:	Hamidi, AJ		Design		Jan-18		Apr-21	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition		Apr-21		Jul-22	
Scope: Widen Route 29 from 4 to 6 lanes, including pedestrian and bicycle facilities, from Union Mill Road to Buckley's Gate Drive	FC Project No:	DOT-000028		Utility Relocation		Aug-20		Aug-21	
	Program:			Construction		Jul-22		Jul-24	
	TPP No:	66.02							
	Other Project No:	UPC 110329; 0029-029-350							
In May 2019, the environmental review determined that the project qualified for a Categorical Exclusion. The Design Public Hearing was held on 6/10/19.									

Springfield District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 50 Trail from West Ox Road to Fair Ridge Drive	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	50	Land Acquisition	\$ 1.15M		\$ 1.4M	2014 Bonds
District(s): Springfield	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Construct 5-foot concrete sidewalk on south side of Route 50, up off ramp to West Ox Road, and terminating in Fairfax Town Center parking lot	Project Manager:	Turner, Latesa		Design	Oct-16	Aug-19 Sep-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Feb-19 Apr-19	Jul-19 Sep-19
	FC Project No:	ST-000037-005		Utility Relocation	Apr-19 NA	Jul-19 NA
	Program:			Construction	Sep-19 Nov-19	Apr-20
	TPP No:	357				
Other Project No:						
Final design plans distributed for review 8/21/19. LAD NTP 4/8/19. Land rights on 1 of 2 properties have been acquired.						

Shirley Gate Road from Braddock Road to Fairfax County Parkway	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	655	Design	\$ 51M		\$ 30M		Local Fund	
District(s): Braddock, Springfield	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date
Scope: Extend 4-lane divided Shirley Gate Road from Braddock Road to Fairfax County Parkway, including pedestrian and bicycle facilities	Project Manager:	Lilley, Ronald		Design		Jun-19		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
	FC Project No:	2G40-079-000		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	18						
Other Project No:								
Planning study completed. Project has been transitioned to the preliminary engineering and conceptual design phase to help define the overall project configuration. Survey completed. Preliminary design contract approved. Developing project schedule. Ordering utility designation. Anticipate traffic data collection fall 2019.								

Sully District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Braddock Road Curve from Tre Towers Court to Old Lee Road	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	620	Project Initiation	\$ 3.695M		\$ 6M	Federal, State
District(s): Sully	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Chellappa, Smitha		Design	TBD	TBD
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	TBD	TBD
Scope: Replace S-curve from Tre Towers Court to Chandley Farm Circle and intersection improvements at Braddock Road and Old Lee Road	FC Project No:	DOT-000102		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:					
	Other Project No:	UPC T21255				
VDOT performing conceptual engineering. Anticipate funding available in FY2023 and FY2024 for implementation.						

Braddock Road Walkway from Carlbern Drive to Clubside Lane	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	620	Utility Relocation	\$.85M		\$.35M		2014 Bonds	
District(s): Sully	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date
	Project Manager:	Dresser, John		Design		Feb-16		Jan-19
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		Oct-17		Oct-18
Scope: Construct approximately 1,150 LF of 5-foot concrete sidewalk along the south side of Braddock Road	FC Project No:	5G25-060-022		Utility Relocation		Apr-18		Aug-19
	Program:			Construction		Sep-19 Feb-19		Apr-20
	TPP No:	95						
	Other Project No:							
VDOT permit received 2/4/19. Project will require two phases of construction. First phase is to relocate fence to allow for gas line relocation completion. Fence relocation completed 3/28/19 to allow access for the gas line relocation to resume. The gas line relocation resumed on 4/3/19. Second phase is the sidewalk installation which began after the gas line relocation was completed on 8/9/19.								

Compton Road from East of Pumping Station to Route 28	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	658	Project Initiation	\$ 1.4M		\$ 1.4M		C & I		
District(s): Sully	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Stevens, Daniel		Design		TBD		TBD	
	Lead Agency:	Capital Facilities, DPWES		Land Acquisition		TBD		TBD	
Scope: Construct walkway on north side of Compton Road from existing walkway west of Hartwood Lane to existing walkway west of UOSA pumping station.	FC Project No:	2G40-088-020		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:	110							
	Other Project No:								
Project scoping and initial coordination in progress. Anticipate completing scoping in fall 2019. Will forward for design once funding is available.									

Sully District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Compton Road from Mt. Olive Road to Cub Run Stream Valley Trail	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	658	Project Initiation	\$ 3M		\$ 3M	C & I
District(s): Sully	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
Scope: Construct walkway on north side of Compton Road. Crosswalk to Bull Run Regional Park, connections to Blue Post Road and existing sidewalks on Mt. Olive Road	Project Manager:	Stevens, Daniel		Design	TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD	TBD
	FC Project No:	2G40-088-021		Utility Relocation	TBD	TBD
	Program:			Construction	TBD	TBD
	TPP No:	111				
Other Project No:						
Project scoping and coordination in progress. Coordination with I-66 Express Lanes Outside the Beltway project on pedestrian bridge over Cub Run, retaining wall under I-66, and connection to Bull Run Regional Park. Anticipate completing scoping in fall 2019. Will forward for design once funding is available.						

I-66 at Route 28 Interchange Improvements	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	66	Design-Build				Federal, State, Private	
District(s): Sully	Project Type:	Interstate	Schedule	Phase	Start Date	End Date	
	Project Manager:	Xiong, Yuqing		Design	NA	NA	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA	
Scope: Modify interchange at I-66 and Route 28 to enhance safety and improve capacity	FC Project No:	DOT-000014		Utility Relocation	NA	NA	
	Program:			Construction	NA	NA	
	TPP No:	3					
	Other Project No:	UPC 0741, 110496, 108491					
Project has been incorporated into Transform I-66 Outside the Beltway project. Removal of four signals from Route 28 is anticipated to be completed by summer 2020, and overall project completion is anticipated in December 2022. Scope also includes relocation of EC Lawrence Park entrance to Stonecroft Boulevard with overpass over Route 28, connecting to Poplar Tree Road.							

I-66 from I-495 Capital Beltway to University Boulevard in Gainesville	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
	66	Design-Build	\$ 3218M		\$ 3218M		Federal, State, Private		
District(s): Braddock, Hunter Mill, Providence, Springfield, Sully	Project Type:	Interstate	Schedule	Phase		Start Date		End Date	
	Project Manager:	Xiong, Yuqing		Design		Jul-14		Oct-19	
Scope: 2 Express and 3 general purpose lanes in each direction, including rapid bus service, a parallel trail, and safety, operational, and interchange improvements	Lead Agency:	Virginia Department of Transportation		Land Acquisition		Apr-18		TBD	
	FC Project No:	DOT-000015		Utility Relocation		Apr-18		TBD	
	Program:			Construction		Nov-17		Dec-22	
	TPP No:	3							
	Other Project No:	UPC 110741, 110496, 108491							
PIM held June 5, 2019. FCDOT received IJR 2040 re-evaluation comments from VDOT in June 2019. The proposed Nutley Street/I-66 interchange was revised from diverging diamond to modified roundabouts. County staff reviewed design changes and provided comments. The design and IJR are both in final development for this segment. An agreement between FCDOT and VDOT has been negotiated to fund several segments of off corridor trails, and more are under review. Partnering efforts continue on meeting higher water quality standard for stormwater management.									

Sully District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Pleasant Valley Road Walkway from North of Ellick Run to DVP Power Lines	Route Number	Status	Current Estimate (Mil \$)	Total Funding (Mil \$)	Funding Type	
	609	Design	\$ 3.25M	\$ 3.8M	2014 Bonds	
District(s): Sully	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date
	Project Manager:	Fasceski, Jeff		Design	Jan-18	Nov-20
Scope: Construct approximately 4,650 LF of 10-foot wide asphalt shared-use path along the east side of Pleasant Valley Road	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Sep-19	Apr-20
	FC Project No:	ST-000036-013		Utility Relocation	TBD	TBD
	Program:			Construction	Nov-20	Nov-21
	TPP No:	162				
	Other Project No:					
Design consultant is preparing additional information for LDS to confirm BMP option to incorporate into the design. Once it is determined, time frame to complete pre-final design can be determined. Schedule will be revised accordingly.						

Route 28 from Prince William County Line to Route 29	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	28	Design-Build	\$ 86.48M		\$ 76.625M	NVTA Regional, RSTP, SmartScale	
District(s): Springfield, Sully	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
Scope: Widen Route 28 from 4 lanes to 6 lanes	Project Manager:	Beall, James		Design	Jan-16 Sep-19	TBD Jun-20	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	TBD Sep-20	TBD May-23	
	FC Project No:	2G40-100-000		Utility Relocation	TBD Sep-20	TBD May-23	
	Program:			Construction	TBD Sep-20	TBD May-23	
	TPP No:	62					
	Other Project No:						
Geotechnical analysis approved by VDOT. NEPA Categorical Exclusion (CE) sent to VDOT 2/25/19, received confirmation from FHWA on 7/19/19 that CE is complete and available for public review. Traffic study resubmitted 6/10/19. Consultant is revising 30% plans based on VDOT and FCDOT comments. Design will go through preliminary phase only. RFP released in September 2019. Design public hearing held on September 23, 2019.							

Route 29 from Pickwick Road to Buckley's Gate Drive Phase 2	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	29	Design	\$ 85.9M		\$ 66.974M	C & I, State	
District(s): Springfield, Sully	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Hamidi, AJ		Design	Jan-18	Apr-21	
	Lead Agency:	Virginia Department of Transportation		Land Acquisition	Apr-21	Jul-22	
Scope: Widen Route 29 from 4 to 6 lanes, including pedestrian and bicycle facilities, from Union Mill Road to Buckley's Gate Drive	FC Project No:	DOT-000028		Utility Relocation	Aug-20	Aug-21	
	Program:			Construction	Jul-22	Jul-24	
	TPP No:	66.02					
	Other Project No:	UPC 110329; 0029-029-350					
In May 2019, the environmental review determined that the project qualified for a Categorical Exclusion. The Design Public Hearing was held on 6/10/19.							

Sully District Project Report for August 2019

Project	Status and Details		Funding and Schedule			
Route 29 Northbound over Cub Run Bridge Joint Closure and Rehabilitation	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type
	29	Design	\$ 3M		\$ 3M	State, Federal
District(s): Sully	Project Type:	Primary Road	Schedule	Phase	Start Date	End Date
	Project Manager:	Luo, Caijun		Design	Mar-19	Mar-20
Scope: Replace existing concrete superstructure and bridge beams; rebuild concrete bearing pedestals and replace bridge bearings; repair concrete delamination and spalls	Lead Agency:	Virginia Department of Transportation		Land Acquisition	NA	NA
	FC Project No:	DOT-000098		Utility Relocation	NA	NA
	Program:			Construction	Jun-20	Jun-21
	TPP No:					
	Other Project No:	0029-029-403; UPC 112361				
FCDOT staff will coordinate with the district supervisor's office and Park Authority to set up the PIM which is anticipated to occur in late 2019.						

Route 29 Trail (proffer)	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	29	Project Initiation	\$.334M		\$.334M	Proffer	
District(s): Sully	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date	End Date
	Project Manager:	Wells, Chris		Design		TBD	TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD	TBD
Scope: Missing segments from Stringfellow Road to Prince William County Line	FC Project No:	DOT-000029		Utility Relocation		TBD	TBD
	Program:			Construction		TBD	TBD
	TPP No:						
	Other Project No:						
Project is part of the Third Four-Year Transportation Program approved by the BOS on 7/10/12. Proffer will be utilized for the I-66 Express Lanes Outside the Beltway trail project. Off-corridor trail project expected to be completed in conjunction with I-66 Express Lanes project in 2022.							

Stone Road Overpass over I-66 from Route 29 to Route 28	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type	
	662	On-Hold	\$ 81.55M				TBD	
District(s): Sully	Project Type:	Secondary Road	Schedule	Phase		Start Date		End Date
	Project Manager:	TBD, To Be Determined		Design		TBD		TBD
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD
Scope: Construct 4-lane divided road between Stone Road at Route 29 and New Braddock Road, including shared-use path and bridges over I-66 and Big Rocky Run	FC Project No:	DOT-000051		Utility Relocation		TBD		TBD
	Program:			Construction		TBD		TBD
	TPP No:	19						
	Other Project No:							
Project on hold until funding becomes available.								

Sully District Project Report for August 2019

Project	Status and Details		Funding and Schedule				
Stonecroft Boulevard Widening	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type
	8460	Construction	\$.801M		\$.801M		Developer
District(s): Sully	Project Type:	Secondary Road	Schedule	Phase	Start Date	End Date	
	Project Manager:	Vanzandt, Mark		Design	Aug-05	TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Apr-07	Jan-08	
Scope: Widen 800 LF of Stonecroft Boulevard to 6 lanes from Conference Center Drive to Westfields Boulevard	FC Project No:	5G25-064-000		Utility Relocation	NA	NA	
	Program:			Construction	TBD	TBD	
	TPP No:						
	Other Project No:						
Construction to be managed by developer. WBOA finalizing agreement and cash bonding option with Marriott. County Bonds and Agreements package approved. The completion date was changed to TBD in June 2015 due to ongoing issues the developer is having moving the project to construction. Outstanding issues include modified escrow agreement with VDOT, final VDOT approval, and availability of contractor to perform the work.							

Sully District Civil War Cycle Tour	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)		Funding Type		
		Project Initiation	\$.04M		\$.13M		Federal, State		
District(s): Sully	Project Type:	Bicycle/Pedestrian	Schedule	Phase		Start Date		End Date	
	Project Manager:	Askarzadeh, Negin		Design		TBD		TBD	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition		TBD		TBD	
Scope: Install wayfinding signs and interpretive markers at historic sites	FC Project No:	AA1400042-11		Utility Relocation		TBD		TBD	
	Program:			Construction		TBD		TBD	
	TPP No:								
	Other Project No:	EN09-029-119, P101, C501							
Plan specifications and estimate package sent to VDOT on 7/29/19 to receive the federal construction authorization. Schedule will be determined once the construction authorization is received which is anticipated in October 2019.									

West Ox Road Trail from Penderbrook Road to Route 50	Route Number	Status	Current Estimate (Mil \$)		Total Funding (Mil \$)	Funding Type	
	608	Bid Advertisement	\$ 1.2M		\$.995M	2014 Bonds	
District(s): Sully	Project Type:	Bicycle/Pedestrian	Schedule	Phase	Start Date	End Date	
	Project Manager:	Marsh, Dennis		Design	Jun-17	Nov-19 Jul-19	
	Lead Agency:	Fairfax County Department of Transportation		Land Acquisition	Nov-18	Aug-19 Jun-19	
Scope: Install approximately 1,900 LF of 6 foot concrete walkway along southbound West Ox Road from Ox Hill Road to Route 50	FC Project No:	5G25-063-005		Utility Relocation	Jan-19	Jan-20 Jun-19	
	Program:			Construction	Jan-20 Sep-19	Dec-20	
	TPP No:	356					
	Other Project No:						
Permit submitted on 7/29/19. Draft construction package sent to UDCD on 7/31/19. Utility relocations complete (Cox guy wire adjustment, XO handhole and guy wire). SWM approved by LDS. TMP and signage and marking approved.							



County of Fairfax
Department of Transportation
4050 Legato Road, Suite 400
Fairfax, Virginia 22033
Phone: (703) 877-5600 TTY: 711 Fax: (703) 877-5723

Board Agenda Item
October 15, 2019

10:20 a.m.

Matters Presented by Board Members

11:10 a.m.

CLOSED SESSION:

- (a) Discussion or consideration of personnel matters pursuant to Virginia Code § 2.2-3711(A) (1).
- (b) Discussion or consideration of the acquisition of real property for a public purpose, or of the disposition of publicly held real property, where discussion in an open meeting would adversely affect the bargaining position or negotiating strategy of the public body, pursuant to Virginia Code § 2.2-3711(A) (3).
- (c) Consultation with legal counsel and briefings by staff members or consultants pertaining to actual or probable litigation, and consultation with legal counsel regarding specific legal matters requiring the provision of legal advice by such counsel pursuant to Virginia Code § 2.2-3711(A) (7).
 - 1. *Macy's Retail Holdings, Inc. v. Fairfax County and Board of Supervisors of Fairfax County*, Case No. CL-2019-0012598 (Fx. Co. Cir. Ct.) (Springfield District)
 - 2. *Macy's Retail Holdings, Inc. v. Fairfax County and Board of Supervisors of Fairfax County*, Case No. CL-2019-0012599 (Fx. Co. Cir. Ct.) (Springfield District)
 - 3. *Richard D. Jurgens and Kristen B. Jurgens v. Board of Supervisors, Fairfax County, Fairfax County Department of Tax Administration, Jay Doshi, Director, and Fairfax County Department of Finance, Christopher Pietsch, Director*, Case No. CL-2019-0010551 (Fx. Co. Cir. Ct.) (Hunter Mill District)
 - 4. *Jennie Klenner v. Fairfax County Government*, Case No. CL-2019-0005281 (Fx. Co. Cir. Ct.)
 - 5. *Andrew Cooper, Rebecca Cooper, Blake Ratcliff, Sara Ratcliff, Cecilia Gonzalez, Cindy Reese, Donald Walker, Debra Walker, Carmen Giselle Huamani Ober, Amjad Arnous, John A. McEwan, Mary Lou McEwan, Kevin Holley, Laura Quirk Niswander, Lori Marsengill, Gary Marsengill, Margaret Wiegenstein, Melinda Norton, Nagla Abdelhalim, Nhung Nina Luong, Quan Nguyen, Robert Ross, Helen Ross, Sanjeev Anand, Anju Anand, Sarah Teagle, Sofia Zapata, Svetla Borisova, Nickolas Ploutis, Melinda Galey, Travis Galey, and Victoria Spellman v. Board of Supervisors of Fairfax County, Virginia*, Case No. CL-2018-0012818 (Fx. Co. Cir. Ct.)
 - 6. *Eileen M. McLane, Fairfax County Zoning Administrator v. Harry F. Kendall, III, and Laura P. Kendall*, Case No. CL-2008-0003244 (Fx. Co. Cir. Ct.) (Braddock District)

7. *Dulles Professional Center Condominium Unit Owners Association, Spectrum Innovative Properties, LLC, McWhorter, LLC, and Mulpuri Properties, LLC v. Board of Supervisors of Fairfax County, Virginia, Fairfax County, Virginia, Stanley Martin Companies, LLC, and JLB Dulles Tech, LLC, Case No. CL-2018-0011870 (Fx. Co. Cir. Ct.) (Dranesville District)*
8. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Warren K. Montouri, Trustee, Case No. CL-2019-0007481 (Fx. Co. Cir. Ct.) (Hunter Mill District)*
9. *Elizabeth Perry, Property Maintenance Code Official for Fairfax County, Virginia, and Leslie B. Johnson, Fairfax County Zoning Administrator v. Robert Dunn and Phyllis Dunn, Case No. CL-2018-0013755 (Fx. Co. Cir. Ct.) (Lee District)*
10. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Jacob N. Griffith and Kwanchanok Phasuk Griffith, Case No. CL-2019-0012882 (Fx. Co. Cir. Ct.) (Lee District)*
11. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Borislav Bulatovic, Case No. GV19-018336 (Fx. Co. Gen. Dist. Ct.) (Lee District)*
12. *Elizabeth Perry, Property Maintenance Code Official for Fairfax County, Virginia v. Shahid Ahmad, Case No. CL-2019-0012458 (Fx. Co. Cir. Ct.) (Mason District)*
13. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Juan C. Rosell, Case No. CL-2019-0012481 (Fx. Co. Cir. Ct.) (Mason District)*
14. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Saul Garcia-Ramirez, Case No. CL-2019-0010619 (Fx. Co. Cir. Ct.) (Mason District)*
15. *Elizabeth Perry, Property Maintenance Code Official for Fairfax County, Virginia v. Robert John Rindo, Case No. CL-2018-0014894 (Fx. Co. Cir. Ct.) (Mason District)*
16. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Khanh Nguyen, Case No. GV19-020710 (Fx. Co. Gen. Dist. Ct.) (Mason District)*
17. *Leslie B. Johnson, Fairfax County Zoning Administrator v. A.H. Ghafoor Company, LLC, Case No. CL-2019-0012459 (Fx. Co. Cir. Ct.) (Mount Vernon District)*
18. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Cameron Enterprise Associates LLC, Case No. CL-2019-0012576 (Fx. Co. Cir. Ct.) (Mount Vernon District)*
19. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Otis Perry and Elcetia L. Perry, Case No. CL-2008-0005923 (Fx. Co. Cir. Ct.) (Providence District)*

20. *In re: May 1, 2019, Decision of the Board of Zoning Appeals of Fairfax County, Virginia; Nagla A. Abdelhalim v. Board of Supervisors of the County of Fairfax, Virginia*, Case No. CL-2019-0007529 (Fx. Co. Cir. Ct.) (Providence District)
21. *Leslie B. Johnson, Fairfax County Zoning Administrator v. CRA MAC Holdings, LLC*, Case No. CL-2018-0000145 (Fx. Co. Cir. Ct.) (Springfield District)
22. *Leslie B. Johnson, Fairfax County Zoning Administrator, and Elizabeth Perry, Property Maintenance Code Official for Fairfax County, Virginia v. Mark Anthony Shiflette*, Case Nos. GV19-024386 and GV19-024374 (Fx. Co. Gen. Dist. Ct.) (Springfield District)
23. *Leslie B. Johnson, Fairfax County Zoning Administrator v. Chantilly Business Park, LLC, and Aquarius Supply, Inc.*, Case No. CL-2019-0002874 (Fx. Co. Cir. Ct.) (Sully District)

Board Agenda Item
October 15, 2019

3:30 p.m.

Public Hearing on SE 2019-SU-002 (Fairfax County Water Authority) to Permit a Heavy Public Utility Office and Maintenance Facilities, Located on Approximately 10.79 Acres of Land Zoned I-5, AN, and WS (Sully District)

This property is located at 14925 Willard Rd., Chantilly, 22151. Tax Map 33-4 ((1)) 15B.

PLANNING COMMISSION RECOMMENDATION:

On September 18, 2019, the Planning Commission voted 12-0 to recommend the following actions to the Board of Supervisors:

- Approval of SE 2019-SU-002, subject to the development conditions dated September 4, 2019;
- Modification of Par. 3 of Sect. 13-305 of the Zoning Ordinance for the transitional screening yard requirements to use existing vegetation and the proposed retaining wall along the western property line, as depicted in the special exception plat; and
- Modification of Par. 3B of Sect. 13-203 of the Zoning Ordinance for the peripheral parking lot landscaping along the southern property boundary in favor of shrubs depicted in the special exception plat.

In a related action, on September 18, 2019, the Planning Commission voted 12-0 to find that the maintenance facility proposed under 2232-Y18-35 satisfies the criteria of location, character, as specified in Section 15.2-2232 of the Code of Virginia, as amended, and therefore is substantially in accord with the provisions of the adopted Comprehensive Plan.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Zachary Fountain, Planner, DPD

3:30 p.m.

Public Hearing on RZ 2017-PR-010 (Tysons Development LLC) to Rezone from C-7, I-5, PTC, HC and SC to PTC, HC and SC to Permit Mixed Use Development with an Overall Floor Area Ratio of 7.69 and Approval of the Conceptual Development Plan, Located on Approximately 8.35 Acres of Land (Providence District) (Concurrent with PCA 2010-PR-014D and SE 2018-PR-013)

and

Public Hearing on PCA 2010-PR-014D (Tysons Development LLC) to Amend the Proffers for RZ-2010-PR-014D Previously Approved for Mixed-Use Development to Permit Deletion of Land Area from RZ 2010-PR-014D, Located on Approximately 1.52 Acres of Land Zoned PTC, SC and HC (Providence District) (Concurrent with RZ 2017-PR-010 and SE 2018-PR-013)

and

Public Hearing on SE 2018-PR-013 (Tysons Development LLC) to Permit an Increase in Floor Area Ratio in the PTC, Located on Approximately 8.35 Acres of Land Zoned PTC, HC and SC (Providence District) (Concurrent with RZ 2017-PR-010 and PCA 2010-PR-014D)

This property is located on the S.E. side of Tyco Rd. and the N.W. quadrant of the intersection of Leesburg Pike with Spring Hill Rd. Tax Map 29-3 ((1)) 53, 53A, 57A, 57K and 57M and 29-3 ((32)) 1.

This property is located on the N. side of Leesburg Pike, E. side of Tyco Rd., S. side of Boyd Pointe Way and W. of Spring Hill Rd. Tax Map 29-3 ((32)) 1.

This property is located at 8536, 8546 and 8590 Leesburg Pike, Vienna, 22182 and 1568, 1570 and 1572 Spring Hill Rd., McLean, 22102. Tax Map 29-3 ((32)) 1 and 29-3 ((1)) 53, 53A, 57A, 57K and 57M.

PLANNING COMMISSION RECOMMENDATION:

On October 10, 2019, the Planning Commission voted 7-0-2 (Commissioners Murphy and Tanner were absent from the meeting; Commissioner Sargeant recused himself from the decision; Commissioners Clarke and Ulfelder abstained from the vote) to recommend the following actions to the Board of Supervisors:

- Approval of RZ 2017-PR-010, subject to the execution of proffered conditions consistent with those dated October 7, 2019;
- Modification of Section 2-505 of the Zoning Ordinance to permit structures and/or plantings on a corner lot at an intersection as shown on the CDP/FDP and as proffered;
- Waiver of Section 6-506 of the Zoning Ordinance to permit a district size of less than ten acres;
- Modification of Section 11-203 of the Zoning Ordinance to permit the minimum number of required loading spaces as shown on the CDP/FDP;
- Approval of PCA 2010-PR-014D; and
- Approval of SE 2018-PR-013, subject to the development conditions dated September 23, 2019 and subject to the approval of RZ 2017-PR-010.

In a related action, the Planning Commission voted 7-0-2 (Commissioners Murphy and Tanner were absent from the meeting; Commissioner Sargeant recused himself from the decision; Commissioners Clarke and Ulfelder abstained from the vote) to approve FDP 2017-PR-010, subject to the development conditions dated October 7, 2019 and subject to the approval of RZ 2017-PR-010.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)

Stephen Gardner, Planner, DPD

Board Agenda Item
October 15, 2019

3:30 p.m.

Public Hearing on AF 2019-DR-001 (May Properties IV LLC) to Permit the Creation of an Agricultural and Forestal District, Located on Approximately 68.63 Acres of Land Zoned R-E (Dranesville District)

This property is located at 730, 734 and 820 Utterback Store Rd., Great Falls, 22066. Tax Map 7-3 ((1)) 1, 7, 8, 15A and 15C.

PLANNING COMMISSION RECOMMENDATION:

On October 2, 2019, the Planning Commission voted 10-0-1 (Commissioner Strandlie abstained from the vote and Commissioner Clarke was absent from the meeting) to recommend to the Board of Supervisors approval of AF 2019-DR-001 to amend Appendix F of the Fairfax County Code to establish the May Properties IV LLC Local Agricultural and Forestal District, subject to proposed ordinance provisions dated September 27, 2019.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Erin Haley, Planner, DPD

Board Agenda Item
October 15, 2019

3:30 p.m.

Public Hearing on RZ 2018-HM-020 (APA Properties NO. 6, L.P.) to Rezone from I-5 to PRM to Permit Mixed Use Development with a Total Intensity of 2.0 Floor Area Ratio Inclusive of Bonus Density, Located on Approximately 32.41 Acres of Land (Hunter Mill District)

This property is located on the N. of Sunset Hills Rd., W. side of Wiehle Ave. and N. side of Washington and Old Dominion Railroad Trail (Northern Virginia Regional Park Authority). Tax Map 17-4 ((5)) 3C1, 3E1, 3N1, 3W2, 6S2, 6S4, 7E2 and 7N2.

PLANNING COMMISSION RECOMMENDATION:

On September 19, 2019, the Planning Commission voted 10-0 (Commissioner Hart recused himself from the vote. Commissioner Cortina was absent from the meeting.) to recommend to the Board of Supervisors the following actions:

- Approval of RZ 2018-HM-020 and the associated Conceptual Development Plan (CDP), subject to the execution of proffered conditions consistent with those dated September 19, 2019;
- Waiver of Par. 2 of Sect. 6-407 of the Zoning Ordinance for the 200 square foot privacy yards on single family attached dwelling units;
- Modification of Par. 4 of Sect. 11-202 of the Zoning Ordinance to reduce the distance between a loading space and an intersection to less than 40 feet to that shown on the CDP;
- Modification of Sect. 11-203 of the Zoning Ordinance to permit loading spaces as shown on the CDP;
- Waiver of Sect. 13-202 of the Zoning Ordinance requiring interior parking lot landscaping on all parking structures and the surface parking lot found on Tax Map 17-4 ((5)) 3C1; and
- Modification of Sect. 13-303 and Sect. 13-304 pursuant to Sect. 13-305 of the Zoning Ordinance to provide transitional screening and barriers for uses and blocks internal to the property as shown on the CDP.

Board Agenda Item
October 15, 2019

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Wanda Suder, Planner, DPD

3:30 p.m.

Public Hearing on RZ 2017-HM-018 (1900-02 Campus Commons, LLC) to Rezone from I-3 to PRM to Permit Mixed-Use Development with an Overall Floor Area Ratio of 2.7 and Approval of the Conceptual Development Plan, Located on Approximately 11.60 Acres of Land (Hunter Mill District) (Concurrent with PCA 79-C-023)

and

Public Hearing on PCA 79-C-023 (1900-02 Campus Commons, LLC) to Amend the Proffers for RZ 79-C-023 to Delete Land Area, Located on Approximately 11.6 Acres of Land Zoned I-3 (Hunter Mill District) (Concurrent with RZ 2017-HM-018)

This property is located on the N. side of Sunrise Valley Dr. and E. side of Wiehle Ave. Tax Map 17-4 ((1)) 33 and 34.

This property is located on the N. side of Sunrise Valley Dr. and E. side of Wiehle Ave. Tax Map 17-4 ((1)) 33 and 34.

PLANNING COMMISSION RECOMMENDATION:

On October 10, 2019, the Planning Commission voted 9-0-1 (Commissioners Murphy and Tanner were absent from the meeting, Commissioner Strandlie abstained from the vote) to recommend the following actions to the Board of Supervisors:

- Approval of RZ 2017-HM-018 and the associated Conceptual Development Plan, subject to the execution of proffered conditions consistent with those dated October 9, 2019;
- Approval of PCA 79-C-023, subject to approval of RZ 2017-HM-018 and the associated Conceptual Development Plan;
- Modification of Par. 1A of Sect. 2-414 of the Zoning Ordinance for the 200-foot minimum distance from the Dulles International Airport Access Highway and the combined Dulles International Airport Access Highway and Dulles Toll Road right-of-way to permit a residential building to be located between 50 and 200 feet of the right-of-way;

- Waiver of Par. 2 of Sect. 2-506 of the Zoning Ordinance to permit a parapet wall, cornice, or similar projection to exceed three feet in height and to extend more than three feet above the roof level of any building;
- Modification of Par. 4 of Sect. 11-202 of the Zoning Ordinance to permit loading spaces or berths within 40 feet of the nearest point of intersection of the edges of the travelway or the curbs of any two streets to that shown on the CDP/FDP;
- Modification of Sect. 11-203 of the Zoning Ordinance for a reduction in the number of required loading spaces to that shown on the CDP/FDP;
- Waiver of Par. 2 of Sect. 11-302 of the Zoning Ordinance to permit a private street to exceed 600 feet in length; and
- Modification of Sects. 13-303 and 13-304 of the Zoning Ordinance for the transitional screening and barrier requirements to that shown on the CDP/FDP.

The Planning Commission also voted 9-0-1 (Commissioners Murphy and Tanner were absent from the meeting, Commissioner Strandlie abstained from the vote) to recommend the following to the Board of Supervisors:

- **Wiehle Avenue Assessment:** That the Board of Supervisors direct staff to address the existing and planned bicycle and pedestrian network along Wiehle Avenue between Sunset Hills Road and Sunrise Valley Drive. Staff should identify any unfunded gaps in the network and any areas where additional connectivity opportunities such as sidewalks, trails and pedestrian crosswalks would be desirable. Consideration should be given to continuous and logical routes for bicyclists and pedestrians, appropriate facility widths, user safety, and integration within the broader design of the streetscape. The goal is to create a cohesive and safe, multimodal network for the Wiehle-Reston East Metro Station area; and
- **Pedestrian Safety and Security:** That the Board of Supervisors direct staff to ensure that the site plan process continues to emphasize excellence in the design of the streetscape for Campus Commons and the Wiehle-Reston Station East Metro Station area. The number of trees shown along the streets in the Development Plan should be retained to the extent feasible. Street lighting along all streets should provide adequate lighting levels to achieve safety and security for pedestrians compatible with the adjacent, existing communities. Use of high

“cobra head” streetlights should be avoided, if feasible. Excellence in design and planning for Reston must be the focus.

In a related action, the Planning Commission voted 9-0-1 (Commissioners Murphy and Tanner were absent from the meeting, Commissioner Strandlie abstained from the vote) to approve FDP 2017-HM-018, subject to the development conditions dated October 9, 2019 and subject to approval of RZ 2017-HM-018 and the associated Conceptual Development Plan.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Mary Ann Tsai, Planner, DPD

Board Agenda Item
October 15, 2019

4:00 p.m.

Public Hearing on SE 2019-DR-009 (Sunrise Development, Inc.) to Permit Uses in a CRD (Medical Care Facility/Assisted Living), Located on Approximately 2.23 Acres of Land Zoned C-3, CRD and SC (Dranesville District)

This property is located at 1515 Chain Bridge Rd., McLean, 22101. Tax Map 30-4 ((1)) 14.

PLANNING COMMISSION RECOMMENDATION:

On September 25, 2019, the Planning Commission voted 9-0 (Commissioners Tanner and Strandlie were absent from the meeting and Commissioner Sargeant was absent from the vote) to recommend to the Board of Supervisors the following actions:

- Approval of SE 2019-DR-009, subject to the proposed development conditions dated September 19, 2019;
- Modification of Par. 10 of Sect. 11-103 of the Zoning Ordinance to permit parking as allowed by Par. 3A of Sect. A7-309 of the Zoning Ordinance to allow for 20 percent of the spaces in the underground parking garage to be design as tandem parking spaces; and
- Modifications to the streetscape contained in the McLean Open Space Design Guidelines of the Comprehensive Plan in favor of the streetscape as shown on the SE Plat and as specified in the development conditions.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Kelly Posusney, Planner, DPD

Board Agenda Item
October 15, 2019

4:00 p.m.

Public Hearing on PCA 2011-HM-012/CDPA 2011-HM-012 (CARS-DB1, L.L.C.) to Amend the Proffers and Conceptual Development Plan for RZ 2011-HM-012 Previously Approved for Mixed-Use Development to Permit Site Modifications and Associated Modifications to Proffers with an Overall Floor Area Ratio of up to 7.25, Located on Approximately 1.99 Acres of Land Zoned PTC (Hunter Mill District)

This property is located S.W. of Leesburg Pike at the terminus of Spring Hill Rd. Tax Map 29-3 ((1)) 2D.

PLANNING COMMISSION RECOMMENDATION:

On October 2, 2019, the Planning Commission voted 11-0 (Commissioner Clarke was absent from the meeting) to recommend the following actions to the Board of Supervisors:

- Approval of PCA/CDPA 2011-HM-012, subject to the execution of proffered conditions consistent with those dated September 4, 2019;
- Waiver of Sect. 2-505 of the Zoning Ordinance to permit structures and vegetation on a corner lot as shown on the CDPA;
- Modification of Par. 2 of Sect. 2-506 of the Zoning Ordinance to allow for a parapet wall, cornice or similar projection to exceed the height limit established by more than three (3) feet, but not more than 12 feet;
- Modification of Par. 4 of Sect. 11-202 of the Zoning Ordinance requiring a minimum distance of forty feet (40') of a loading space in proximity to drive aisles, to that shown on the CDPA;
- Modification of Par. 8 of Sect. 13-202 of the Zoning Ordinance for parking lots as shown on the CDPA;
- Waiver of Section 16-403 of the Zoning Ordinance to permit a public improvement plan for public streets, interim park spaces and interim parking without the need for an FDP;

Board Agenda Item
October 15, 2019

- Modification of Section 17-201 of the Zoning Ordinance all trails and bike trails in favor of the streetscape and on-road bike lane system to that shown on the CDP and as proffered;
- Waiver of Par. 4 of Sect. 17-201 of the Zoning Ordinance to not require any further dedication and construction (or widening) of existing roads beyond that which is indicated on the CDPA and as proffered;
- Modification of Sect. 12-0508 of the PFM to allow for tree preservation target deviations as justified on Sheet C-05 of the CDPA; and
- Modification of Sect. 12-0510 of the PFM to permit trees located in the rights-of-way and easements to count towards the 10-year tree canopy requirement subject to the proffered replacement provisions.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:

<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)

Daniel Creed, Planner, DPD

Board Agenda Item
October 15, 2019

4:00 p.m.

Public Hearing on SEA 2010-LE-025 (Costco Wholesale Corporation) to Amend SE 2010-LE-025 Previously Approved for Retail Sales Establishment Large to Permit a Service Station in a Highway Corridor Overlay District and Provisions for Modifications/Waives/Increases and Uses in a Commercial Revitalization District and Associated Modifications to Site Design and Development Conditions, Located on Approximately 11.17 Acres of Land Zoned C-8, HC and CRD (Lee District)

This property is located at 7940 Richmond Hwy., Alexandria, 22306. Tax Map 101-2 ((6)) A.

PLANNING COMMISSION RECOMMENDATION:

On September 18, 2019, the Planning Commission voted 10-1-1 (Commissioner Carter voted in opposition. Commissioner Cortina abstained from the vote.) to recommend to the Board of Supervisors approval of SEA 2010-LE-025, subject to the development conditions dated September 3, 2019 with the addition of language regarding an electric vehicle charging station.

In addition, the Planning Commission voted 11-0-1 (Commissioner Cortina abstained from the vote) to recommend to the Board of Supervisors the following actions:

- Modification of the peripheral parking lot landscaping requirements of Sect. 13-203 of the Zoning Ordinance along the eastern, southern and western boundaries to permit the landscaping as shown on the SEA Plat;
- Modification of the transitional screening and barrier requirements of Sect. 13-303 and Sect. 13-304 pursuant to Sect. 13-305 of the Zoning Ordinance along the eastern and southern boundaries to permit the landscaping and barrier shown on the SEA Plat;
- Modification of streetscape recommendations of the Comprehensive Plan along the Richmond Highway frontage to permit the streetscape shown on the SEA Plat; and
- Waiver of the service drive requirements of Sect. 17-201 of the Zoning Ordinance along the Richmond Highway frontage.

Board Agenda Item
October 15, 2019

Finally, the Planning Commission voted 11-0-1 (Commissioner Cortina abstained from the vote) to recommend to the Board of Supervisors approval of parking reduction amendment request #25259-PKS-001-1, pursuant to Par. 26 of Sect. 11-102 of the Zoning Ordinance subject to the conditions set forth in Appendix 12 of the staff report dated June 26, 2019.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Wanda Suder, Planner, DPD

4:30 p.m.

Public Hearing on SEA 2013-HM-012 (Blue Ocean Development, Inc.) to Amend SE 2013-HM-012 Previously Approved for Waiver of Minimum Lot Width to Permit Site Modifications, Located on Approximately 1.52 Acres of Land Zoned R-1 (Hunter Mill District)

This property is located at 1283 Serenity Woods Ln., Vienna, 22182. Tax Map 19-1 ((1)) 27A.

PLANNING COMMISSION RECOMMENDATION:

On September 25, 2019, the Planning Commission voted 9-0 (Commissioners Tanner and Strandlie were absent from the meeting and Commissioner Sargeant was absent from the vote) to recommend to the Board of Supervisors the following actions:

- Approval of SEA 2013-HM-012, subject to the proposed development conditions dated September 10, 2019;
- Reaffirmation of a waiver of Sect. 17-201 of the Zoning Ordinance for the requirement to construct a major paved trail along the Leesburg Pike frontage; and
- Reaffirmation of a waiver of Sect. 9-610 of the Zoning Ordinance for minimum lot size requirements.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:

<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)

Jay Rodenbeck, Planner, DPD

4:30 p.m.

Public Hearing on PCA 74-7-047-02-02/CDPA 74-7-047-02-02 (INOVA Health Care Services) to Amend the Proffers and Conceptual Development Plan for RZ 74-7-047, Previously Approved for Office Development to Permit a Research, Academic and Clinical Campus and Associated Modifications to Proffers and Site Design at a Floor Area Ratio of 0.70, Located on Approximately 116.78 Acres of Land Zoned PDC (Providence District)

This property is located on the E. side of Gallows Rd., S. side of Arlington Blvd. and W. side of the Capital Beltway. Tax Map 49-4 ((1)) 57.

PLANNING COMMISSION RECOMMENDATION:

On October 10, 2019, the Planning Commission voted 9-0-1 (Commissioners Murphy and Tanner were absent from the meeting, Commissioner Clarke abstained from the vote) to recommend the following actions to the Board of Supervisors:

- Approval of PCA 74-7-047-02-02 and the associated Conceptual Development Plan, subject to the execution of proffered conditions consistent with those dated October 4, 2019;
- Modification of Par. 5 of Sect. 6-206 of the Zoning Ordinance to allow other secondary uses in PDC to exceed 25 percent of the principal gross floor area proposed;
- Modification of County Trails Plan along Gallows Road and a portion of Interstate 495 in favor of the trails shown on the CDPA/FDPA;
- Modification of Merrifield Streetscape recommendations along Gallows Road in favor of the streetscape shown on the CDPA/FDPA; and
- Modification of the transitional screening and waiver of the barrier requirement along the western and southeastern property boundaries pursuant to Sect. 13-305 of the Zoning Ordinance in favor of that shown on the CDPA/FDPA.

In a related action, the Planning Commission voted 9-0-1 (Commissioners Murphy and Tanner were absent from the meeting, Commissioner Clarke abstained from the vote) to

Board Agenda Item
October 15, 2019

REVISED

approve FDPA 74-7-047-02-02, subject to the development conditions dated September 17, 2019 and subject to the approval of PCA 74-7-047-02-02.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:

<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)

Sharon Williams, Planner, DPD

4:30 p.m.

Public Hearing on SE 2018-BR-028 (Classic Cottages, LLC) to Permit a Cluster Residential Development and a Waiver of Minimum District Size, Located on Approximately 8.08 Acres of Land Zoned R-1 (Braddock District)

This property is located at 4037, 4107 and 4111 Maple Ave., Fairfax, 22032. Tax Map 58-3 ((6)) 37, 38 and 38A.

PLANNING COMMISSION RECOMMENDATION:

On October 10, 2019, the Planning Commission voted 9-0-1 (Commissioners Murphy and Tanner were absent from the meeting, Commissioner Hart abstained from the vote) to recommend the following actions to the Board of Supervisors:

- Approval of SE 2018-BR-028, subject to the development conditions dated October 8, 2019; and
- Waiver of the minimum district size from 10 acres to 8.08 acres, pursuant to Section 9-610 of the Zoning Ordinance.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Emma Estes, Planner, DPD

Board Agenda Item
October 15, 2019

4:30 p.m.

Public Hearing on RZ 2019-PR-001 (Toll Mid-Atlantic LP Company, Inc.) to Rezone from R-1 and HC to PDH-3 and HC to Permit Residential Development with an Overall Density of 2.93 Dwelling Units per Acre and Approval of the Conceptual Development Plan, Located on Approximately 9.55 Acres of Land Zoned (Providence District)

This property is located on the S. side of Lee Highway, W. of Mainstone Dr. Tax Map 48-4 ((1)) 54B.

PLANNING COMMISSION RECOMMENDATION:

On September 25, 2019, the Planning Commission voted 9-0 (Commissioners Tanner and Strandlie were absent from the meeting and Commissioner Hart recused himself from the vote) to recommend to the Board of Supervisors the following actions:

- Approval of RZ 2019-PR-001 subject to the execution of proffered conditions consistent with those dated September 19, 2019;
- Waiver of Par. 2 of Sect. 11-302 of the Zoning Ordinance that requires a 600-foot maximum length for a private street; and
- Waiver of the service drive requirements along Lee Highway (Route 29).

In a related action, the Planning Commission voted 9-0 (Commissioners Tanner and Strandlie were absent from the meeting and Commissioner Hart recused himself from the vote) to approve FDP 2019-PR-001, subject to the development conditions dated September 11, 2019.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)

Kelly Posusney, Planner, DPD

Board Agenda Item
October 15, 2019

5:00 p.m.

Public Hearing on SE 2013-LE-020 (South Alex Subsidiary LLC) to Permit a Carryout Restaurant, Located on Approximately 3.93 Acres of Land Zoned PDH-40, CRD and HC (Lee District)

This property is located at 6226 North Kings Hwy., Alexandria, 22303. Tax Map 83-3 ((1)) 7B (pt.).

PLANNING COMMISSION RECOMMENDATION:

On September 25, 2019, the Planning Commission voted 9-0 (Commissioners Tanner and Strandlie were absent from the meeting and Commissioner Sargeant was absent from the vote) to recommend to the Board of Supervisors the following actions:

- Approval of SE 2013-LE-020, subject to the proposed development conditions dated September 10, 2019;
- Reaffirmation of a modification of Sect. 13-303 and 13-304 of the Zoning Ordinance for the transitional screening and barrier requirements along the northeastern property line;
- Reaffirmation of a waiver of Sect. 13-303 of the Zoning Ordinance for the transitional screening requirement along the southeaster property line;
- Reaffirmation of a modification of Sect. 13-303 of the Zoning Ordinance for the transitional screening requirement along the northwestern property line;
- Reaffirmation of a waiver of Sect. 13-305 of the Zoning Ordinance for the transitional screening requirement between the multi-family residential and single-family attached residential uses, and between the multi-family residential and retail uses;
- Reaffirmation of a waiver of Sect. 13-202 of the Zoning Ordinance for dispersing of the interior parking landscaping for the surface parking lot and landscaping on the top level of the parking structure;

Board Agenda Item
October 15, 2019

- Reaffirmation of a modification of Sect. 17-201 of the Zoning Ordinance to permit six-foot-wide sidewalks as shown on the CDP/FDP;
- Reaffirmation of a waiver of Sect. 2-505 of the Zoning Ordinance on use limitation on corner lots for a corner of a building; and
- Reaffirmation of a waiver of Sect. 17-201 of the Zoning Ordinance for a service drive.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Jay Rodenbeck, Planner, DPD

Board Agenda Item
October 15, 2019

5:00 p.m.

Public Hearing to Lease County-Owned Property at 8350 Richmond Highway to Clear Wireless LLC (Lee District)

ISSUE:

Public hearing to lease County-owned property to Clear Wireless Mobile LLC for the installation of new telecommunications equipment for public use on the roof of the South County Center located at 8350 Richmond Highway.

RECOMMENDATION:

The County Executive recommends that the Board of Supervisors (Board) authorize staff to lease County-owned property at 8350 Richmond Highway to Clear Wireless Mobile LLC.

TIMING:

On September 24, 2019, the Board authorized the advertisement of a public hearing on October 15, 2019, to County-owned property at 8350 Richmond Highway to Clear Wireless Mobile LLC.

BACKGROUND:

The Board of Supervisors is the owner of the South County Center located at 8350 Richmond Highway on a County-owned parcel identified as Tax Map Number 101-3 ((1)) 16A. The property is currently improved with a five-story, 160,000 square foot building that primarily operates as a social services facility (Building). In 2010, Clear Wireless LLC, predecessor-in-interest to Sprint Corporation (Sprint), entered into a lease with the County to allow the installation and operation of telecommunications equipment on a portion of the roof of the Building (Lease). Verizon Wireless, AT&T and T-Mobile also have lease agreements for the use of space on the rooftop.

Sprint currently has six (6) panel antennas located on the walls of the penthouse and one (1) equipment cabinet fixed on a 49-square-foot steel platform that sits on the roof of the Building. Sprint has submitted a proposal to the Facilities Management Department to replace its existing equipment with six (6) new panel antennas and one (1) GPS antenna. The equipment cabinet and steel roof mount will be removed and a larger equipment cabinet will be placed on a steel platform located right next to the existing roof mount. To reduce the visibility of the equipment from the ground, the

Board Agenda Item
October 15, 2019

antennas will be mounted flush with the penthouse wall and the new cabinet will be screened by an existing three-sided, ten-foot-high metal wall.

Staff negotiated proposed terms for an amendment to the existing Lease with Sprint. The leased area will be enlarged from 49 to 180 square feet. In exchange, Sprint will pay a supplemental \$300 per month or \$3,600 per year as additional rent. All of the other primary terms of the Lease shall remain the same.

Staff recommends that the Board authorize staff to lease County-owned property at 8350 Richmond Highway to Clear Wireless Mobile LLC.

FISCAL IMPACT:

The proposed amendment will generate an additional \$3,600 in revenue the first year after execution for a total annual rent of approximately \$29,000. All revenue will be deposited in the General Fund.

ENCLOSED DOCUMENTS:

Attachment 1 – Location Map 101-3 ((1)) 16A

Attachment 2 – Draft First Amendment to Lease Agreement

STAFF:

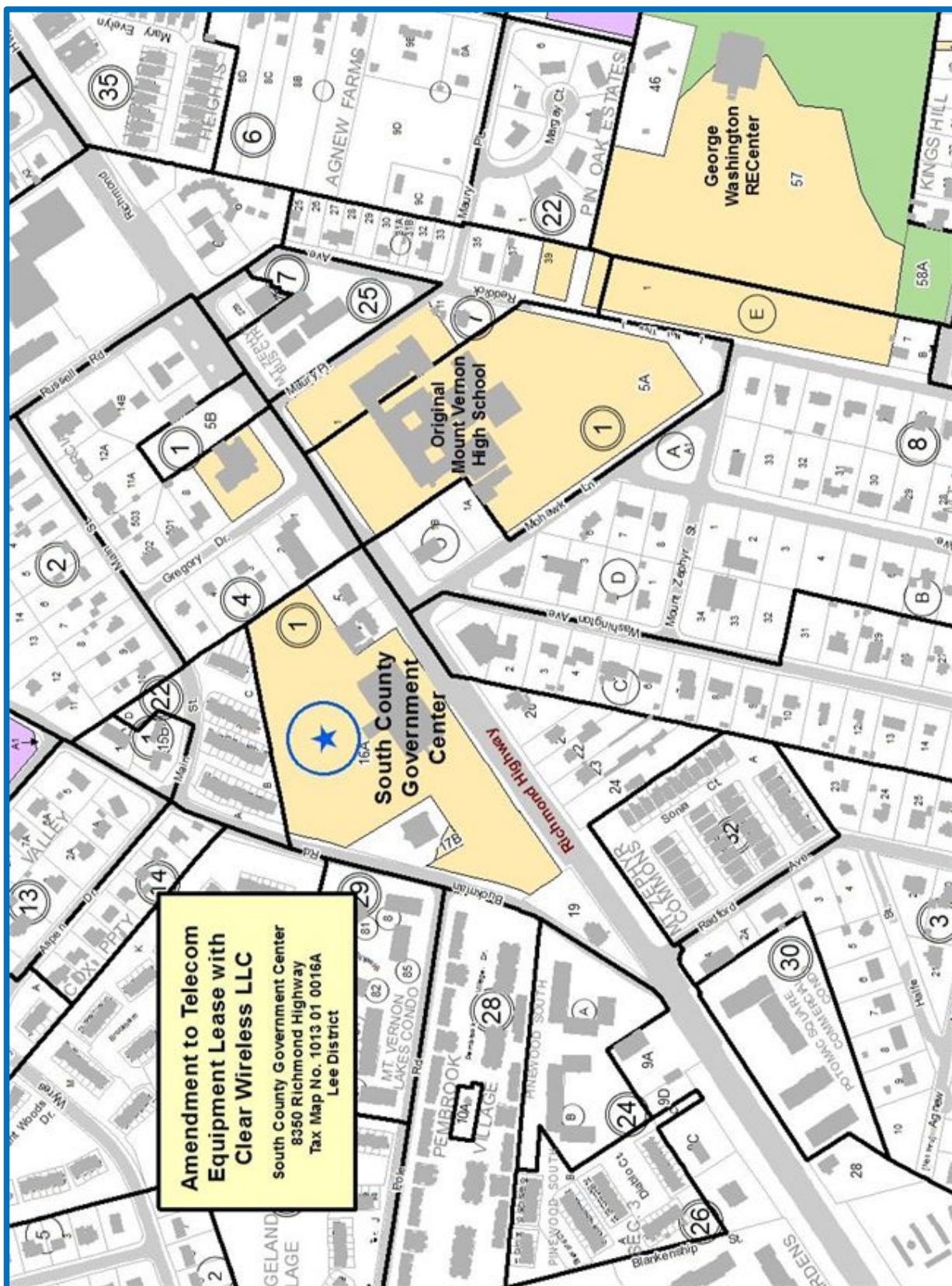
Joseph M. Mondoro, Chief Financial Officer

José A. Comayagua, Jr., Director, Facilities Management Department

Mike Lambert, Assistant Director, Facilities Management Department

ASSIGNED COUNSEL:

Linda Choe, Assistant County Attorney



Site ID #: DC52XC442

FIRST AMENDMENT TO LEASE AGREEMENT

This First Amendment to Lease Agreement (this "**Amendment**"), effective as of the date last signed below ("**Effective Date**"), amends a certain Lease Agreement dated May 21, 2010 between Clear Wireless LLC, a Nevada limited liability company ("**Lessee**"), and The Board of Supervisors of Fairfax County, Virginia ("**Lessor**"), (the "**Agreement**").

BACKGROUND

WHEREAS, Lessee desires to expand the Leased Premises, as shown in Exhibit B-1 annexed hereto, in order to provide for the installation of additional equipment.

WHEREAS, Lessee desires to modify its installation on the Leased Premises by adding or swapping out antennas and other equipment to the Equipment, as more particularly described in Exhibit B-1 annexed hereto.

WHEREAS, Lessee further desires to install new fiber and power for the Equipment and Leased Premises as more particularly described in Exhibit B-1a.

WHEREAS, Lessee has exercised its first option to renew the Lease for a period of five (5) years in accordance with Section 3 of the Agreement.

WHEREAS, Lessee and Lessor desire to modify certain provisions of the Agreement as provided below.

AGREEMENT

For good and valuable consideration, the receipt and sufficiency of which are acknowledged, Lessor and Lessee agree as follows:

1. **Renewal of Lease.** Lessee has exercised its first option to renew the Agreement for five (5) years from June 30, 2015 to June 29, 2020. Lessee reserves the second and third option to renew the Lease as stated forth in Section 3 of the Agreement.

2. **Modification to the Leased Premises.** Exhibit B to the Agreement is hereby amended to include the modifications identified on Exhibits B-1 and B-1a, copies of which are attached and made a part hereof. Exhibits B-1 and B-1a supplement Exhibit B to the Agreement and are not deemed to supersede or otherwise modify Exhibit B or any part thereof except to the extent specifically set forth in Exhibits B-1 and B-1a. Upon full execution of this Amendment, Lessee is permitted to do all work necessary to prepare, maintain and alter the Leased Premises to install or otherwise modify the Equipment, all as more fully described and contemplated in Exhibits B-1 and B-1a.

3. **Modification to Rent.** Section 3 of the Agreement is amended by adding the following:

- (a) As additional consideration for the modification and other rights set forth in this Amendment, starting on the date that is the earlier of (i) 30 days after the start of construction of the modifications to the Leased Premises or (ii) December 1, 2019, the monthly rent will be increased by \$300.00, partial month to be prorated.
- (b) Lessor agrees to provide Lessee an updated IRS approved W-9 form setting forth the tax identification number of Lessor or of the person or entity to whom payment is to be made payable as directed in writing by Lessor and to enroll with Lessee to receive electronic payments, if not already enrolled. Lessor hereby agrees to receive payments electronically using Lessee's designated electronic platform unless an alternative payment method is agreed to in writing by the parties. Lessor agrees to enroll for electronic payment no less than thirty (30) days from the Effective Date of this Amendment. All of Lessee's payment obligations set forth in the Agreement are conditioned upon Lessor's timely enrollment for electronic payment. Lessor may obtain electronic payment

enrollment forms by contacting Lessee's "Landlord Solutions" department at 800-357-7641 or by submitting a ticket for direct deposit via the Lessor portal at <https://Landlordsolutions.sprint.com/>.

4. **Expiration or Termination of Amendment.** If Lessee does not utilize the rights and entitlements provided in this Amendment, Lessee may terminate same by giving written notice to Lessor, with such termination being effective thirty (30) days as of the date of such notice. After termination of this Amendment, the terms and conditions of the Agreement as they existed immediately prior to the Effective Date of this Amendment shall be deemed reinstated, ratified and affirmed, and shall continue in full force and effect. After termination of this Amendment, Rent shall revert to the amount in effect immediately prior to the Effective Date of this Amendment, plus any rental increases, including annual escalators or rent increases due to other site modifications made by Lessee, which occurred during the period of time between the Effective Date of this Amendment and the termination date of this Amendment.

5. **Notice Address.** The notice addresses in Section 16 of the Agreement or referenced therein for the party or parties listed below are hereby deleted in their entirety and replaced with the following:

"To Lessor: Fairfax County
Facilities Management Department
12000 Government Center, Suite 424
Fairfax, Virginia 22035
Attn: Leasing Manager

With a copy, which will not constitute notice to: Fairfax County
County Attorney's Office
12000 Government Center, Suite 549
Fairfax, Virginia 22035

To Lessee: Sprint Property Services
Sprint Site ID: DC52XC442
Mailstop KSOPHT0101-Z2650
6391 Sprint Parkway
Overland Park, Kansas 66251-2650

With copy, which will not constitute notice to: Sprint Site ID: DC52XC442
Attn.: Real Estate Attorney
Mailstop KSOPHT0101-Z2020
6391 Sprint Parkway
Overland Park, Kansas 66251-2020"

6. **General Terms and Conditions.**

a. All capitalized terms used in this Amendment, unless otherwise defined herein, will have the same meaning as the terms contained in the Agreement.

b. In case of any inconsistencies between the terms and conditions contained in the Agreement and the terms and conditions contained in this Amendment, the terms and conditions herein will control. Except as set forth herein, all provisions of the Agreement are ratified and remain unchanged and in full force and effect.

c. This Amendment may be executed in duplicate counterparts, each of which will be deemed an original.

d. Each of the parties represents and warrants that it has the right, power, legal capacity and authority to enter into and perform its respective obligations under this Amendment.

SIGNATURES ON FOLLOWING PAGE

The parties have executed this Amendment as of the Effective Date.

Lessor:

The Board of Supervisors of Fairfax County, Virginia

Lessee:

Clear Wireless LLC
a Nevada limited liability company

By: _____

Printed Name: Joseph M. Mondoro

Title: Chief Financial Officer

Date: _____, 201____
(Date must be completed)

By: _____

Printed Name: _____

Title: _____

Date: _____, 201____
(Date must be completed)

Exhibit B-1

(Description of Leased Premises)

Construction Drawings prepared by BC Architects Engineers dated 7/23/2019 attached on the following pages.

Existing Equipment List:

- (3) Argus panel antennas
- (3) Andrew MW antennas
- (3) Samsung RRH
- (3) Horizon ODU
- (9) ½" coax
- (1) GPS antenna
- Equipment cabinet in 7' x 7' lease area

New Equipment List:

- (3) Nokia MAA-AAHC panel antennas
- (3) RFS APXVBBLL15X_43-C-120 panel antennas
- (1) MW antenna
- (6) 800 RRH
- (6) 1900 RRH
- (3) combiners
- (3) 1.66" Hybriflex cables
- (1) GPS antenna
- Equipment cabinets in 18' x 10' lease area

LANDLORD APPROVAL BLOCK
FAX: 703.471.4000, 400.471.4000

LANDLORD SIGNATURE/INITIALS: _____

DATE: _____

Sprint®

EXHIBIT B-1



PROJECT:

DC DO MACRO 2018

SITE NAME:

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE CASCADE:

DC52XC442-C

SITE ID#:

VA-WSH357

SITE ADDRESS:

8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

SITE TYPE:

71'-0"± BUILDING HEIGHT

DC DO MACRO 2018
71'-0"± BUILDING HEIGHT



NOTICE: THESE DOCUMENTS ARE CONFIDENTIAL AND ARE THE SOLE PROPERTY OF SPRINT AND MAY NOT BE REPRODUCED, DISSEMINATED OR DISTRIBUTED WITHOUT THE EXPRESS WRITTEN CONSENT OF SPRINT.

DESCRIPTION	DATE	BY	REV
FINAL CD'S	02/27/19	SS	1
FINAL CD'S	03/22/19	MS	2
LOAD CALCULATIONS	05/20/19	MS	3
CLIENT COMMENTS	06/18/19	MS	4
CLIENT COMMENTS	07/09/19	MS	5
CLIENT COMMENTS	07/22/19	MS	6
CLIENT COMMENTS	07/23/19	MS	7

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

DC52XC442-C

8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

TITLE SHEET & PROJECT DATA

T-1

SITE INFORMATION

PROPERTY OWNER:
BOARD OF SUPERVISORS FAIRFAX COUNTY
12000 GOVERNMENT CENTER PKWY SUITE
533 FAIRFAX VA 22030

LATITUDE (NAD83):
38° 43' 52.885" N
36.73155800

LONGITUDE (NAD83):
77° 5' 16.045" W
-77.10445800

ZONING JURISDICTION:
FAIRFAX COUNTY

POWER CONTRACT:
COMMON VIRGINIA POWER

AVL PROVIDER:
VERIZON

SPRINT CA:
KYLE GREGORY
PHONE: (248) 767-6341
KYLE.GREGORY@SPRINT.COM

AREA MAP



1"=100' SCALE: 1" = 50.00'
24"X36" SCALE: 1" = 36.00'

LOCATION MAP



1"=100' SCALE: 1" = 4.00'
24"X36" SCALE: 1" = 2.00'

PROJECT DESCRIPTION

PROJECT CONSIST OF INSTALLING ADDITIONAL EQUIPMENT CABLES AND/OR ANTENNAS TO AN EXISTING WIRELESS TELECOMMUNICATIONS FACILITY:

- REMOVE (3) CLEARWIRE ANTENNAS
- REMOVE (3) CLEARWIRE RIBBYS
- REMOVE (3) CLEARWIRE EQUIPMENT CABINET
- REMOVE (3) CLEARWIRE CABLES
- INSTALL (3) 800/1800 PANEL ANTENNAS
- INSTALL (3) NMO (MMA-MNC) PANEL ANTENNAS
- INSTALL (3) 1.68" HYBRIDFLEX CABLES
- INSTALL (6) 800 RIBBYS
- INSTALL (6) 1900 RIBBYS
- INSTALL (3) COMBINERS
- INSTALL (1) GPS ANTENNA
- INSTALL (3) HYBRIDFLEX CABLES
- INSTALL (2) ELITEK E EQUIPMENT CABINETS
- INSTALL (1) ELITEK I EQUIPMENT CABINET
- INSTALL (1) ELITEK B EQUIPMENT CABINET
- INSTALL (1) POWER PROTECTION CABINET & (1) TELCO CABINET WALL MOUNTED ON (4) UNISTRUTS
- INSTALL (1) STEEL PLATFORM
- INSTALL (3) ANTENNA MOUNTS

APPLICABLE CODES

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALL IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC 2015)
2. INTERNATIONAL MECHANICAL CODE
3. AWS/FA-222 STRUCTURAL STANDARD
4. NFPA 780 - LIGHTNING PROTECTION CODE
5. UNIFORM PLUMBING CODE
6. NATIONAL ELECTRIC CODE 2014 (NEC 2014)

PROJECT SPECIFIC NOTES

1. SPRINT CA SHALL USE THE COUNTY'S ROOF CONTRACTOR GARLAND TO PERFORM ANY ROOF PENETRATION (TO PRESERVE ROOF WARRANTY).
2. SPRINT CA SHALL SUBMIT A WORK SCHEDULE AND LIFT PLAN TO THE COUNTY. ALL LIFTS MUST OCCUR ON SUNDAY AND DURING THE PERIOD ALLOWED BY THE ZONING ORDINANCE.

DRAWING INDEX

SHEET NO.	SHEET TITLE	REV	ENGINEER
T-1	TITLE SHEET & PROJECT DATA	7	MS
SP-1	SPRINT SPECIFICATIONS	7	MS
SP-2	SPRINT SPECIFICATIONS	7	MS
A-0	SITE PLAN	7	MS
A-1	ROOFTOP PLAN	7	MS
A-1A	BUILDING ELEVATION	7	MS
A-2	EQUIPMENT PLAN PHASES	7	MS
A-2	EQUIPMENT DETAILS	7	MS
A-2A	ALPHA ANTENNA PLAN PHASES	7	MS
A-2B	BETA ANTENNA PLAN PHASES	7	MS
A-2C	GAMMA ANTENNA PLAN PHASES	7	MS
A-4	DETAILS & ANTENNA SCHEDULE	7	MS
A-4A	DETAILS	7	MS
A-5	EQUIPMENT DETAILS	7	MS
A-5A	ANTENNA MOUNTING DETAILS	7	MS
A-5B	ANTENNA MOUNTING DETAILS	7	MS
A-6	CABLE MARKING COLOR CONN. TABLE & ANTENNA DETAIL	7	MS
A-7	FIBER CONNECTION DETAILS	7	MS
A-8	MISSED CABLE DIAGRAM	7	MS
A-9	PLUMBING DIAGRAM	7	MS
A-10	ANTENNA MOUNT DETAIL	7	MS
A-11	PLATFORM MOUNTING DETAIL	7	MS
A-12	ANTENNA MOUNT DETAILS	7	MS
S-1	STRUCTURAL DETAILS	7	MS
S-2	STRUCTURAL DETAILS	7	MS
S-3	STRUCTURAL NOTES	7	MS
E-1A	UTILITY CONDUIT ROUTING	7	MS
E-1B	UTILITY CONDUIT ROUTING	7	MS
E-1C	UTILITY CONDUIT ROUTING	7	MS
E-1D	ELECTRICAL CONDUIT ROUTING	7	MS
E-2	GROUNDING RISER DIAGRAM	7	MS
E-3	UTILITY RISER DIAGRAM	7	MS
E-4	PANEL SCHEDULE & LOAD CALCULATIONS	7	MS
E-5	DETAILS & GROUNDING NOTES	7	MS

THESE OUTLINE SPECIFICATIONS IN CONJUNCTION WITH THE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING CONTRACT DOCUMENTS AND THE CONSTRUCTION DRAWINGS DESCRIBE THE WORK TO BE PERFORMED BY THE CONTRACTOR.

SECTION 01.100 - SCOPE OF WORK

THE WORK:

SHALL COMPLY WITH APPLICABLE NATIONAL CODES AND STANDARDS, LATEST EDITION, AND PORTIONS THEREOF.

PRECEDENCE:

SHOULD CONFLICTS OCCUR BETWEEN THE STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES INCLUDING THE STANDARD CONSTRUCTION DETAILS FOR WIRELESS SITES AND THE CONSTRUCTION DRAWINGS, INFORMATION ON THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE.

SITE FAMILIARITY:

CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

ON-SITE SUPERVISION:

THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

DRAWINGS, SPECIFICATIONS AND DETAILS REQUIRED AT JOBSITE:

THE CONSTRUCTION CONTRACTOR SHALL MAINTAIN A FULL SET OF THE CONSTRUCTION DRAWINGS AT THE JOBSITE FROM MOBILIZATION THROUGH CONSTRUCTION COMPLETION.

A. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. PROVIDE ALL MATERIALS AND LABOR AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING SYSTEM. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

B. CONTRACTOR SHALL NOTIFY SPRINT CONSTRUCTION MANAGER OF ANY VARIATIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS NOTED OTHERWISE. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

C. MARK THE FIELD SET OF DRAWINGS IN RED, DOCUMENTING ANY CHANGES FROM THE CONSTRUCTION DOCUMENTS.

METHODS OF PROCEDURE (MOPS) FOR CONSTRUCTION:

CONTRACTOR SHALL PERFORM WORK AS DESCRIBED IN

- COAX COLOR CODING SHEETS AND FIBER TESTING TS-0200 AND EL-0500
- CABLE LABELING EN-2012-00
- APPLICABLE INSTALLATION MOPS IDENTIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS

SECTION 01.200 - COMPANY FURNISHED MATERIAL AND EQUIPMENT

COMPANY FURNISHED MATERIAL AND EQUIPMENT IS IDENTIFIED ON THE RF DATA SHEET IN THE CONSTRUCTION DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR SPRINT PROVIDED MATERIAL AND EQUIPMENT TO ENSURE IT IS PROTECTED AND HANDLED PROPERLY THROUGHOUT THE CONSTRUCTION DURATION.

CONTRACTOR RESPONSIBLE FOR RECEIPT OF SPRINT FURNISHED EQUIPMENT AT CELL SITE OR CONTRACTORS LOCATION. CONTRACTOR TO COMPLETE SHIPPING AND RECEIPT DOCUMENTATION IN ACCORDANCE WITH COMPANY PRACTICE.

SECTION 01.300 - CELL SITE CONSTRUCTION

NOTICE TO PROCEED:

NO WORK SHALL COMMENCE PRIOR TO COMPANY'S WRITTEN NOTICE TO PROCEED AND THE ISSUANCE OF WORK ORDER.

SITE CLEARING:

CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE SITE ALL REMAINING RUBBERS, IMPLEMENTS, TEMPORARY FACILITIES, AND SUPPLIES MATERIALS.

SECTION 01.400 - SUBMITTALS & TESTS

ANTENNAS:

AT THE COMPANY'S REQUEST, ANY ALTERNATIVES TO THE MATERIALS OR METHODS SPECIFIED SHALL BE SUBMITTED TO SPRINTS CONSTRUCTION MANAGER FOR APPROVAL. SPRINT WILL REVIEW AND APPROVE ONLY THOSE REQUESTS MADE IN WRITING. NO VERBAL APPROVALS WILL BE CONSIDERED.

TESTS AND INSPECTIONS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTS, INSPECTIONS AND PROJECT DOCUMENTATION.

B. CONTRACTOR SHALL ACCOMPLISH TESTING INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- COAX SWEEPS AND FIBER TESTS PER CURRENT VERSION OF TS-0200 ANTENNA LINE ACCEPTANCE STANDARDS.
- AZ, AZIMUTH AND DOWNLEAK PROVIDE AN AUTOMATED REPORT UPLOADED TO SITEMA USING A COMMERCIAL MAKE-FOR THE PURPOSE ELECTRONIC ANTENNA ALIGNMENT TOOL (EAT). INSTALLED AZIMUTH, CENTERLINE AND DOWNLEAK MUST CONFORM WITH RF CONFIGURATION DATA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIONS TO ANY WORK IDENTIFIED AS UNACCEPTABLE IN SITE INSPECTION ACTIVITIES AND/OR AS A RESULT OF TESTING.
- ALL TESTING REQUIRED BY APPLICABLE INSTALLATION MOPS.

C. REQUIRED CLOSEOUT DOCUMENTATION INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- AZIMUTH, DOWNLEAK, AZ, FROM SUNDISK INSTRUMENTS - ANTENNA ALIGNMENT TOOL (AAT)
- SWEET AND FIBER TESTS
- SCALABLE BARCODE PHOTOGRAPHS OF TOWER TOP AND INACCESSIBLE SERIALIZED EQUIPMENT
- ALL AVAILABLE JURISDICTIONAL PERMIT AND OCCUPANCY INFORMATION
- PDF SCAN OF RESUMES PRODUCED IN FIELD
- A PDF SCAN OF REDLINE MARK-UPS SUITABLE FOR USE IN ELECTRONIC AS-BUILT DRAWING PRODUCTION
- LEAK WARNERS
- FINAL PRINTER APPLICATION
- REQUIRED FINAL CONSTRUCTION PHOTOS
- CONSTRUCTION AND COMMISSIONING CHECKLIST COMPLETE WITH NO DEFICIENT ITEMS
- APPLICABLE POST-TEST TASKS INCLUDING DOCUMENT UPLOADED COMPLETED IN SITEMA (SPRINTS DOCUMENT REPOSITORY OF RECORDS)
- CLOSEOUT PHOTOGRAPHS AND CLOSEOUT CHECKLIST: SPRINT WILL PROVIDE SEPARATE GUIDANCE

SECTION 11.200 - ANTENNA ASSEMBLY, REMOTE RADIO UNITS AND CABLE INSTALLATION

SUMMARY:

THIS SECTION SPECIFIES INSTALLATION OF ANTENNAS, RRUS, AND CABLE EQUIPMENT, INSTALLATION, AND TESTING OF COAXIAL, FIBER CABLE.

ANTENNAS AND RRUS:

THE NUMBER AND TYPE OF ANTENNAS AND RRUS TO BE INSTALLED IS DETAILED ON THE CONSTRUCTION DRAWINGS.

HYBRID CABLE:

HYBRID CABLE WILL BE DELIVERED AND FURNISHED FOR INSTALLATION AT EACH SITE. CABLE SHALL BE INSTALLED PER THE CONSTRUCTION DRAWINGS AND THE APPLICABLE MANUFACTURER'S REQUIREMENTS.

JUMPERS AND CONNECTIONS:

FURNISH AND INSTALL 1/2" COAX JUMPER CABLES BETWEEN THE RRUS AND ANTENNAS. JUMPERS SHALL BE TYPE LDF 4, FLE 12-50, OR S40, OR FLE S40. SUPER-FLEX CABLES ARE NOT ACCEPTABLE. JUMPERS BETWEEN THE RRUS AND ANTENNAS OR TOWER TOP AMPLIFIERS SHALL CONSIST OF 1/2" INCH FOM DELECTRIC, OUTDOOR RATED COAXIAL CABLE, MIN LENGTH FOR JUMPER SHALL BE 10'-0".

REMOTE ELECTRICAL TILT (RET) CABLES:

MISCELLANEOUS:

INSTALL SPACERS, COMBIBERS, FILTERS PER RF DATA SHEET, FURNISHED BY SPRINT.

ANTENNA INSTALLATION:

THE CONTRACTOR SHALL ASSEMBLE ALL ANTENNAS EXISTE IN ACCORDANCE WITH THE INSTRUCTIONS SUPPLIED BY THE MANUFACTURER. ANTENNA HEIGHT, AZIMUTH, AND FEED ORIENTATION INFORMATION SHALL BE A DESIGNATED ON THE CONSTRUCTION DRAWINGS.

- THE CONTRACTOR SHALL POSITION THE ANTENNA ON TOWER PIPE MOUNTS SO THAT THE BOTTOM STRUT IS LEVEL. THE PIPE MOUNTS SHALL BE PLUMB TO WITHIN 1 DEGREE.
- ANTENNA MOUNTING REQUIREMENTS: PROVIDE ANTENNA MOUNTING HARDWARE AS INDICATED ON THE DRAWINGS.




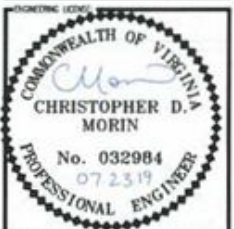
HYBRID CABLE INSTALLATION:

A. THE CONTRACTOR SHALL ROUTE, TEST, AND INSTALL ALL CABLES AS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

B. THE INSTALLED RADIUS OF THE CABLES SHALL NOT BE LESS THAN THE MANUFACTURER'S SPECIFICATIONS FOR BENDING RADIUS.

C. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE CABLES DURING HANDLING AND INSTALLATION.

- FASTENING WIRE HYBRID CABLES: ALL CABLES SHALL BE INSTALLED INSIDE MONOPOLE WITH CABLE SUPPORT GRIPS AS REQUIRED BY THE MANUFACTURER.
- FASTENING INDIVIDUAL FIBER AND DC CABLES ABOVE BREAKOUT ENCLOSURE (WEDGAS), WITHIN THE WARE CABINET AND ANY INTERMEDIATE DISTRIBUTION BOXES:
 - FIBER: SUPPORT FIBER BUNDLES USING 3" VELCRO STRIPS OF THE REQUIRED LENGTH. 18" DC STRIPS SHALL BE IN OIL AND WATER RESISTANT AND SUITABLE FOR INDUSTRIAL INSTALLATIONS AS MANUFACTURED BY TETRA, OR APPROVED EQUAL.
 - DC: SUPPORT DC BUNDLES WITH ZIP TIES OF THE ADEQUATE LENGTH. ZIP TIES TO BE UV STABILIZED, BLACK NYLON, WITH TENSILE STRENGTH AT 23,000 PSI AS MANUFACTURED BY MELLO PRODUCTS OR EQUAL.
- FASTENING JUMPERS: SECURE JUMPERS TO THE SIDE ARMS OR HEAD FRAMES USING STAINLESS STEEL TIE WRAPS OR STAINLESS STEEL BUTTERFLY CLIPS.
- CABLE INSTALLATION:
 - INSPECT CABLE PRIOR TO USE FOR SHIPPING DAMAGE. NOTIFY THE CONSTRUCTION MANAGER.
 - CABLE ROUTING: CABLE INSTALLATION SHALL BE PLANNED TO ENSURE THAT THE LINES WILL BE PROPERLY ROUTED IN THE CABLE ENVELOP AS INDICATED ON THE DRAWINGS. AVOID TWISTING AND CROSCOVERS.
 - HIGST CABLE USING PROPER HOISTING GRIPS. DO NOT EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM BEND RADII.

PLANS PREPARED FOR:	
 4340 SPRINT PARKWAY OVERLAND PARK, KANSAS 66151	
PLANS PREPARED BY:	
 2801 TOWNSEND DRIVE, SUITE 200 OVERLAND PARK, KS 66150-4000 TEL: 913.661.4000 FAX: 913.661.4000	
SEALED BY:	
 106 N MAIN ST. RM CORVALLIS, OR 97330	
ENGINEERING LICENSE:	
 COMMONWEALTH OF VIRGINIA CHRISTOPHER D. MORIN No. 032984 07.23.19 PROFESSIONAL ENGINEER	
NOTING NOTICE:	
THESE DOCUMENTS ARE CONFIDENTIAL AND ARE THE SOLE PROPERTY OF SPRINT AND MAY NOT BE REPRODUCED, DISSEMINATED OR RECONSTRUCTED WITHOUT THE EXPRESS WRITTEN CONSENT OF SPRINT.	
REVISIONS:	DATE BY REV
DESCRIPTION	02/27/19 US 1
FINAL CD'S	03/12/19 RD 2
FINAL CD'S	05/20/19 ME 3
LOAD CALCULATIONS	06/14/19 ME 4
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CLIENT COMMENTS	07/12/19 ME 6
CLIENT COMMENTS	07/23/19 ME 7
PROJECT NAME:	
COUNTY OF FAIRFAX SOUTH COUNTY CENTER	
SITE LOCATION:	
DC52XC442-C	
SITE ADDRESS:	
8350 RICHMOND HIGHWAY ALEXANDRIA, VA 22309	
SHEET DESCRIPTION:	
SPRINT SPECIFICATIONS	
SHEET NUMBER:	
SP-1	

CONTINUE FROM SP-1

5. GROUNDING OF TRANSMISSION LINES: ALL TRANSMISSION LINES SHALL BE GROUNDED AS INDICATED ON DRAWINGS.
6. HYBRID CABLE COLOR CODING: ALL COLOR CODING SHALL BE AS REQUIRED IN CURRENT VERSION OF T50200.
7. HYBRID CABLE LABELING: INDIVIDUAL HYBRID AND DC BUNDLES SHALL BE LABELED ALPHA-NUMERICALLY ACCORDING TO SPRINT CELL SITE ENGINEERING NOTICE - EN 2012-001, REV 1.

WEATHERPROOFING EXTERIOR CONNECTORS AND HYBRID CABLE GROUND KITS:

- A. ALL FIBER & COAX CONNECTORS AND GROUND KITS SHALL BE WEATHERPROOFED.
- B. WEATHERPROOFING USING ONE OF THE FOLLOWING METHODS, ALL INSTALLATIONS MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY BEST PRACTICES.
 1. COLD SHRINK ENCOMPRESS CONNECTOR IN COLD SHRINK TUBING AND PROVIDE A DOUBLE WRAP OF 2" ELECTRICAL TAPE EXTENDING 2" BEYOND TUBING. PROVIDE 3M COLD SHRINK CDS SERIES OR EQUAL.
 2. SELF-ANALAMINATING TAPE: CLEAN SURFACES. APPLY A DOUBLE WRAP OF SELF-ANALAMINATING TAPE 2" BEYOND CONNECTOR. APPLY A SECOND WRAP OF SELF-ANALAMINATING TAPE IN OPPOSITE DIRECTION. APPLY DOUBLE WRAP OF 2" WIDE ELECTRICAL TAPE EXTENDING 2" BEYOND THE SELF-ANALAMINATING TAPE.
 3. 3M SLAM LOCK CLOSURE TIE: SUBSTITUTIONS WILL NOT BE ALLOWED.
 4. OPEN FLAME ON JOB SITE IS NOT ACCEPTABLE.

SECTION 11.800 - INSTALLATION OF MULTIMODAL BASE STATIONS (MMBS) AND RELATED EQUIPMENT

SUMMARY:

- A. THIS SECTION SPECIFIES MMBS CABINETS, POWER CABINETS, AND INTERNAL EQUIPMENT INCLUDING BUT NOT LIMITED TO RECEIVERS, POWER DISTRIBUTION UNITS, BASE BAND UNITS, SURGE ARRESTORS, BATTERIES, AND SIMILAR EQUIPMENT FURNISHED BY THE CONTRACTOR FOR INSTALLATION BY THE CONTRACTOR (C/O).
- B. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY MATERIALS AND PROVIDE ALL LABOR REQUIRED FOR INSTALLATION EQUIPMENT IN EXISTING CABINET OR NEW CABINET AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE APPLICABLE INSTALLATION MOPS.
- C. COMPLY WITH MANUFACTURER'S INSTALLATION AND START-UP REQUIREMENTS.

DC CIRCUIT BREAKER LABELING

- A. NEW DC CIRCUIT IS REQUIRED IN MMBS CABINET SHALL BE CLEARLY IDENTIFIED AS TO RRU BEING SERVED.

SECTION 26.100 - BASIC ELECTRICAL REQUIREMENTS

SUMMARY:

THIS SECTION SPECIFIES BASIC ELECTRICAL REQUIREMENTS FOR SYSTEMS AND COMPONENTS.

QUALITY ASSURANCE:

- A. ALL EQUIPMENT FURNISHED UNDER DIVISION 26 SHALL CARRY UL LABELS AND LISTINGS WHERE SUCH LABELS AND LISTINGS ARE AVAILABLE IN THE INDUSTRY.
- B. MANUFACTURERS OF EQUIPMENT SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE WITH THEIR EQUIPMENT INSTALLED AND OPERATING IN THE FIELD IN A USE SIMILAR TO THE PROPOSED USE FOR THIS PROJECT.
- C. MATERIALS AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SPECIFIED IN DIVISION 26 OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL BE NEW, OF THE BEST QUALITY AND DESIGN, AND FREE FROM DEFECTS.

SUPPORTING DEVICES:

- A. ALL EQUIPMENT FURNISHED UNDER DIVISION 26 SHALL CARRY UL LABELS AND LISTINGS WHERE SUCH LABELS AND LISTINGS ARE AVAILABLE IN THE INDUSTRY.
- B. MANUFACTURERS OF EQUIPMENT SHALL HAVE A MINIMUM OF THREE YEARS EXPERIENCE WITH THEIR EQUIPMENT INSTALLED AND OPERATING IN THE FIELD IN A USE SIMILAR TO THE PROPOSED USE FOR THIS PROJECT.
- C. MATERIALS AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SPECIFIED IN DIVISION 26 OF THE SAME TYPE SHALL BE OF THE SAME MANUFACTURER AND SHALL BE NEW, OF THE BEST QUALITY AND DESIGN, AND FREE FROM DEFECTS.

SUPPORTING DEVICES:

- A. MANUFACTURED STRUCTURAL SUPPORT MATERIALS, SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:
 1. ALLED TUBE AND CONDUIT
 2. R-LINE SYSTEM
 3. SENSIBLIT OVERSIZED PRODUCTS
 4. THOMAS & BETTS
- B. FASTENERS: TYPES, MATERIALS, AND CONSTRUCTION FEATURES AS FOLLOWS:
 1. EXPANSION ANCHORS: CARBON STEEL WEDGE OR SLEEVE TYPE.
 2. POWER-DRIVEN THREADED STUDS: HEAT-TREATED STEEL, DESIGNED SPECIFICALLY FOR THE INTENDED SERVICE.
 3. FASTEN BY MEANS OF WOOD SCREWS ON WOOD.
 4. TOGGLE BOLTS ON HOLLOW MASONRY UNITS.
 5. CONCRETE INSERTS OR EXPANSION BOLTS ON CONCRETE OR SOLID MASONRY.
 6. MACHINE SCREWS, WELDED THREADED STUDS, OR SPRING-TENSION CLAMPS ON STEEL.
 7. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE SHALL NOT BE PERMITTED.
 8. DO NOT WELD CONDUIT, PIPE STRAPS, OR ITEMS OTHER THAN THREADED STUDS TO STEEL STRUCTURES.
 9. IN PARTITIONS OF LIGHT STEEL CONSTRUCTION, USE SHEET METAL SCREWS.

SUPPORTING DEVICES:

- A. INSTALL SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH NEC.
- B. COORDINATE WITH THE BUILDING STRUCTURAL SYSTEM AND WITH OTHER TRADES.
- C. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE SECURELY TO THE STRUCTURE IN ACCORDANCE WITH THE FOLLOWING:
- D. ENSURE THAT THE LOAD APPLIED BY ANY FASTENER DOES NOT EXCEED 25 PERCENT OF THE PROOF TEST LOAD.
- E. USE VIBRATION AND SHOCK-RESISTANT FASTENERS FOR ATTACHMENTS TO CONCRETE SLABS.

ELECTRICAL IDENTIFICATION:

- A. UPDATE AND PROVIDE TYPED CIRCUIT BREAKER SCHEDULES IN THE MOUNTING BRACKET, INSIDE DOORS OF AC PANEL BOARDS WITH ANY CHANGES MADE TO THE AC SYSTEM.
- B. BRANCH CIRCUITS FEEDING AVIATION OBSTRUCTION LIGHTING EQUIPMENT SHALL BE CLEARLY IDENTIFIED AS SUCH AT THE BRANCH CIRCUIT PANELBOARD.

SECTION 26.200 - ELECTRICAL MATERIALS AND EQUIPMENT

CONDUIT:

- A. RIGID GALVANIZED STEEL (RGS) CONDUIT SHALL BE USED FOR EXTERIOR LOCATIONS ABOVE GROUND AND IN UNFINISHED INTERIOR LOCATIONS AND FOR ENCASED RINGS IN CONCRETE. RIGID CONDUIT AND FITTINGS SHALL BE STEEL, COATED WITH ZINC EXTERIOR AND INTERIOR BY THE HOT DIP GALVANIZING PROCESS. CONDUIT SHALL BE PRODUCED TO AND SPECIFICATIONS C90.1, FEDERAL SPECIFICATION WW-C-581 AND SHALL BE LISTED WITH THE UNDERWRITERS' LABORATORIES. FITTINGS SHALL BE THREADED - SET SCREW OR COMPRESSION FITTINGS WILL NOT BE ACCEPTABLE. RGS CONDUITS SHALL BE MANUFACTURED BY ALLED, REPUBLIC OR WHEATLAND.
- B. UNDERGROUND CONDUIT IN CONCRETE SHALL BE POLYVINYLCHLORIDE (PVC) SUITABLE FOR DIRECT BURIAL, AS APPLICABLE. JOINTS SHALL BE BELLED, AND FLUSH SOLVENT WELDED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL BE CARLON ELECTRICAL PRODUCTS OR APPROVED EQUAL.
- C. TRANSITIONS BETWEEN PVC AND RIGID (RGS) SHALL BE MADE WITH PVC COATED METALLIC LONG SWEET RADIIUS ELBOWS.
- D. EMT OR RIGID GALVANIZED STEEL CONDUIT MAY BE USED IN FINISHED SPACES CONCEALED IN WALLS AND CEILINGS. EMT SHALL BE MILD STEEL, ELECTRICALLY WELDED, ELECTRO-GALVANIZED OR HOT-DIPPED GALVANIZED AND PRODUCED TO AND SPECIFICATION C90.3, FEDERAL SPECIFICATION WW-C-563, AND SHALL BE UL LISTED. EMT SHALL BE MANUFACTURED BY ALLED, REPUBLIC OR WHEATLAND, OR APPROVED EQUAL. FITTINGS SHALL BE METALLIC COMPRESSION. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE.

- E. LIQUID TIGHT FLEXIBLE METALLIC CONDUIT SHALL BE USED FOR FINAL CONNECTION TO EQUIPMENT. FITTINGS SHALL BE METALLIC GLAND TYPE COMPRESSION FITTINGS, MAINTAINING THE INTEGRITY OF CONDUIT SYSTEM. SET SCREW CONNECTIONS SHALL NOT BE ACCEPTABLE. MAXIMUM LENGTH OF FLEXIBLE CONDUIT SHALL NOT EXCEED 6-FEET. LPMC SHALL BE PROTECTED AND SUPPORTED AS REQUIRED BY NEC. MANUFACTURERS OF FLEXIBLE CONDUITS SHALL BE CARLO, AMERICAN METAL HOSE, OR UNIVERSAL METAL HOSE, OR APPROVED EQUAL.
- F. MINIMUM SIZE CONDUIT SHALL BE 3/4 INCH (21MM).

HUBS AND BOXES:

- A. AT ENTRANCES TO CABINETS OR OTHER EQUIPMENT NOT HAVING INTEGRAL THREADED HUBS PROVIDE METALLIC THREADED HUBS OF THE SIZE AND CONFIGURATION REQUIRED. HUB SHALL INCLUDE LOCKWIP AND NEOPRENE O-RING SEAL. PROVIDE IMPACT RESISTANT 105 DEGREE C PLASTIC BUSHINGS TO PROTECT CABLE INSULATION.
- B. CABLE TERMINATION FITTINGS FOR CONDUIT
 1. CABLE TERMINATORS FOR RGS CONDUITS SHALL BE TYPE CMC BY O-2/GEOTNY OR EQUAL BY RISK TEC.
 2. CABLE TERMINATORS FOR LPMC SHALL BE ETCO - CL2075, OR MADE FOR THE PURPOSE PRODUCTS BY ROUTEC.
- C. EXTERIOR PULL BOXES AND PULL BOXES IN INTERIOR INDUSTRIAL AREAS SHALL BE PLATED CAST ALLOY, HEAVY DUTY, WEATHERPROOF, DUST PROOF, WITH GASKET, PLATED IRON ALLOY COVER AND STAINLESS STEEL COVER SCREWS, CROUSE-HINDS WAS SERIES OR EQUAL.
- D. CONDUIT OUTLET BODIES SHALL BE PLATED CAST ALLOY WITH SIMILAR GASKETED COVERS. OUTLET BODIES SHALL BE OF THE CONFIGURATION AND SIZE SUITABLE FOR THE APPLICATION. PROVIDE CROUSE-HINDS FORM B OR EQUAL.
- E. MANUFACTURER FOR BOXES AND COVERS SHALL BE HOFFMAN, SQUARE "D", CROUSE-HINDS, COOPER, ADALTE, APPLETON, O-2 GEOTNY, RISCO, OR APPROVED EQUAL.

SUPPLEMENTAL GROUNDING SYSTEM

- A. FINISH AND INSTALL A SUPPLEMENTAL GROUNDING SYSTEM TO THE EXTENT INDICATED ON THE DRAWINGS. SUPPORT SYSTEM WITH NON-MAGNETIC STAINLESS STEEL CLIPS WITH RUBBER GROMMETS. GROUNDING CONNECTORS SHALL BE TINNED COPPER WIRE, SIZES AS INDICATED ON THE DRAWINGS. PROVIDE STRANDED OR SOLID BARE OR INSULATED CONDUCTORS EXCEPT AS OTHERWISE NOTED.
- B. SUPPLEMENTAL GROUNDING SYSTEM: ALL CONNECTIONS TO BE MADE WITH GAD WELDS, EXCEPT AT EQUIPMENT USE LUGS OR OTHER AVAILABLE GROUNDING MEANS AS REQUIRED BY MANUFACTURER. AT GROUND BARS USE TWO HOLE SPACES WITH NO GIL.
- C. STOLEN GROUND-BARS: IN THE EVENT OF STOLEN GROUND BARS, CONTACT SPRINT CN FOR REPLACEMENT INSTRUCTION USING THREADED ROD KITS.

EXISTING STRUCTURE:

- A. EXISTING EXPOSED WIRING AND ALL EXPOSED OUTLETS, RECEPTACLES, SWITCHES, DEVICES, BOXES, AND OTHER EQUIPMENT THAT ARE NOT TO BE UTILIZED IN THE COMPLETED PROJECT SHALL BE REMOVED OR DE-ENERGIZED AND CAPPED IN THE WALL, CEILING, OR FLOOR SO THAT THEY ARE CONCEALED AND SAFE. WALL, CEILING, OR FLOOR SHALL BE PATCHED TO MATCH THE ADJACENT CONSTRUCTION.

CONDUIT AND CONDUCTOR INSTALLATION:

- A. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BOXES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE TIED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE PROPERLY CLAMPED TO BOXES BY GALVANIZED WALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED WALLEABLE IRON LOOKOUT ON OUTSIDE AND INSIDE.
- B. CONDUCTORS SHALL BE PULLED IN ACCORDANCE WITH ACCEPTED GOOD PRACTICE.

SPRINT
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OVERLAND PARK, KANSAS 66211

PLANS PREPARED BY:

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engineers

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PLANS PREPARED BY:

WILLIN
Consultants Inc.

305 N. MAIN ST. 9th
CONROE, TX 77384

ENGINEERING LICENSE:

COMMONWEALTH OF VIRGINIA
CHRISTOPHER D. MORIN
No. 032984
07.23.19
PROFESSIONAL ENGINEER

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REVISION	DESCRIPTION	DATE	BY	REV
1	FINAL CDS	02/27/19	SS	1
2	FINAL CDS	03/12/19	SS	2
3	LOAD CALCULATIONS	05/20/19	ME	3
4	CLIENT COMMENTS	06/14/19	MP	4
5	CLIENT COMMENTS	07/09/19	ME	5
6	CLIENT COMMENTS	07/12/19	MP	6
7	CLIENT COMMENTS	07/23/19	ME	7

SITE NAME:

COUNTY OF
FAIRFAX SOUTH
COUNTY CENTER

SITE ADDRESS:

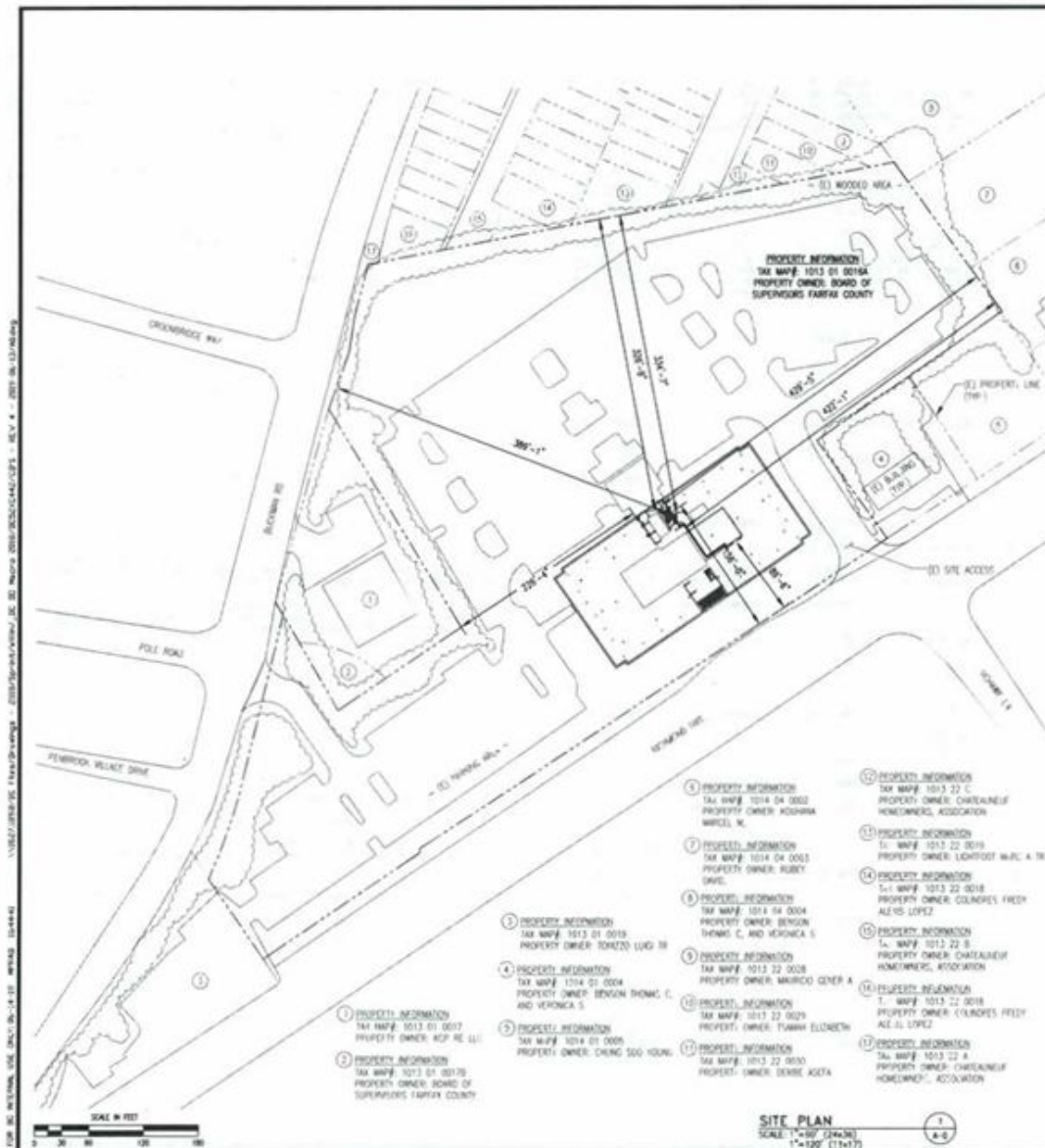
8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

SHEET DESCRIPTION:

SPRINT
SPECIFICATIONS

SHEET NUMBER:

SP-2



6409(a)

SITE PLAN NOTES

1. THERE ARE NO IMPROVEMENTS TO THE PUBLIC RIGHTS OF WAY.
2. THE PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
3. THERE ARE NO FLOODPLANS ON THE PROPERTY.
4. THERE IS NO RPA ON THE PROPERTY.
5. THERE ARE NO GRAVES, OBJECTS OR STRUCTURES MARKING A PLACE OF BURIAL ON THE PROPERTY PER THE FAIRFAX COUNTY CEMETERY MAP.
6. THERE ARE NO KNOWN TRAILS ON THE SUBJECT PROPERTY.
7. THERE IS AN EXISTING STORM WATER MANAGEMENT FACILITY. THERE ARE NO PROPOSED STORM WATER MANAGEMENT FACILITIES FOR THIS PROJECT.
8. NO EXISTING TREES WILL BE REMOVED FOR CONSTRUCTION PURPOSES.
9. THERE ARE NO PROPOSED SIGNS FOR THIS PROJECT.
10. THERE ARE NO KNOWN UTILITY EASEMENTS ON THE SUBJECT PROPERTY.

ORDINANCE DATA

PARCEL DATA	
MAP#	1013 01 0016A
PROPERTY OWNER	BOARD OF SUPERVISORS FAIRFAX COUNTY
ZONING DESCRIPTION	C-3 (OFFICE)
DISTRICT NAME	LEE TRANSPORTATION
AREA OF PARENT PARCEL	359,109 SF
AREA OF DISTURBANCE	0 SF
AREA OF EXISTING STRUCTURES	33,550 SF
AREA OF PROPOSED STRUCTURES	0 SF
BUILDING DATA	
MAXIMUM BUILDING HEIGHT	90 FT.
YEAR BUILT	2001
TOTAL EXISTING GROSS BUILDING FLOOR AREA	159,610 SF
TOTAL PROPOSED GROSS FLOOR AREA	0 SF
TOTAL AREA	159,610 SF
MAXIMUM FLOOR AREA RATIO FOR PUBLIC USE	1.00 (SECTION 4-307)
TOTAL FLOOR AREA RATIO	0.44

SETBACKS
FRONT YARD: CONTROLLED BY A 25° ANGLE OF BULK PLANE, BUT NOT LESS THAN 40 FEET
SIDE YARD: NO REQUIREMENT
REAR YARD: CONTROLLED BY A 20° ANGLE OF BULK PLANE, BUT NOT LESS THAN 25 FEET

NORTH PROPERTY LINE TO TELECOMMUNICATIONS ANTENNAS =	326'-9"
EAST PROPERTY LINE TO TELECOMMUNICATIONS ANTENNAS =	422'-1"
SOUTH PROPERTY LINE TO TELECOMMUNICATIONS ANTENNAS =	42'-5"
WEST PROPERTY LINE TO TELECOMMUNICATIONS ANTENNAS =	226'-4"

NORTH PROPERTY LINE TO TELECOMMUNICATIONS EQUIPMENT =	334'-7"
EAST PROPERTY LINE TO TELECOMMUNICATIONS EQUIPMENT =	429'-5"
SOUTH PROPERTY LINE TO TELECOMMUNICATIONS EQUIPMENT =	156'-0"
WEST PROPERTY LINE TO TELECOMMUNICATIONS EQUIPMENT =	389'-1"

PARKING TABULATION:

EXISTING PARKING LOTS:	3
EXISTING PARKING SPACES:	3604
PROPOSED PARKING SPACES:	0
TOTAL PARKING SPACES:	3604

NOTE: THE TELECOMMUNICATIONS FACILITY GENERATES APPROXIMATELY (1) TRIP PER MONTH PER CARRIER. NO DEDICATED PARKING IS REQUIRED.

FLOOD ZONE

MAP # 510590405E - SEPTEMBER 17, 2010
THIS PROJECT IS NOT LOCATED IN A FLOOD PLAIN (ZONE X)

STRUCTURAL COMPONENTS ANALYSIS

REFER TO THE STRUCTURAL ANALYSIS REPORT
THE EQUIPMENT, ANTENNA, MOUNTING SYSTEMS AND ALL ASSOCIATED COMPONENTS HAVE BEEN ANALYZED IN ACCORDANCE WITH THE TIA-222-G STANDARD AND VIRGINIA USBC (2012 IBC) BASED UPON A WIND SPEED OF 115MPH, 3 SECOND GUST

PLANS PREPARED FOR:

Sprint
1000 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66207

PLANS PREPARED BY:

BC
architects
engineers
1001 TRUMAN PARK, SUITE 200
FALLS CHURCH, VA 22044
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FAX: 703-601-6000

AREA PARTNER:

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Consultants Inc.
100 N. MAIN ST., 9th
CENTREVILLE, GA 30004

ENGINEERING LICENSE:

COMMONWEALTH OF VIRGINIA
Christopher D. Morin
CHRISTOPHER D. MORIN
No. 032984
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REVISIONS:

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FINAL, CDS	02/22/19	JIS	1
FINAL, CDS	03/12/19	RJD	2
LOAD CALCULATIONS	05/20/19	ME	3
CLIENT COMMENTS	06/14/19	ME	4
CLIENT COMMENTS	07/08/19	ME	5
CLIENT COMMENTS	07/12/19	ME	6
CLIENT COMMENTS	07/23/19	ME	7

SITE NAME:

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE ADDRESS:

DC52XC442-C

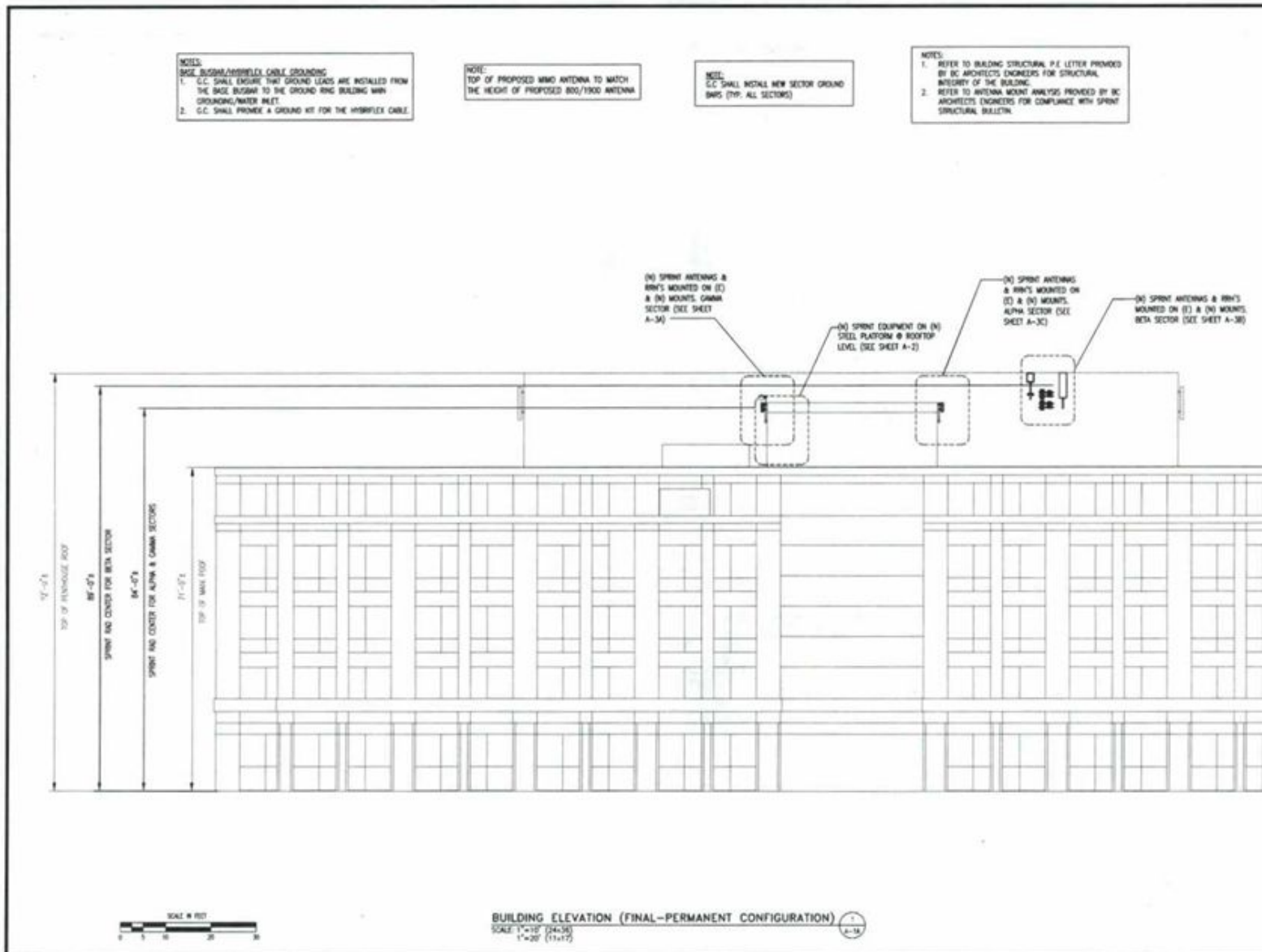
SHEET DESCRIPTION:

SITE PLAN

SHEET NUMBER:

A-0

TOP: 30' 0" (9.14m), USE ONLY: 31' 0" (9.45m) - 32' 0" (9.75m) - 33' 0" (10.06m) - 34' 0" (10.36m) - 35' 0" (10.67m) - 36' 0" (10.97m) - 37' 0" (11.28m) - 38' 0" (11.58m) - 39' 0" (11.89m) - 40' 0" (12.19m) - 41' 0" (12.50m) - 42' 0" (12.80m) - 43' 0" (13.11m) - 44' 0" (13.41m) - 45' 0" (13.72m) - 46' 0" (14.02m) - 47' 0" (14.33m) - 48' 0" (14.63m) - 49' 0" (14.94m) - 50' 0" (15.24m) - 51' 0" (15.55m) - 52' 0" (15.85m) - 53' 0" (16.16m) - 54' 0" (16.46m) - 55' 0" (16.77m) - 56' 0" (17.07m) - 57' 0" (17.38m) - 58' 0" (17.68m) - 59' 0" (17.98m) - 60' 0" (18.29m) - 61' 0" (18.59m) - 62' 0" (18.89m) - 63' 0" (19.20m) - 64' 0" (19.51m) - 65' 0" (19.81m) - 66' 0" (20.12m) - 67' 0" (20.42m) - 68' 0" (20.73m) - 69' 0" (21.03m) - 70' 0" (21.34m) - 71' 0" (21.64m) - 72' 0" (21.95m) - 73' 0" (22.25m) - 74' 0" (22.56m) - 75' 0" (22.86m) - 76' 0" (23.17m) - 77' 0" (23.47m) - 78' 0" (23.78m) - 79' 0" (24.08m) - 80' 0" (24.38m) - 81' 0" (24.69m) - 82' 0" (24.99m) - 83' 0" (25.30m) - 84' 0" (25.60m) - 85' 0" (25.91m) - 86' 0" (26.21m) - 87' 0" (26.52m) - 88' 0" (26.82m) - 89' 0" (27.13m) - 90' 0" (27.43m) - 91' 0" (27.73m) - 92' 0" (28.04m) - 93' 0" (28.34m) - 94' 0" (28.65m) - 95' 0" (28.95m) - 96' 0" (29.26m) - 97' 0" (29.56m) - 98' 0" (29.87m) - 99' 0" (30.17m) - 100' 0" (30.48m) - 101' 0" (30.78m) - 102' 0" (31.09m) - 103' 0" (31.39m) - 104' 0" (31.70m) - 105' 0" (32.00m) - 106' 0" (32.31m) - 107' 0" (32.61m) - 108' 0" (32.92m) - 109' 0" (33.22m) - 110' 0" (33.53m) - 111' 0" (33.83m) - 112' 0" (34.14m) - 113' 0" (34.44m) - 114' 0" (34.75m) - 115' 0" (35.05m) - 116' 0" (35.36m) - 117' 0" (35.66m) - 118' 0" (35.97m) - 119' 0" (36.27m) - 120' 0" (36.58m) - 121' 0" (36.88m) - 122' 0" (37.19m) - 123' 0" (37.49m) - 124' 0" (37.79m) - 125' 0" (38.10m) - 126' 0" (38.40m) - 127' 0" (38.71m) - 128' 0" (39.01m) - 129' 0" (39.32m) - 130' 0" (39.62m) - 131' 0" (39.93m) - 132' 0" (40.23m) - 133' 0" (40.54m) - 134' 0" (40.84m) - 135' 0" (41.15m) - 136' 0" (41.45m) - 137' 0" (41.76m) - 138' 0" (42.06m) - 139' 0" (42.37m) - 140' 0" (42.67m) - 141' 0" (42.98m) - 142' 0" (43.28m) - 143' 0" (43.59m) - 144' 0" (43.89m) - 145' 0" (44.20m) - 146' 0" (44.50m) - 147' 0" (44.81m) - 148' 0" (45.11m) - 149' 0" (45.42m) - 150' 0" (45.72m) - 151' 0" (46.03m) - 152' 0" (46.33m) - 153' 0" (46.64m) - 154' 0" (46.94m) - 155' 0" (47.25m) - 156' 0" (47.55m) - 157' 0" (47.86m) - 158' 0" (48.16m) - 159' 0" (48.47m) - 160' 0" (48.77m) - 161' 0" (49.08m) - 162' 0" (49.38m) - 163' 0" (49.69m) - 164' 0" (49.99m) - 165' 0" (50.30m) - 166' 0" (50.60m) - 167' 0" (50.91m) - 168' 0" (51.21m) - 169' 0" (51.52m) - 170' 0" (51.82m) - 171' 0" (52.13m) - 172' 0" (52.43m) - 173' 0" (52.74m) - 174' 0" (53.04m) - 175' 0" (53.35m) - 176' 0" (53.65m) - 177' 0" (53.96m) - 178' 0" (54.26m) - 179' 0" (54.57m) - 180' 0" (54.87m) - 181' 0" (55.18m) - 182' 0" (55.48m) - 183' 0" (55.79m) - 184' 0" (56.09m) - 185' 0" (56.40m) - 186' 0" (56.70m) - 187' 0" (57.01m) - 188' 0" (57.31m) - 189' 0" (57.62m) - 190' 0" (57.92m) - 191' 0" (58.23m) - 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245' 0" (74.70m) - 246' 0" (75.00m) - 247' 0" (75.31m) - 248' 0" (75.61m) - 249' 0" (75.92m) - 250' 0" (76.22m) - 251' 0" (76.53m) - 252' 0" (76.83m) - 253' 0" (77.14m) - 254' 0" (77.44m) - 255' 0" (77.75m) - 256' 0" (78.05m) - 257' 0" (78.36m) - 258' 0" (78.66m) - 259' 0" (78.97m) - 260' 0" (79.27m) - 261' 0" (79.58m) - 262' 0" (79.88m) - 263' 0" (80.19m) - 264' 0" (80.49m) - 265' 0" (80.80m) - 266' 0" (81.10m) - 267' 0" (81.41m) - 268' 0" (81.71m) - 269' 0" (82.02m) - 270' 0" (82.32m) - 271' 0" (82.63m) - 272' 0" (82.93m) - 273' 0" (83.24m) - 274' 0" (83.54m) - 275' 0" (83.85m) - 276' 0" (84.15m) - 277' 0" (84.46m) - 278' 0" (84.76m) - 279' 0" (85.07m) - 280' 0" (85.37m) - 281' 0" (85.68m) - 282' 0" (85.98m) - 283' 0" (86.29m) - 284' 0" (86.59m) - 285' 0" (86.90m) - 286' 0" (87.20m) - 287' 0" (87.51m) - 288' 0" (87.81m) - 289' 0" (88.12m) - 290' 0" (88.42m) - 291' 0" (88.73m) - 292' 0" (89.03m) - 293' 0" (89.34m) - 294' 0" (89.64m) - 295' 0" (89.95m) - 296' 0" (90.25m) - 297' 0" (90.56m) - 298' 0" (90.86m) - 299' 0" (91.17m) - 300' 0" (91.47m) - 301' 0" (91.78m) - 302' 0" (92.08m) - 303' 0" (92.39m) - 304' 0" (92.69m) - 305' 0" (93.00m) - 306' 0" (93.30m) - 307' 0" (93.61m) - 308' 0" (93.91m) - 309' 0" (94.22m) - 310' 0" (94.52m) - 311' 0" (94.83m) - 312' 0" (95.13m) - 313' 0" (95.44m) - 314' 0" (95.74m) - 315' 0" (96.05m) - 316' 0" (96.35m) - 317' 0" (96.66m) - 318' 0" (96.96m) - 319' 0" (97.27m) - 320' 0" (97.57m) - 321' 0" (97.88m) - 322' 0" (98.18m) - 323' 0" (98.49m) - 324' 0" (98.79m) - 325' 0" (99.10m) - 326' 0" (99.40m) - 327' 0" (99.71m) - 328' 0" (100.01m) - 329' 0" (100.32m) - 330' 0" (100.62m) - 331' 0" (100.93m) - 332' 0" (101.23m) - 333' 0" (101.54m) - 334' 0" (101.84m) - 335' 0" (102.15m) - 336' 0" (102.45m) - 337' 0" (102.76m) - 338' 0" (103.06m) - 339' 0" (103.37m) - 340' 0" (103.67m) - 341' 0" (103.98m) - 342' 0" (104.28m) - 343' 0" (104.59m) - 344' 0" (104.89m) - 345' 0" (105.20m) - 346' 0" (105.50m) - 347' 0" (105.81m) - 348' 0" (106.11m) - 349' 0" (106.42m) - 350' 0" (106.72m) - 351' 0" (107.03m) - 352' 0" (107.33m) - 353' 0" (107.64m) - 354' 0" (107.94m) - 355' 0" (108.25m) - 356' 0" (108.55m) - 357' 0" (108.86m) - 358' 0" (109.16m) - 359' 0" (109.47m) - 360' 0" (109.77m) - 361' 0" (110.08m) - 362' 0" (110.38m) - 363' 0" (110.69m) - 364' 0" (110.99m) - 365' 0" (111.30m) - 366' 0" (111.60m) - 367' 0" (111.91m) - 368' 0" (112.21m) - 369' 0" (112.52m) - 370' 0" (112.82m) - 371' 0" (113.13m) - 372' 0" (113.43m) - 373' 0" (113.74m) - 374' 0" (114.04m) - 375' 0" (114.35m) - 376' 0" (114.65m) - 377' 0" (114.96m) - 378' 0" (115.26m) - 379' 0" (115.57m) - 380' 0" (115.87m) - 381' 0" (116.18m) - 382' 0" (116.48m) - 383' 0" (116.79m) - 384' 0" (117.09m) - 385' 0" (117.40m) - 386' 0" (117.70m) - 387' 0" (118.01m) - 388' 0" (118.31m) - 389' 0" (118.62m) - 390' 0" (118.92m) - 391' 0" (119.23m) - 392' 0" (119.53m) - 393' 0" (119.84m) - 394' 0" (120.14m) - 395' 0" (120.45m) - 396' 0" (120.75m) - 397' 0" (121.06m) - 398' 0" (121.36m) - 399' 0" (121.67m) - 400' 0" (121.97m) - 401' 0" (122.28m) - 402' 0" (122.58m) - 403' 0" (122.89m) - 404' 0" (123.19m) - 405' 0" (123.50m) - 406' 0" (123.80m) - 407' 0" (124.11m) - 408' 0" (124.41m) - 409' 0" (124.72m) - 410' 0" (125.02m) - 411' 0" (125.33m) - 412' 0" (125.63m) - 413' 0" (125.94m) - 414' 0" (126.24m) - 415' 0" (126.55m) - 416' 0" (126.85m) - 417' 0" (127.16m) - 418' 0" (127.46m) - 419' 0" (127.77m) - 420' 0" (128.07m) - 421' 0" (128.38m) - 422' 0" (128.68m) - 423' 0" (128.99m) - 424' 0" (129.29m) - 425' 0" (129.60m) - 426' 0" (129.90m) - 427' 0" (130.21m) - 428' 0" (130.51m) - 429' 0" (130.82m) - 430' 0" (131.12m) - 431' 0" (131.43m) - 432' 0" (131.73m) - 433' 0" (132.04m) - 434' 0" (132.34m) - 435' 0" (132.65m) - 436' 0" (132.95m) - 437' 0" (133.26m) - 438' 0" (133.56m) - 439' 0" (133.87m) - 440' 0" (134.17m) - 441' 0" (134.48m) - 442' 0" (134.78m) - 443' 0" (135.09m) - 444' 0" (135.39m) - 445' 0" (135.70m) - 446' 0" (136.00m) - 447' 0" (136.31m) - 448' 0" (136.61m) - 449' 0" (136.92m) - 450' 0" (137.22m) - 451' 0" (137.53m) - 452' 0" (137.83m) - 453' 0" (138.14m) - 454' 0" (138.44m) - 455' 0" (138.75m) - 456' 0" (139.05m) - 457' 0" (139.36m) - 458' 0" (139.66m) - 459' 0" (139.97m) - 460' 0" (140.27m) - 461' 0" (140.58m) - 462' 0" (140.88m) - 463' 0" (141.19m) - 464' 0" (141.49m) - 465' 0" (141.80m) - 466' 0" (142.10m) - 467' 0" (142.41m) - 468' 0" (142.71m) - 469' 0" (143.02m) - 470' 0" (143.32m) - 471' 0" (143.63m) - 472' 0" (143.93m) - 473' 0" (144.24m) - 474' 0" (144.54m) - 475' 0" (144.85m) - 476' 0" (145.15m) - 477' 0" (145.46m) - 478' 0" (145.76m) - 479' 0" (146.07m) - 480' 0" (146.37m) - 481' 0" (146.68m) - 482' 0" (146.98m) - 483' 0" (147.29m) - 484' 0" (147.59m) - 485' 0" (147.90m) - 486' 0" (148.20m) - 487' 0" (148.51m) - 488' 0" (148.81m) - 489' 0" (149.12m) - 490' 0" (149.42m) - 491' 0" (149.73m) - 492' 0" (150.03m) - 493' 0" (150.34m) - 494' 0" (150.64m) - 495' 0" (150.95m) - 496' 0" (151.25m) - 497' 0" (151.56m) - 498' 0" (151.86m) - 499' 0" (152.17m) - 500' 0" (152.47m) - 501' 0" (152.78m) - 502' 0" (153.08m) - 503' 0" (153.39m) - 504' 0" (153.69m) - 505' 0" (154.00m) - 506' 0" (154.30m) - 507' 0" (154.61m) - 508' 0" (154.91m) - 509' 0" (155.22m) - 510' 0" (155.52m) - 511' 0" (155.83m) - 512' 0" (156.13m) - 513' 0" (156.44m) - 514' 0" (156.74m) - 515' 0" (157.05m) - 516' 0" (157.35m) - 517' 0" (157.66m) - 518' 0" (157.96m) - 519' 0" (158.27m) - 520' 0" (158.57m) - 521' 0" (158.88m) - 522' 0" (159.18m) - 523' 0" (159.49m) - 524' 0" (159.79m) - 525' 0" (160.10m) - 526' 0" (160.40m) - 527' 0" (160.71m) - 528' 0" (161.01m) - 529' 0" (161.32m) - 530' 0" (161.62m) - 531' 0" (161.93m) - 532' 0" (162.23m) - 533' 0" (162.54m) - 534' 0" (162.84m) - 535' 0" (163.15m) - 536' 0" (163.45m) - 537' 0" (163.76m) - 538' 0" (164.06m) - 539' 0" (164.37m) - 540' 0" (164.67m) - 541' 0" (164.98m) - 542' 0" (165.28m) - 543' 0" (165.59m) - 544' 0" (165.89m) - 545' 0" (166.20m) - 546' 0" (166.50m) - 547' 0" (166.81m) - 548' 0" (167.11m) - 549' 0" (167.42m) - 550' 0" (167.72m) - 551' 0" (168.03m) - 552' 0" (168.33m) - 553' 0" (168.64m) - 554' 0" (168.94m) - 555' 0" (169.25m) - 556' 0" (169.55m) - 557' 0" (169.86m) - 558' 0" (170.16m) - 559' 0" (170.47m) - 560' 0" (170.77m) - 561' 0" (171.08m) - 562' 0" (171.38m) - 563' 0" (171.69m) - 564' 0" (171.99m) - 565' 0" (172.30m) - 566' 0" (172.60m) - 567' 0" (172.91m) - 568' 0" (173.21m) - 569' 0" (173.52m) - 570' 0" (173.82m) - 571' 0" (174.13m) - 572' 0" (174.43m) - 573' 0" (174.74m) - 574' 0" (175.04m) - 575' 0" (175.35m) - 576' 0" (175.65m) - 577' 0" (175.96m) - 578' 0" (176.26m) - 579' 0" (176.57m) - 580' 0" (176.87m) - 581' 0" (177.18m) - 582' 0" (177.48m) - 583' 0" (177.79m) - 584' 0" (178.09m) - 585' 0" (178.40m) - 586' 0" (178.70m) - 587' 0" (179.01m) - 588' 0" (179.31m) - 589' 0" (179.62m) - 590' 0" (179.92m) - 591' 0" (180.23m) - 592' 0" (180.53m) - 593' 0" (180.84m) - 594' 0" (181.14m) - 595' 0" (181.45m) - 596' 0" (181.75m) - 597' 0" (182.06m) - 598' 0" (182.36m) - 599' 0" (182.67m) - 600' 0" (182.97m) - 601' 0" (183.28m) - 602' 0" (183.58m) - 603' 0" (183.89m) - 604' 0" (184.19m) - 605' 0" (184.50m) - 606' 0" (184.80m) - 607' 0" (185.11m) - 608' 0" (185.41m) - 609' 0" (185.72m) - 610' 0" (186.02m) - 611' 0" (186.33m) - 612' 0" (186.63m) - 613' 0" (186.94m) - 614' 0" (187.24m) - 615' 0" (187.55m) - 616' 0" (187.85m) - 617' 0" (188.16m) - 618' 0" (188.46m) - 619' 0" (188.77m) - 620' 0" (189.07m) - 621' 0" (189.38m) - 622' 0" (189.68m) - 623' 0" (189.99m) - 624' 0" (190.29m) - 625' 0" (190.60m) - 626' 0" (190.90m) - 627' 0" (191.21m) - 628' 0" (191.51m) - 629' 0" (191.82m) - 630' 0" (192.12m) - 631' 0" (192.43m) - 632' 0" (192.73m) - 633' 0" (193.04m) - 634' 0" (193.34m) - 635' 0" (193.65m) - 636' 0" (193.95m) - 637' 0" (194.26m) - 638' 0" (194.56m) - 639' 0" (194.87m) - 640' 0" (195.17m) - 641' 0" (195.48m) - 642' 0" (195.78m) - 643' 0" (196.09m) - 644' 0" (196.39m) - 645' 0" (196.70m) - 646' 0" (197.00m) - 647' 0" (197.31m) - 648' 0" (197.61m) - 649' 0" (197.92m) - 650' 0" (198.22m) - 651' 0" (198.53m) - 652' 0" (198.83m) - 653' 0" (199.14m) - 654' 0" (199.44m) - 655' 0" (199.75m) - 656' 0" (200.05m) - 657' 0" (200.36m) - 658' 0" (200.66m) - 659' 0" (200.97m) - 660' 0" (201.27m) - 661' 0" (201.58m) - 662' 0" (201.88m) - 663' 0" (202.19m) - 664' 0" (202.49m) - 665' 0" (202.80m) - 666' 0" (203.10m) - 667' 0" (203.41m) - 668' 0" (203.71m) - 669' 0" (204.02m) - 670' 0" (204.32m) - 671' 0" (204.63m) - 672' 0" (204.93m) - 673' 0" (205.24m) - 674' 0" (205.54m) - 675' 0" (205.85m) - 676' 0" (206.15m) - 677' 0" (206.46m) - 678' 0" (206.76m) - 679' 0" (207.07m) - 680' 0" (207.37m) - 681' 0" (207.68m) - 682' 0" (207.98m) - 683' 0" (208.29m) - 684' 0" (208.59m) - 685' 0" (208.90m) - 686' 0" (209.20m) - 687' 0" (209.51m) - 688' 0" (209.81m) - 689' 0" (210.12m) - 690' 0" (210.42m) - 691' 0" (210.73m) - 692' 0" (211.03m) - 693' 0" (211.34m) - 694' 0" (211.64m) - 695' 0" (211.95m) - 696' 0" (212.25m) - 697' 0" (212.56m) - 698' 0" (212.86m) - 699' 0" (213.17m) - 700' 0" (213.47m) - 701' 0" (213.78m) - 702' 0" (214.08m) - 703' 0" (214.39m) - 704' 0" (214.69m) - 705' 0" (215.00m) - 706' 0" (215.30m) - 707' 0" (215.61m) - 708' 0" (215.91m) - 709' 0" (216.22m) - 710' 0" (216.52m) - 711' 0" (216.83m) - 712' 0" (217.13m) - 713' 0" (217.44m) - 714' 0" (217.74m) - 715' 0" (218.05m) - 716' 0" (218.35m) - 717' 0" (218.66m) - 718' 0" (218.96m) - 719' 0" (219.27m) - 720' 0" (219.57m) - 721' 0" (219.88m) - 722' 0" (220.18m) - 723' 0" (220.49m) - 724' 0" (220.79m) - 725' 0" (221.10m) - 726' 0" (221.40m) - 727' 0" (221.71m) - 728' 0" (222.01m) - 729' 0" (222.32m) - 730' 0" (222.62m) - 731' 0" (222.93m) - 732' 0" (223.23m) - 733' 0" (223.54m) - 734' 0" (223.84m) - 735' 0" (224.15m) - 736' 0" (224.45m



PLANS PREPARED FOR:

Sprint
1340 SPRINT PARKWAY
DUBLINO PARK, VIRGINIA 22024

PLANS PREPARED BY:

BC
architects
engineers
2401 TOWNHALL BLVD, SUITE 200
FALLS CHURCH, VA 22034
TEL: 703.871.4338
FAX: 703.871.4338

SEALED BY:

WILLIN
Consultants Inc.
108 N MAIN ST. 100
CORPUS, TX 75004

ENGINEERING LICENSE:

COMMONWEALTH OF VIRGINIA
CHRISTOPHER D. MORIN
No. 032984
07/23/19
PROFESSIONAL ENGINEER

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REVISIONS:

DESCRIPTION	DATE	BY	REV
FINAL CO'S	02/22/19	SS	1
FINAL CO'S	03/12/19	MD	2
LOAD CALCULATIONS	05/20/19	ME	3
CLIENT COMMENTS	06/14/19	MP	4
CLIENT COMMENTS	07/09/19	ME	5
CLIENT COMMENTS	07/12/19	MM	6
CLIENT COMMENTS	07/23/19	ME	7

SITE NAME:

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE OFFICE:

DC52XC442-C

SITE ADDRESS:

**8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

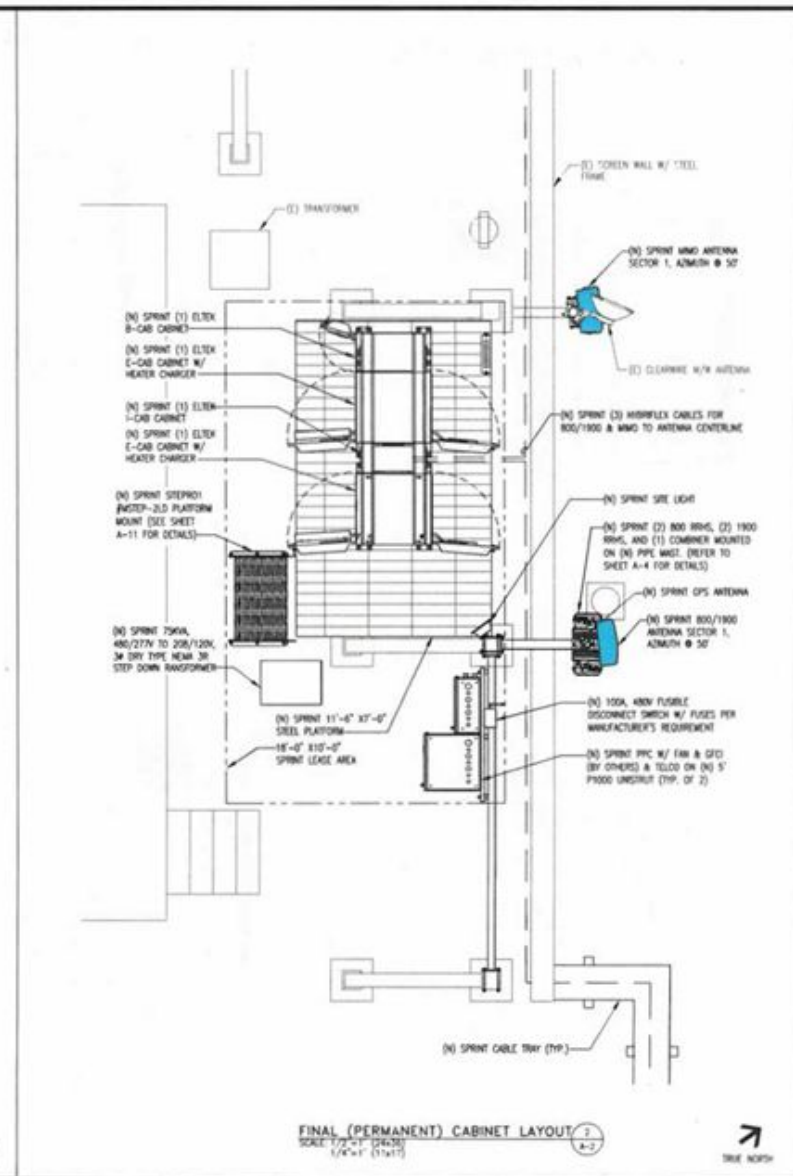
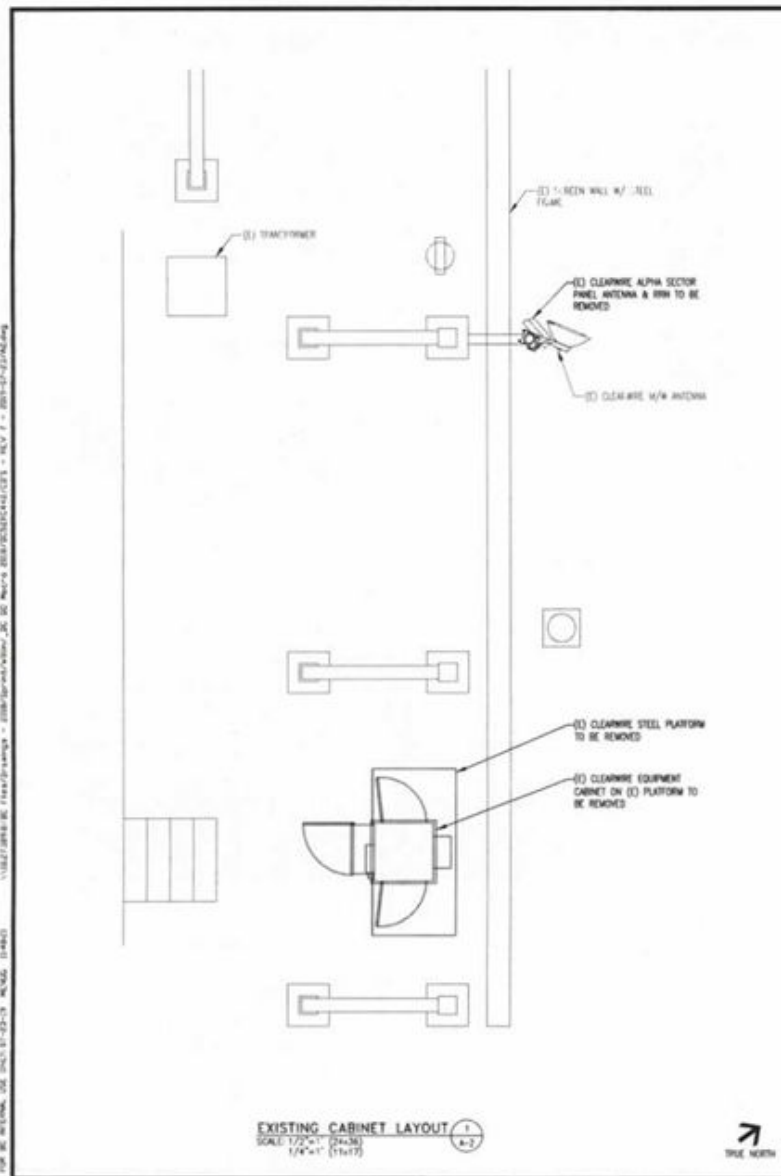
SHEET DESCRIPTION:

BUILDING ELEVATION

SHEET NUMBER:

A-1A

10/22/2019 10:00 AM BC Fairfax County Center - 2019-2020 BIDDING SCHEDULE - REV. 1 - 2019-07-22/10:00 AM



PLANS PREPARED FOR:

Sprint
2020 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66211

PLANS PREPARED BY:

BC
architects
engineers
1001 COLUMBIA PIKE, SUITE 200
FALL SPRING, VA 22041-0000
TEL: 703 471-4000
FAX: 703 471-4000

AREA PROJECT:

WILLIN
Consultants Inc.
1001 N. MAIN ST. 100
CORPUS CHRISTI, TX 78401

ENGINEERING NOTES:

COMMONWEALTH OF VIRGINIA
Christopher D. Morin
CHRISTOPHER D. MORIN
No. 032984
07.23.19
PROFESSIONAL ENGINEER

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REVISION	DESCRIPTION	DATE	BY	REV
1	FINAL CD'S	10/22/2019	SS	1
2	FINAL CD'S	10/22/2019	HO	2
3	LOAD CALCULATIONS	09/20/19	ME	3
4	CLIENT COMMENTS	08/14/19	MF	4
5	CLIENT COMMENTS	07/29/19	ME	5
6	CLIENT COMMENTS	07/23/19	MM	6
7	CLIENT COMMENTS	07/23/19	ME	7

SITE NAME:

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE ADDRESS:

DC52XC442-C

SITE ADDRESS:

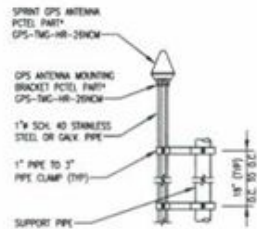
**8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

SHEET DESCRIPTION:

**EQUIPMENT PLAN
PHASES**

SHEET NUMBER:

A-2

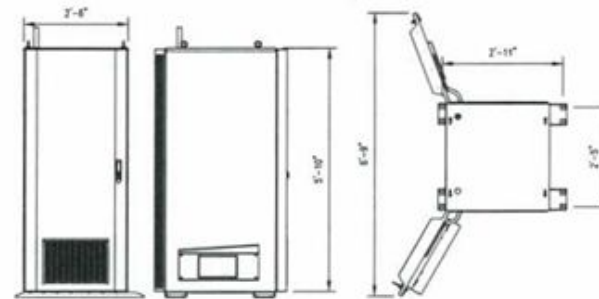


- NOTES:**
1. THE ELEVATION AND LOCATION OF THE GPS ANTENNA SHALL BE IN ACCORDANCE WITH THE FINAL RF REPORT.
 2. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/16\"/>

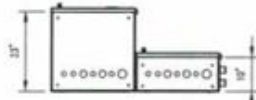
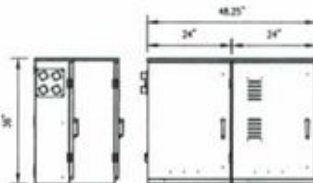
MANUFACTURER	MODEL	FREQUENCY	WEIGHT	DIMENSIONS
PCTEL	GPS-TAG-HR-250CM	1575.45 ± 10 MHz	0.3 LBS	5\"/>

GAIN	POLARIZATION	OPERATING DC VOLTAGE	RADOME COLOR
3.5 dBS	RH CIRCULAR	3.3- 12.0 V	WHITE

GPS ANTENNA
SCALE: N.T.S.

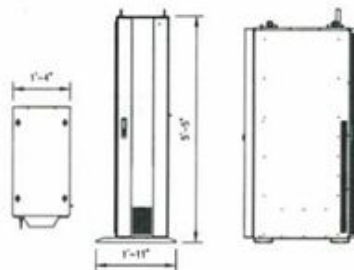


(ELTEK) C-CAB EQUIPMENT CABINET
SCALE: N.T.S.

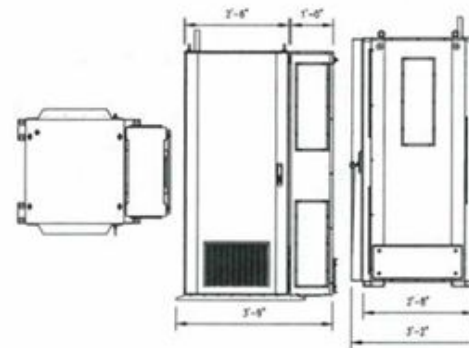


ELTEK PPC & TELCO
 PPC CAB. DIMENSIONS: 24.0\"/>

ELTEK PPC & TELCO CABINETS
SCALE: N.T.S.



(ELTEK) B-CAB EQUIPMENT CABINET
SCALE: N.T.S.



(ELTEK) E & I-CAB EQUIPMENT CABINETS
SCALE: N.T.S.

PLANS PREPARED FOR:
Sprint
 1500 SPRINT PARKWAY
 CLEVELAND PARK, ARLING, TEXAS 76010

PLANS PREPARED BY:
BC
 architects
 engineers
 1001 CHAMBERLAIN BLVD. SUITE 200
 FORT COLLINS, CO 80526
 TEL: 970.491.4888
 FAX: 970.491.4888

SEALED BY:
WILLIN
 Consultants Inc.
 306 N. MAIN ST. 9th
 CORPUS, TX 78401

REGISTERED ENGINEER
 COMMONWEALTH OF VIRGINIA
 CHRISTOPHER D. MORIN
 No. 032984
 07.23.19
 PROFESSIONAL ENGINEER

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REVISIONS	DATE	BY	REV
DESCRIPTION	2022/11/10	SS	1
FINAL CD'S	03/12/19	MD	2
LOAD CALCULATIONS	05/20/19	ME	3
CLIENT COMMENTS	06/14/19	MP	4
CLIENT COMMENTS	07/09/19	ME	5
CLIENT COMMENTS	07/12/19	MM	6
CLIENT COMMENTS	07/23/19	ME	7

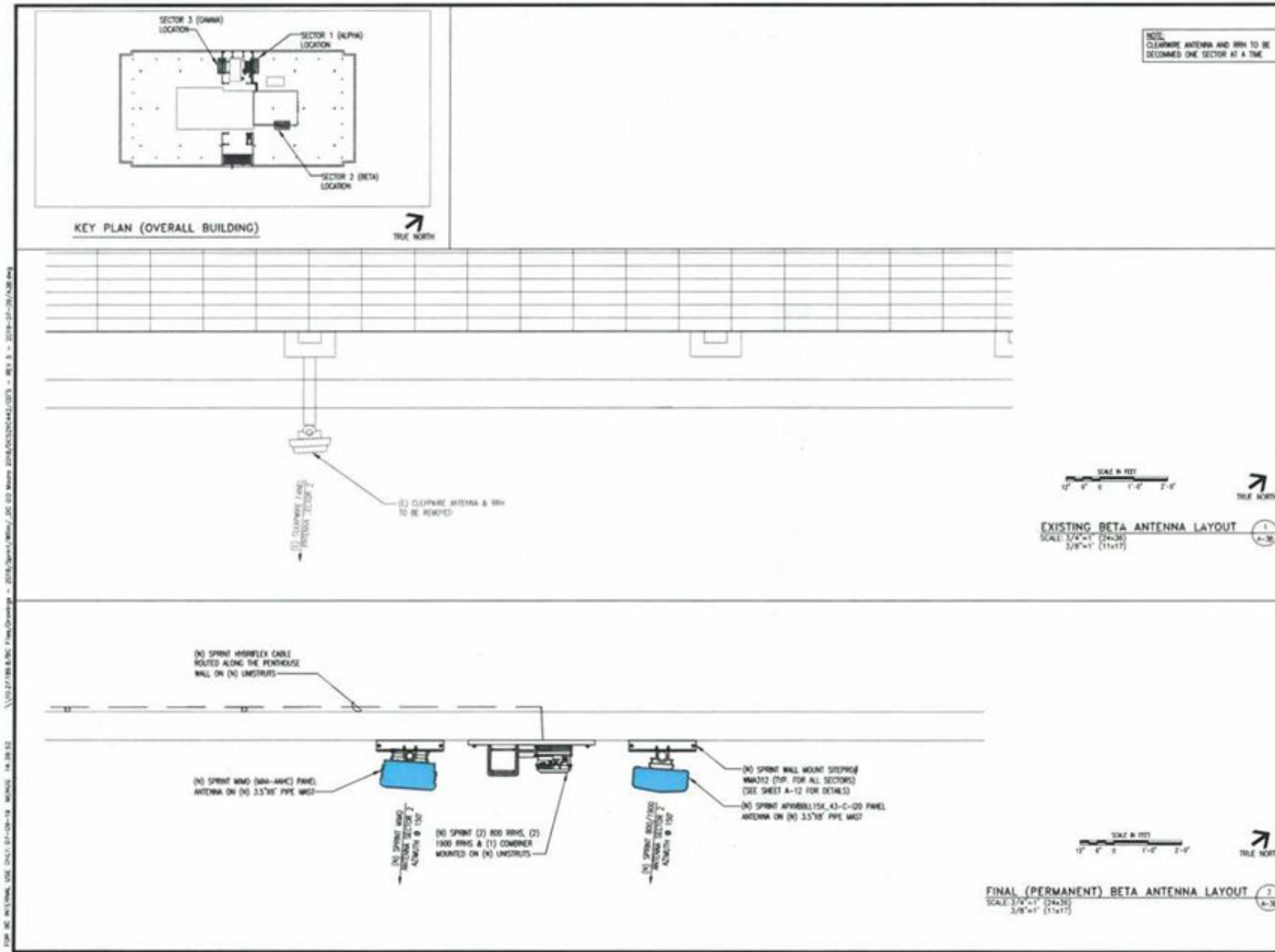
SITE NAME:
**COUNTY OF
FAIRFAX SOUTH
COUNTY CENTER**

SITE ADDRESS:
DC52XC442-C

SITE ADDRESS:
**8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

SHEET DESCRIPTION:
**EQUIPMENT
DETAILS**

SHEET NUMBER:
A-3



PLANS PREPARED FOR:

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PLANS PREPARED BY:

BC
architects
engineers

PLANS PREPARED BY:

WILLIN
Consultants Inc.
100 N MAIN ST. 100
CONOVER, GA 30084

ENGINEERING LICENSE:

COMMONWEALTH OF VIRGINIA
CHRISTOPHER D. MORIN
No. 032984
07/23/19
PROFESSIONAL ENGINEER

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CLIENT COMMENTS	07/09/19	ME	5
CLIENT COMMENTS	07/12/19	MM	6
CLIENT COMMENTS	07/23/19	ME	7

PROJECT NAME:

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE ADDRESS:

DC52XC442-C

SITE ADDRESS:

8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

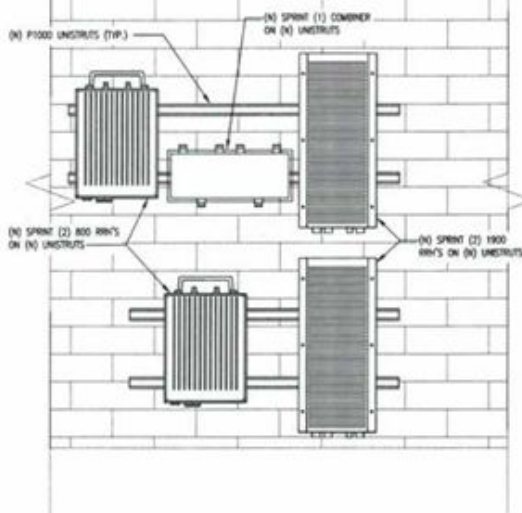
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BETA ANTENNA PLAN PHASES

SHEET NUMBER:

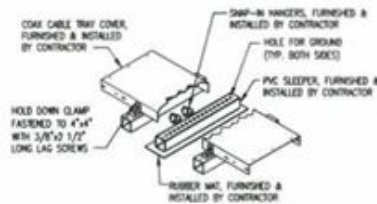
A-3B

UNISTRUT TO WALL CONNECTION
USE 3/16" HOLE AND 8 304 SS BOLT W/
HYDRO ADHESIVE (FOR MASONRY WALL)



800/1900 RRH'S MOUNTING DETAIL (BETA SECTOR) 1
SCALE: N.T.S.

NOTE:
EXISTING M/W ANTENNAS NOT SHOWN FOR CLARITY



NOTE:
ALL ROOFING WORK MUST BE PERFORMED BY BUILDING OWNERS ROOFING CONTRACTOR, OR APPROVED CONTRACTOR

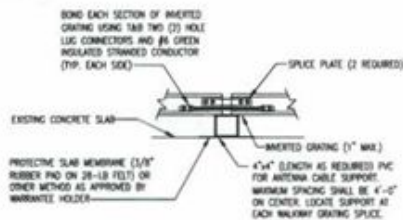
17 GAUGE GALVANIZED STEEL
INVERTED WALKWAY GRATING IN
12 FOOT LENGTHS

1/2" AMG INSULATED CONTINUOUS
COPPER CONDUCTOR SECURED
TO SUPPORT WITH MICROFLECT
B1110 OR EQUIVALENT

NOTE:
MAX SPACING 6'-0"
BETWEEN SUPPORTS

PROTECTIVE SLAB MEMBRANE
(3/8" RUBBER PAD ON 28-LB
FELT) OR OTHER METHOD AS
APPROVED BY WARRANTY HOLDER

CABLE TRAY DETAIL 2
SCALE: N.T.S.



ANTENNA CABLES

1'-6" ±

3/8" x 1-1/2" LONG GALVANIZED TOGGLE BOLT ON BOTH SIDES OF GRATING AT EACH SUPPORT

TOP OF EXISTING ROOF STRUCTURE DO NOT PENETRATE ROOFING MEMBRANE

4"x4"x2'-0" LONG PVC FOR ANTENNA CABLE/CONDUIT SUPPORT. MAXIMUM SPACING SHALL BE 6'-0" ON CENTER LOCATE SUPPORT AT EACH WALKWAY GRATING SPURCE

6" OF CABLE ROUTING (AS REQUIRED)

ANTENNA SCHEDULE

ANTENNA POSITION	STATUS	MANUFACTURER	ANTENNA MODEL #	TECHNOLOGY	AZIMUTH	RAD CENTER	RRH	COMBINER	CABLES	CABLE LENGTH	FIBER JUMPER LENGTH	RF JUMPER LENGTH
ALPHA	A-1	PROPOSED	NOKIA	MAA-AAHC	LTE	50°	84°-0"	-	(N) (1) 1.66" HYBRID CABLE	25'±	10'	6'
	A-2	PROPOSED	RFS	APXVBELL15X_43-C-120	LTE	50°	84°-0"	(N) (2) RRH-2X50-800 (N) (2) RRH-4X45-1900		25'±	10'	6'
BETA	B-1	PROPOSED	RFS	APXVBELL15X_43-C-120	LTE	150°	89°-0"	(N) (2) RRH-2X50-800 (N) (2) RRH-4X45-1900	(N) (1) 1.66" HYBRID CABLE	105'±	10'	6'
	B-2	PROPOSED	NOKIA	MAA-AAHC	LTE	150°	89°-0"	-		105'±	10'	6'
GAMMA	C-1	PROPOSED	NOKIA	MAA-AAHC	LTE	250°	84°-0"	-	(N) (1) 1.66" HYBRID CABLE	95'±	10'	6'
	C-2	PROPOSED	RFS	APXVBELL15X_43-C-120	LTE	250°	84°-0"	(N) (2) RRH-2X50-800 (N) (2) RRH-4X45-1900		95'±	10'	6'

ANTENNA SCHEDULE 3
SCALE: N.T.S.

PLANS PREPARED FOR
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DEVELOPED BY: NORTON, KATZ

PLANS PREPARED BY
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SEALED FOR
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CORTEZ, CO 81304

ENGINEERING LICENSE
COMMONWEALTH OF VIRGINIA
CHRISTOPHER D. MORIN
No. 032984
07.23.19
PROFESSIONAL ENGINEER

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CLIENT COMMENTS	07/09/19	MP	5
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CLIENT COMMENTS	07/23/19	MP	7

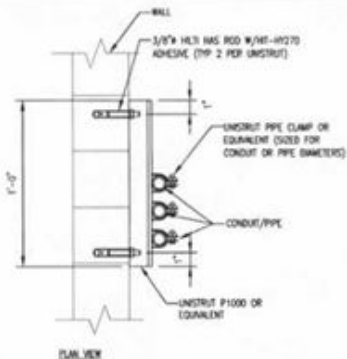
SITE NAME
**COUNTY OF
FAIRFAX SOUTH
COUNTY CENTER**

SITE DESIGN
DC52XC442-C

SITE ADDRESS
**8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

SHEET DESCRIPTION
**DETAILS &
ANTENNA SCHEDULE**

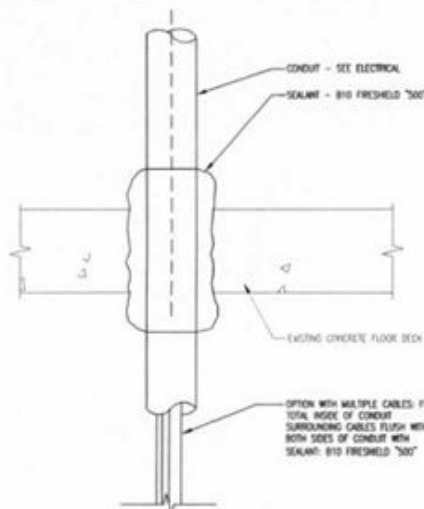
SHEET NUMBER
A-4



REQUIRED ANCHOR EMBEDMENT	
WALL MATERIAL	INCHES
GROUTED CMU	3 3/8
HOLLOW CMU	7
HOLLOW BRICK	3 1/8
MULTIMASS SOLID BRICK	6

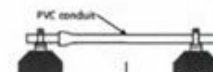
NOTE:
FINAL PIPE/CONDUIT SUPPORT TO BE DETERMINED BASED ON EXISTING FIELD CONDITIONS.

CONDUIT SUPPORT ON OUTER WALL DETAILS 1
SCALE: N.T.S.



TYP. FLOOR PENETRATION DETAIL 3
SCALE: N.T.S.

- PROCESS
- IF CONDUITS MUST SLEEP, THE MAXIMUM BEND RADIUS OF THE CABLE MUST NOT EXCEED.
 - CONDUIT SHALL BE SUPPORTED AT EVERY CONDUIT JUNCTION AND AT BOTH ENDS WITH A DEDS CONDUIT SUPPORT. ONE SUPPORT SHALL BE WITHIN 1' OF EACH CONDUIT JUNCTION.
 - TO ATTACH CONDUIT TO THE CONDUIT SUPPORT USE A DEDS SERIES PIPE CLAMP.
 - SEE FIGURE BELOW FOR TYPICAL.



DEDS ROOF BLOCK WITH CHANNEL STRUT

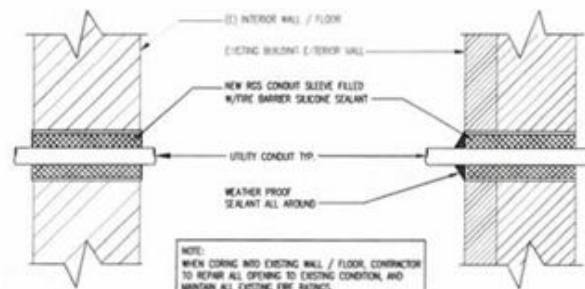


DEDS ROOF BLOCK WITH CHANNEL STRUT



DEDS SERIES PIPE CLAMP

DURA BLOCK DETAIL 2
SCALE: N.T.S.

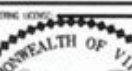


NOTE:
WHEN CORING INTO EXISTING WALL / FLOOR, CONTRACTOR TO REPAIR ALL OPENING TO EXISTING CONDITION, AND MAINTAIN ALL EXISTING FIRE RATINGS.

TYPICAL WALL PENETRATION DETAIL 4
SCALE: N.T.S.



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CLIENT COMMENTS	07/08/19	MC	5
CLIENT COMMENTS	07/23/19	AM	6
CLIENT COMMENTS	07/23/19	ME	7

SITE NAME

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE ORDER

DC52XC442-C

SITE ADDRESS

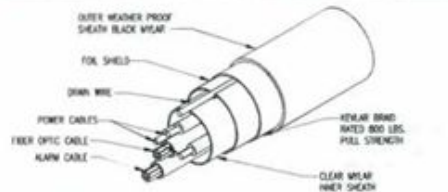
8350 RICHMOND HIGHWAY ALEXANDRIA, VA 22309

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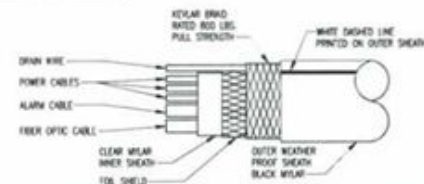
DETAILS

SHEET NUMBER

A-4A



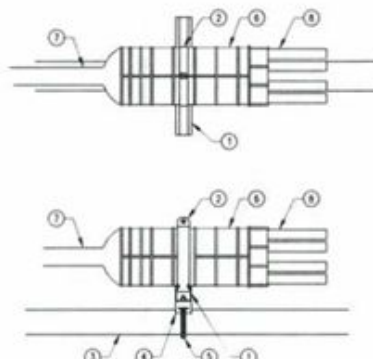
MANUFACTURER: RFS
MODEL: HB15M-2110M151-100F



1.1. WEATHERPROOFING CONNECTIONS AND GROUND KITS

- ALL CONNECTIONS AND GROUND KITS SHALL BE WEATHERPROOFED USING BUTYL RUBBER WEATHERPROOFING AND TAPE. THIS INSTALLATION MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION OR AS SHOWN ON THE CONSTRUCTION DRAWINGS (WHICHEVER IS GREATER). IF NO DIRECTION IS PROVIDED, WEATHERPROOFING MUST BE DONE PER THE FOLLOWING INSTRUCTIONS.
- THE COAXIAL CABLE CONNECTION OR GROUND KIT CAN BE ENCOMPASSED INTO COLD SHRINK AND COMPLETELY WRAPPED WITH 2 INCH WIDE ELECTRICAL TAPE OVERLAPPING EACH ROW BY APPROXIMATELY 5" AND EXTENDING PAST THE CONNECTION BY TWO INCHES AS DISCUSSED BELOW OR
- THE COAXIAL CABLE CONNECTION OR GROUND KIT CAN BE WRAPPED WITH LAYERS OF ELECTRICAL/BUTYL RUBBER/ELECTRICAL TAPE AS DISCUSSED BELOW OR
- THE COAXIAL CABLE CONNECTION OR GROUND KIT CAN BE WRAPPED WITH TWO LAYERS OF 1.5 INCH WIDE SELF-HEALING TAPE COVERED WITH TWO LAYERS OF ELECTRICAL TAPE AS DISCUSSED BELOW

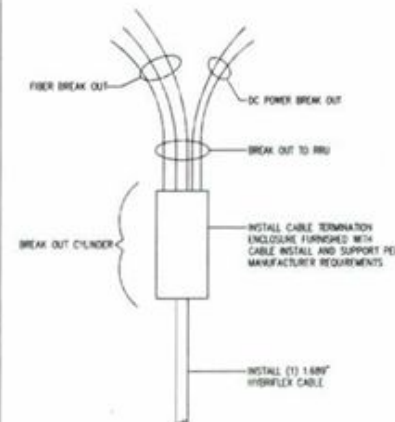
HYBRIFLEX CABLE DETAIL 1
SCALE: N.T.S.



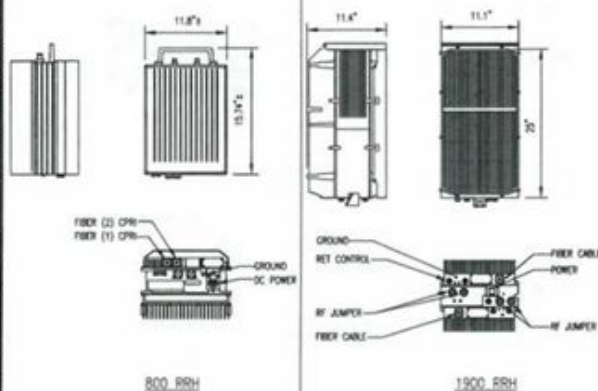
NOTES:

- 1-5/8"x1-5/8" UNISTRUT (8" LONG)
- 1/2" TYPE WAGERS
- EXISTING SUPPORT PIPES
- NEW STANDOFF BRACKET ANDREW PART NO. 3084B-4, CONTRACTOR TO SUPPLY 3/8" CONNECTION APPROPRIATE
- NEW ROUND NUTS AND WASHERS SIZED FOR PIPE SUPPORT
- NEW CABLE BREAKOUT UNIT
- NEW HYBRIFLEX CABLE
- NEW FIBER CABLES FROM BREAKOUT

HYBRID BREAKOUT DETAIL 2
SCALE: N.T.S.

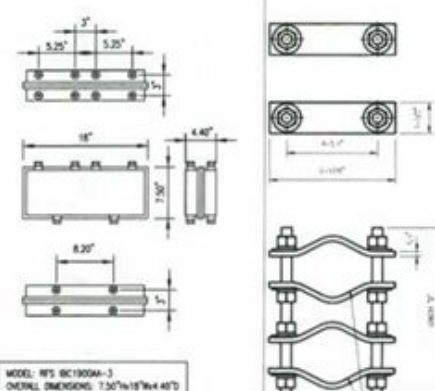


HYBRID BREAKOUT DETAIL 3
SCALE: N.T.S.

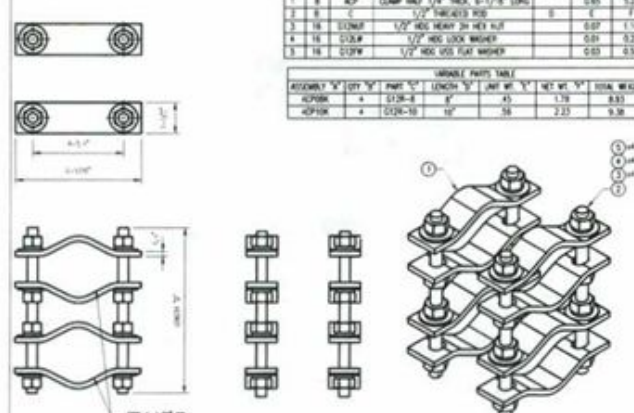


800 RRH DETAILS 4
SCALE: N.T.S.

1900 RRH DETAILS 5
SCALE: N.T.S.



COMBINER DETAIL 6
SCALE: N.T.S.



PIPE TO PIPE CONNECTION - PART # SCPOBK 7
SCALE: N.T.S.

PARTS LIST					
ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT
1	8	ACP	CLAMP ONLY 1/2" THICK 4-1/2" (8" LONG)	0.05	5.23
2	8	1	1/2" TYPE WAGERS	0	0
3	16	SCOPW	1/2" ROD USED FOR KEY NUT	0.02	1.14
4	16	SCOPW	1/2" ROD USED FOR WASHER	0.01	0.22
5	16	SCOPW	1/2" ROD USED FOR WASHER	0.03	0.34

ASSEMBLY PARTS TABLE					
ASSEMBLY	QTY	PART NO.	LENGTH	UNIT WT	TOTAL WEIGHT
ACP	8	ACP	8"	45	1.78
WAGERS	8	WAGERS	8"	56	2.23

PLANS PREPARED FOR:

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ENGINEERING LICENSE:

COMMONWEALTH OF VIRGINIA
CHRISTOPHER D. MORIN
No. 032984
072319
PROFESSIONAL ENGINEER

REVISIONS:

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CLIENT COMMENTS	07/23/19	MM	7

PROJECT NAME:

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

PIPE CAGE:

DC52XC442-C

PIPE ADDRESS:

**8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

PROJECT DESCRIPTION:

EQUIPMENT DETAILS

SHEET NUMBER:

A-5

800/1900 ANTENNA MOUNTING DETAIL
(BETA SECTOR)
SCALE: N.T.S.

MIMO (MAA-AAHC) ANTENNA MOUNTING DETAIL
(GAMMA SECTOR)
SCALE: NTS

MIMO (MAA-AAHC) ANTENNA MOUNTING DETAIL
(ALPHA SECTOR)
SCALE: N.T.S.

Sprint 
800 SPRING FELLOWS
ONE LAND PARK, SUITE 500
DALLAS, TEXAS 75201

PREPARED BY: **BC**
architects
engineers

1991 Columbia Inc. 100% owned
100% owned by 100% owned
100% owned by 100% owned
100% owned by 100% owned

WILLIN
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9100 N. Maple St. Ste.
Concord, CA 94520

COMMONWEALTH OF VIRGINIA
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072319
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CLIENT COMMENTS	06/14/10	WP
CLIENT COMMENTS	07/09/10	ME
CLIENT COMMENTS	07/12/10	MM
CLIENT COMMENTS	07/23/10	WP

COUNTY OF
FAIRFAX SOUTH
COUNTY CENTER

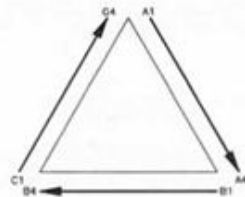
DC52XC442-C

50 RICHMOND HIGHWAY
ALEXANDRIA, VA 22304

ANTENNA MOUNTING DETAILS

A-5A

Frequency/Radio	Indicator	ID
800 #1	Yellow	Green
800 #2	Yellow	Orange
1900 #1	Yellow	Red
1900 #2	Yellow	Brown
1900 #3	Yellow	Blue
2500 #1	Yellow	White
2500 #2	Yellow	Purple
2500 #3	Yellow	Gray



NOTE: ALL COLOR CODE TAPE SHALL BE 3/4" WIDE AND SHALL BE INSTALLED USING A MINIMUM OF (3) WRAPS OF TAPE.
 NOTE: ALL COLOR BANDS INSTALLED AT THE TOP OF THE ANTENNA SHALL BE A MINIMUM OF 3/4" SPACING BETWEEN EACH COLOR.
 NOTE: ALL COLOR BANDS INSTALLED AT OR NEAR THE GROUND MAY BE ONLY 3/4" WIDE. EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
 NOTE: EACH WAVE CODE SHALL BE COLOR CODED WITH (1) SET OF 3" BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH 3/4" COLOR BANDS JUST PRIOR TO ENTERING THE RIS OR TRANSMITTER BUILDING.
 NOTE: ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" BANDS ON EACH END OF THE BOTTOM JUMPER.
 NOTE: ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.
 NOTE: EACH COLOR BAND SHALL HAVE A MINIMUM OF (3) WRAPS AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.
 NOTE: 1-POLE ANTENNAS SHOULD USE "90-1" FOR THE "4-45" PORT, "90-2" FOR THE "4-45" PORT.
 NOTE: COLOR BAND #4 REFERS TO THE FREQUENCY BAND: ORANGE=800, VIOLET=1900, USED ON JUMPERS ONLY.
 NOTE: IF FEEDLINE SHALL BE IDENTIFIED WITH A METAL TAG (STAINLESS OR BRASS) AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER.
 NOTE: ANTENNAS MUST BE IDENTIFIED, USING THE SECTOR LETTER AND ANTENNA NUMBER, WITH A BLACK MARKER PRIOR TO INSTALLATION.

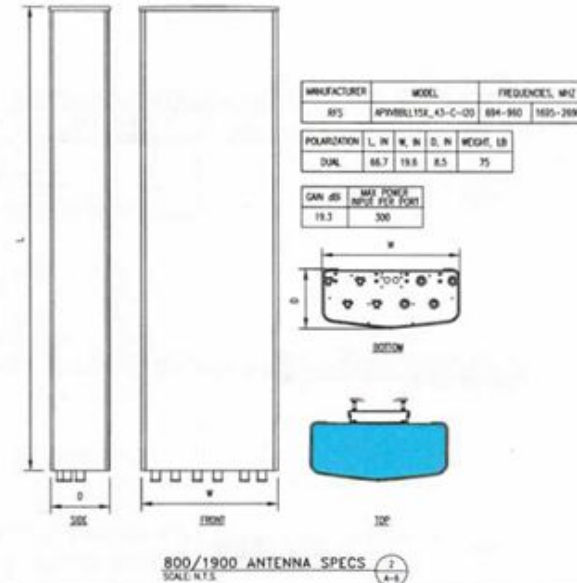
CABLE MARKING TAGS:
 TO PROVIDE ADDITIONAL IDENTIFICATION BY CABLES SHALL BE IDENTIFIED WITH A METAL TAG MADE OF STAINLESS STEEL OR BRASS AND STAMPED WITH THE SECTOR, ANTENNA POSITION, AND CABLE NUMBER. THE IDENTIFICATION LOCATIONS SHOULD BE AS PER "CABLE MARKING LOCATIONS TABLE". THE TAG SHOULD BE ATTACHED WITH CORROSIVE PROOF WIRE OR WAX STRING AROUND THE CABLE. THE TAG SHOULD BE LABELED AS SHOWN IN FIGURE 2.

TAPE	TAG	LOCATIONS
X		EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
X		EACH WAVE CODE SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE RIS OR TRANSMITTER BUILDING.
X		WARNING TAGS SHALL BE ATTACHED AT CABLE ENTRY PORT ON THE INTERIOR OF THE SHELTER.
X		ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF BOTTOM JUMPER.

FIGURE 2: TAG DETAIL EXAMPLE

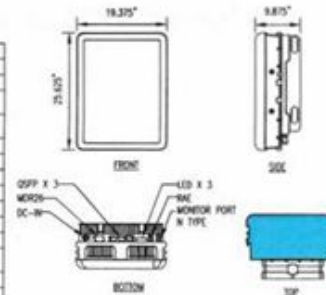


CABLE MARKING COLOR CONVENTION TABLE
 SCALE: N.T.S.



PROPOSED FEED LINES ARE:
 (1) 1.68" HMMFLEX CABLES
 TO LTE 2.5G WISDOM WIND ADAPTIVE ANTENNA (WAA) -AAHC

DESCRIPTION	2.5G WAA -AAHC(B47540)
OPERATING BAND	2496 - 2690 MHz (Band 41)
NUMBER OF CHANNELS	84
ANTENNA	DUAL POLARIZED 128 ANTENNA ELEMENTS
OCCUPIED BANDWIDTH (BW)	80MHz (LTE 3.6MHz BW CAPABLE TO 144 MHz BW UPGRADE)
OUTPUT POWER	1.875W PER ANTENNA
VOLUME (L)	30L
(HEIGHT X WIDTH X DEPTH)	(18.375" X 18.375" X 10.416")
WEIGHT (LBS)	41#
MOUNTING	WALL OR POLE
OPTICAL PORTS	30400 GUPP
MAX POWER CONSUMPTION	1400W AT 100% DUTY CYCLE
OPERATIONAL TEMPERATURE	-40°C TO 131°F (-40°C TO 55°C)
SUPPLY VOLTAGE / VOLTAGE RANGE	-48V DC VOLTAGE (-40.5V to -57V)
INGRESS PROTECTION CLASS	IP65 (OUTDOOR RATED)



2.5 GHz (WAA-AAHC) ANTENNA SPECS
 SCALE: N.T.S.

PLANS PREPARED FOR: **Sprint**
 1500 SPRINT PARKWAY
 OVERLAND PARK, MISSOURI 66201

PLANS PREPARED BY: **BC**
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 engineers
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 FAX: 703-571-4000

AREA PROJECT: **WILLIN**
 Consultants Inc.
 100 N. MAIN ST., 8th
 CONCORD, CA 94520

ENGINEERING LICENSE: **COMMONWEALTH OF VIRGINIA**
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 No. 032984
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CPL. NAME: **COUNTY OF FAIRFAX SOUTH COUNTY CENTER**

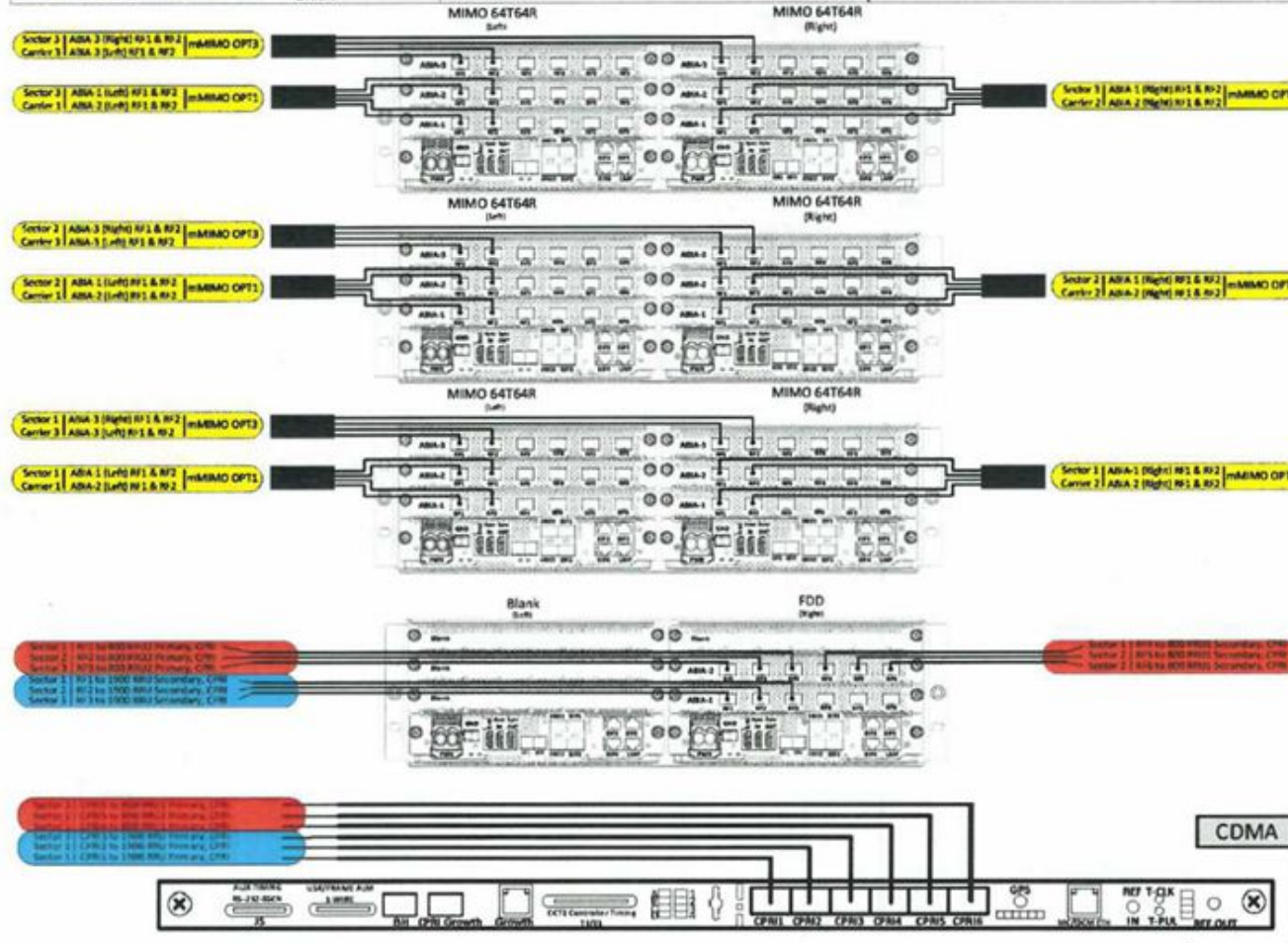
SITE LOCATION: **DC52XC442-C**

SITE ADDRESS: **8350 RICHMOND HIGHWAY
 ALEXANDRIA, VA 22309**

SHEET DESCRIPTION: **CABLE MARKING COLOR CONVENTION TABLE & ANTENNA DETAILS**

SHEET NUMBER: **A-6**

Prepared By Mark Elliott	Creation Date June 4, 2018	Revision Number R-1	ALU CDMA & Nokia FDD w mMIMO Fiber Connections (Two 800, One 1900, & One mMIMO Radio per sector)	
Approved By RAN Hardware & Antenna Teams	Approval Date DRAFT			



FIBER CONNECTION DETAIL 1
SCALE: NTS

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PLANS PREPARED BY 																												
AREA PROJECT 																												
ENGINEERING LICENSE 																												
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SITE NAME COUNTY OF FAIRFAX SOUTH COUNTY CENTER																												
SITE CODE DC52XC442-C																												
SITE ADDRESS 8350 RICHMOND HIGHWAY ALEXANDRIA, VA 22309																												
SHEET DESCRIPTION FIBER CONNECTION DETAILS																												
SHEET NUMBER A-7																												

[illegible]

PLUMBING DIAGRAM (1)
SCALE N.T.S. (A-9)

Sprint
1200 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66211

BC
architects
engineers

WILLIN
Consultants Inc.
906 N. WASH. ST. NW
CORTEZ, CO. 81304

COMMONWEALTH OF VIRGINIA
CHRISTOPHER D. MORIN
No. 032984
07.23.19
PROFESSIONAL ENGINEER

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FINAL CO'S	05/12/19	RS	2
LOAD CALCULATIONS	05/20/19	ME	3
CLIENT COMMENTS	06/14/19	MP	4
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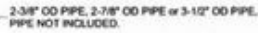
COUNTY OF
FAIRFAX SOUTH
COUNTY CENTER

DC52XC442-C

8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

PLUMBING DIAGRAM

A-9

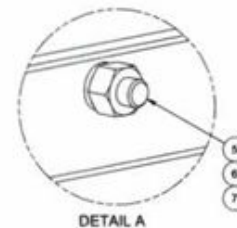
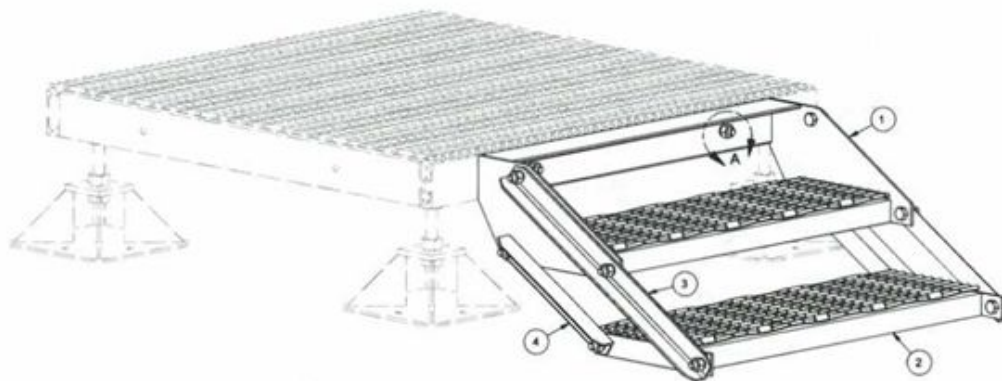
TOTAL WGT. @ 24.85

1 OF 1

④

NOTE:
PLATFORM AND FOOTPADS ARE NOT INCLUDED
MOUNTS DIRECTLY TO THE PLATFORM. WILL NOT
WORK WITH THE MOPEN-4, OR HANDRAILS.

PARTS LIST						
ITEM QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.	
1	1	X-MSRH	MODULAR STEP NO HANDRAIL	81.15	81.15	
2	1	X-MSTEP	STAIR WELDMENT FOR MODULAR EQUIPMENT PLATFORM	37.92	37.92	
3	2	X-MS3A	SIDE ANGLE FOR THREE STAIR ASSEMBLY	28 1/2 in	6.06	12.12
4	2	X-MS2A	SIDE ANGLE FOR TWO STAIR ASSEMBLY	15 1/4 in	3.20	6.40
5	12	G58134	5/8" x 1-3/4" HDG BOLT	1 3/4 in	0.27	3.23
6	12	G58LW	5/8" HDG LOCKWASHER		0.03	0.31
7	12	G58NUT	5/8" HDG HEAVY ZN HEX NUT		0.13	1.56
				TOTAL WT. # 142.89		



TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES ($\pm 0.030"$)
DRILLED AND GAS CUT HOLES ($\pm 0.030"$) - NO CORING OF HOLES
LASER CUT EDGES AND HOLES ($\pm 0.010"$) - NO CORING OF HOLES
BENDS ARE $\pm 1/2$ DEGREE
ALL OTHER MACHINING ($\pm 0.030"$)
ALL OTHER ASSEMBLY ($\pm 0.060"$)

PROPRIETARY NOTE:
THE DATA AND TECHNIQUES CONTAINED IN THIS DRAWING ARE PROPRIETARY INFORMATION OF VULCAN
INDUSTRIES AND CONSIDERED A TRADE SECRET. ANY USE OR DISCLOSURE WITHOUT THE CONSENT OF
VULCAN INDUSTRIES IS STRICTLY PROHIBITED.

DESCRIPTION

TWO STAIR ASSEMBLY FOR
DIRECT TO PLATFORM STAIRS



Location:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, MI
Salem, OR
Dallas, TX

CDP NO. DRAWN BY: CEK 5/18/2016 ENG. APPROVAL:

CLASS SUB: 81 02 DRAWING USAGE: CUSTOMER CHECKED BY: BMC 5/18/2016

PART NO. MSTEP-2LD

DWG. NO. MSTEP-2LD

1 OF 2
PAGE

PLATFORM MOUNTING DETAIL 1
SCALE: N.T.S.

PLANS PREPARED FOR:



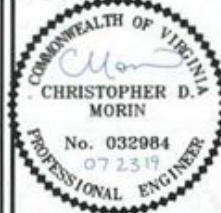
PLANS PREPARED BY:



AREA OFFICE:



REGISTERED LEGAL:



WORKING NOTES:

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REVISIONS:

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FINAL CD'S	03/12/19	MD	2
LOAD CALCULATIONS	05/20/19	MF	3
CLIENT COMMENTS	06/14/19	MF	4
CLIENT COMMENTS	07/09/19	MF	5
CLIENT COMMENTS	07/12/19	MF	6
CLIENT COMMENTS	07/23/19	MF	7

PROJECT NAME:

COUNTY OF
FAIRFAX SOUTH
COUNTY CENTER

PROJECT LOCATION:

DC52XC442-C

PROJECT ADDRESS:

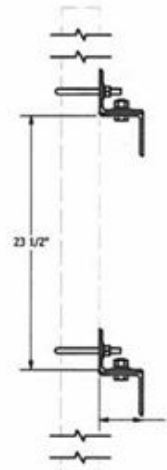
8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

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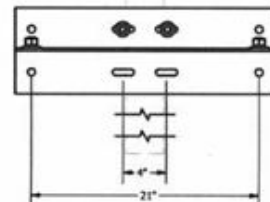
PLATFORM
MOUNTING DETAIL

SHEET NUMBER:

A-11



Top view of the PCB showing dimensions and component locations. The overall width is 24".



DESCRIPTION	3-1/2" ANGLE WALL MOUNT KIT
-------------	-----------------------------------

**SITE
PRO** 1

Engineering
Support Team:
1-888-753-7448

Locations:
New York, NY
Atlanta, GA
Los Angeles, CA
Plymouth, MI
Salem, OH
Seattle, WA

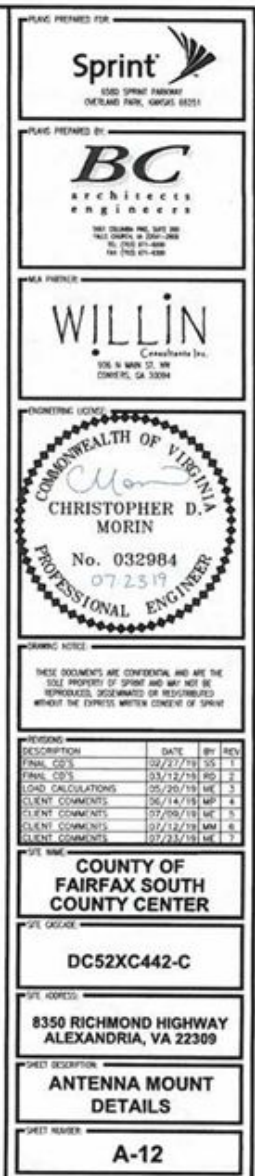
CEK 1/10/2012

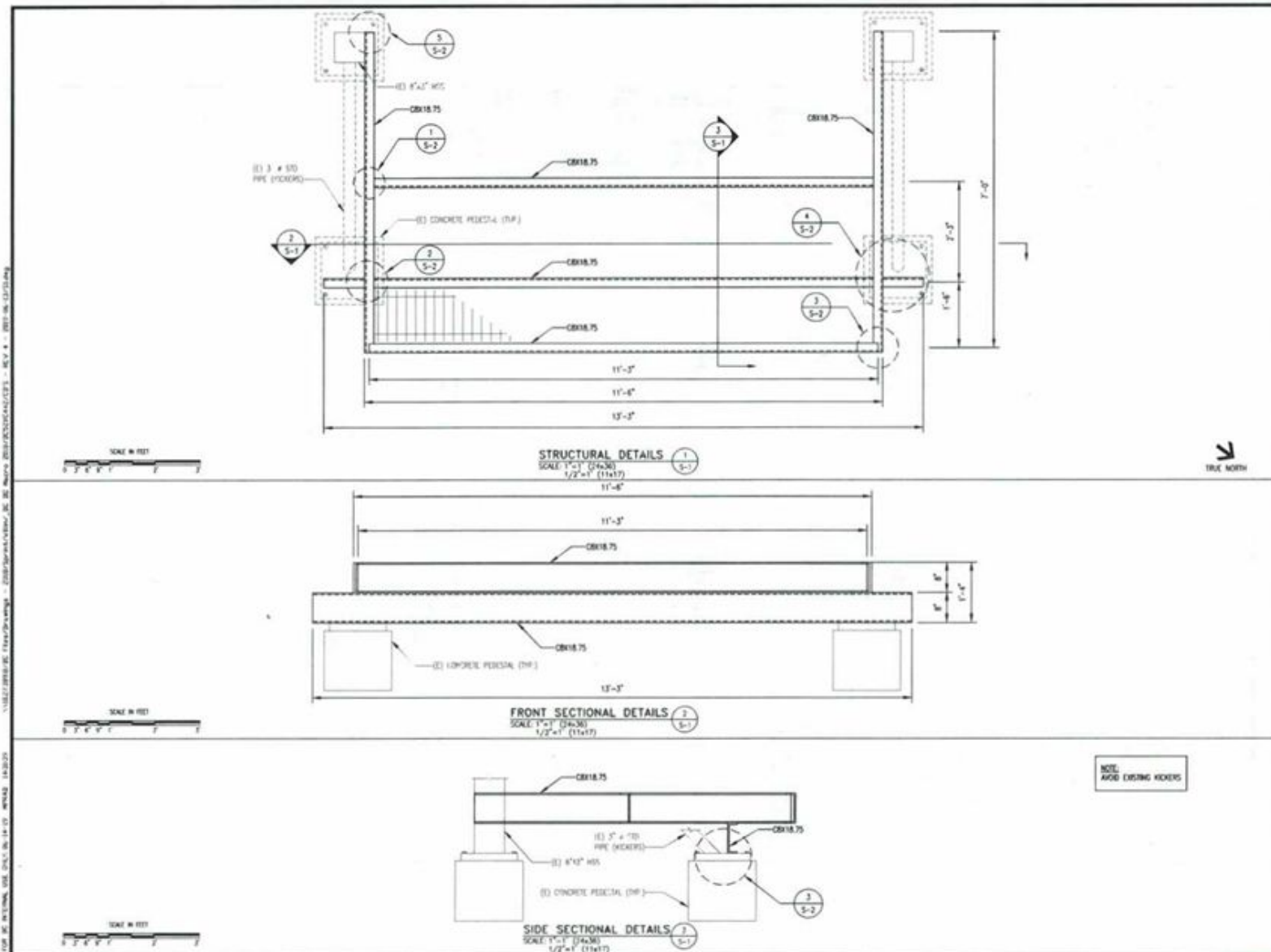
CPD NO.	DRAWING USAGE
	CUSTOMER

PART NO.	WMA31
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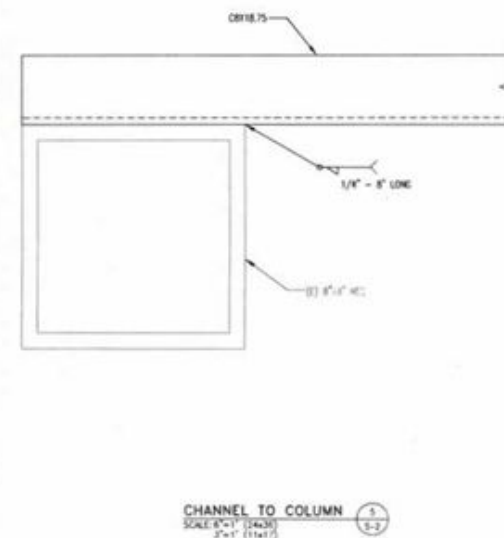
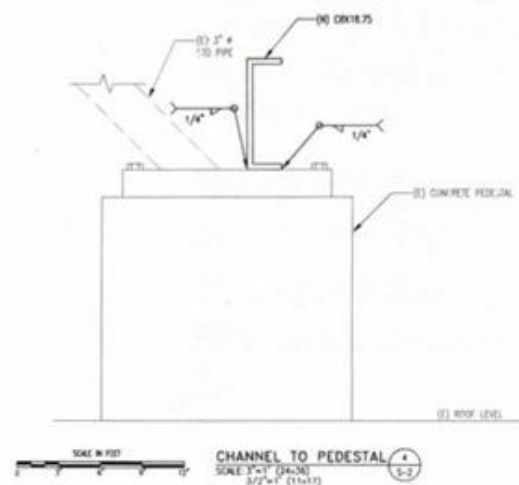
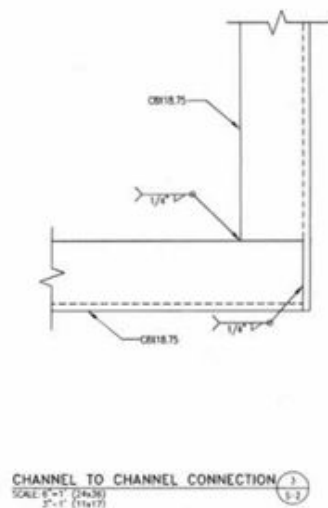
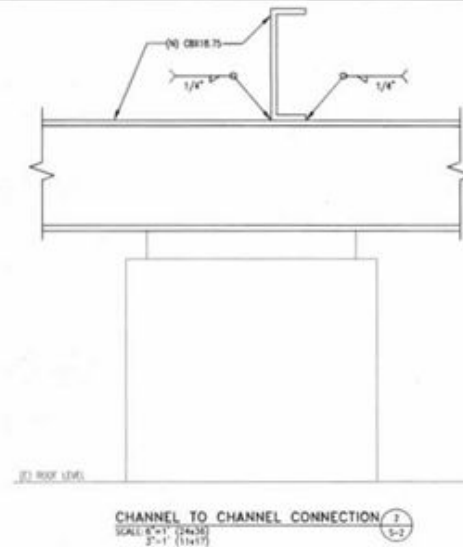
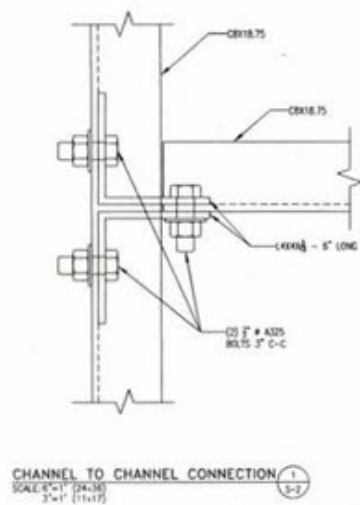
OWO. 403. WMA312

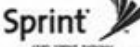


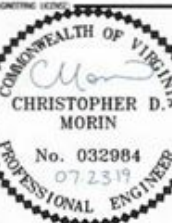
ANTENNA MOUNT DETAILS (1)
SCALE: N.T.S. (8-12)





<small>PLAN PREPARED FOR</small> <div style="display: flex; justify-content: space-around; align-items: center;"> </div> <div style="text-align: center; margin-top: 5px;"> <small>CLASS SPRINT PARKWAY CHENING PARK, GAITHERSBURG, MD 20878</small> </div>																																	
<small>PLAN PREPARED BY</small> <div style="display: flex; justify-content: center; align-items: center;"> </div> <div style="text-align: center; margin-top: 5px;"> <small>1001 COLEMAN PARK, SUITE 200 FALLS CHURCH, VA 22046-1000 TEL: 703/651-4300 FAX: 703/651-4300</small> </div>																																	
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<small>REGISTERING AGENCY</small> <div style="display: flex; justify-content: center; align-items: center;"> </div>																																	
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<small>SHEET NUMBER</small> <div style="border: 1px solid black; padding: 10px; margin: 5px auto; width: 80%;"> <p style="margin: 0;">S-1</p> </div>																																	



PLANS PREPARED FOR <div style="text-align: center;">  SPRINT 15000 SPRINT PARKWAY DALLAS, TEXAS 75244-3251 </div>			
PLANS PREPARED BY <div style="text-align: center;">  BC architects engineers 1001 GARDEN HILL, SUITE 100 75201 DALLAS, TX 75201-1001 TEL: (214) 675-6666 FAX: (214) 675-6666 </div>			
ARCHITECT <div style="text-align: center;">  WILLIN Consultants Inc. 5015 N. WALKER ST. #100 CORPUS CHRISTI, TX 78409 </div>			
ENGINEERING DESIGN <div style="text-align: center;">  </div>			
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SITE ADDRESS <div style="text-align: center;"> DC52XC442-C </div>			
SITE ADDRESS <div style="text-align: center;"> 8350 RICHMOND HIGHWAY ALEXANDRIA, VA 22309 </div>			
SHEET DESCRIPTION <div style="text-align: center;"> STRUCTURAL DETAILS </div>			
SHEET NUMBER <div style="text-align: center;"> S-2 </div>			

GENERAL NOTES

GENERAL

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT, THESE DRAWINGS & OTHER PROJECT DOCUMENTS, AND ALL OTHER APPLICABLE CODES & STANDARDS.
2. DESIGN AND IMPLEMENTATION OF ANY TEMPORARY SHORING REQUIRED, METHODS AND SEQUENCE OF CONSTRUCTION & ERECTION, ALL RIGGING, AND COMPLIANCE WITH SAFETY STANDARDS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR DURATION OF CONSTRUCTION UNTIL WORK IS COMPLETED AND ACCEPTED.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS EXISTING COMPONENTS PRIOR TO ANY DEMOLITION, FABRICATION AND/OR ERECTION OF ANY COMPONENTS, AND SHALL REPORT DISCREPANCIES ON PLANS TO THE ARCHITECT/ENGINEER FOR REVIEW AND CLARIFICATION AS SOON AS POSSIBLE.
4. CONTRACTOR SHALL PREPARE SHOP DRAWINGS WITH DIMENSIONS, AND SUBMIT FOR REVIEW AND APPROVAL. PRIOR TO ANY FABRICATION, SHOP DRAWINGS SHALL ONLY BE REVIEWED FOR GENERAL CONFORMANCE AND CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND TO BUILD ACCORDING TO PLANS.

STEEL

1. ALL STRUCTURAL STEEL SHALL BE DESIGNED, DETAILED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE REQUIREMENTS OF "AISC" SPECIFICATIONS.
2. ALL STRUCTURAL STEEL FOR BEAMS SHALL CONFORM TO ASTM A-992, Fy=50 KSI. STEEL PIPES SHALL BE STANDARD SCHEDULE 40 AND SHALL CONFORM TO ASTM A-501. STEEL TUBING SECTIONS SHALL CONFORM TO ASTM A-500 GRADE B, Fy=48 KSI. ALL OTHER STEEL SHALL CONFORM TO ASTM A-36, Fy=36 KSI.
3. ALL STEEL CONNECTIONS SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE REQUIREMENTS OF AISC MANUAL OF PRACTICE FOR STEEL CONSTRUCTION. CONNECTIONS SHALL BE DESIGNED FOR AT LEAST SIZE OF THE MAXIMUM LOAD CARRYING CAPACITY OF BEAMS, UNDER UNIFORMLY DISTRIBUTED LOADS, AND FOR THE SPANS INDICATED. CONNECTIONS SHALL BE MADE USING 1/2" DIAMETER HIGH STRENGTH BOLTS CONFORMING TO ASTM A-325 (EXCEPT AS NOTED ON DETAILS). SHOP CONNECTIONS MAY BE WELDED IN LIEU OF BOLTING.
4. ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF "AWS" STANDARDS, USING E-70XX ELECTRODES. ALL WELDING SHALL BE DONE IN THE SHOP AND CONNECTION COMPONENTS SHALL BE PRE-ASSEMBLED AS MUCH AS POSSIBLE.
5. NO TORCH-CUTTING OF STEEL MEMBERS OR BURNING OF HOLES IN STEEL IS ALLOWED. ALL HOLES SHALL BE PRE-DRILLED IN SHOP TO 1/16" LARGER IN DIAMETER THAN BOLTS, OR AS SPECIFIED. CONTRACTOR SHALL COORDINATE ALL PRE-DRILLED HOLES LOCATIONS.





WELDING NOTES

1. ALL WELDING SHALL BE IN ACCORDANCE WITH THE AWS D1.1/D1.1M: 2010 "STRUCTURAL WELDING CODE-STEEL".
2. ALL WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS.
3. CONTRACTOR SHALL RETAIN AN AWS CERTIFIED WELD INSPECTOR TO PERFORM VISUAL INSPECTIONS ON FIELD WELDS. A LETTER AND REPORT SHALL BE ISSUED TO THE CONTRACTOR. CONTRACTOR SHALL SUBMIT LETTER AND REPORT TO OWNER ENGINEERING PROFESSIONALS.
4. GRIND THE SURFACE ADJACENT TO THE WELD FOR A DISTANCE OF 2" MINIMUM ALL AROUND. GRIND THE SURFACE OF THE ADD TO BE INSTALLED FOR A DISTANCE OF 2" MINIMUM ALL AROUND THE AREA TO BE WELDED. ENSURE BOTH AREAS ARE 100% FREE OF ALL GALVANIZING. SURFACES TO BE WELDED SHALL BE FREE FROM SCALE, SLAG, RUST, MOISTURE, GREASE OR ANY OTHER FOREIGN MATERIAL THAT WOULD PREVENT PROPER WELDING.
5. DO NOT WELD IF THE TEMPERATURE OF THE STEEL IN THE VICINITY OF THE WELD AREA IS BELOW 0 DEGREES (FAHRENHEIT). THE MINIMUM PREHEAT AND INTERPASS TEMPERATURE REQUIREMENTS SHALL COMPLY WITH SECTION 3.5.1 AND TABLE 3.2 OF THE AWS D1.1/D1.1M: 2010.
6. DO NOT WELD ON WET OR FROST-COVERED SURFACES AND PROVIDE ADEQUATE PROTECTION FROM HIGH WINDS.
7. FOR ALL WELDING, USE 80 KSI LOW HYDROGEN ELECTRODES. ELECTRODES SHALL BE APPROPRIATE FOR THE WELDING POSITION REQUIRED TO MAKE THE JOINT.
8. AFTER FINAL INSPECTION, THE AREA OF THE WELDS, THE INSTALLATION AND ALL SURFACES DAMAGED BY WELDING OR GRINDING SHALL RECEIVE A COOL-GALVANIZED COATING. THIS COATING SHALL BE APPLIED BY BRUSH. THE GALVANIZING COMPOUND SHALL CONTAIN A MINIMUM OF 95% PURE ZINC. THE FINISHED COATING SHALL BE A MINIMUM THICKNESS OF 3 MILS.
9. PROVIDE WELDS ALL AROUND OR ADD SEAL WELDS WHERE STRUCTURAL WELDS ARE NOT SPECIFIED.
10. PROTECT ANY NEARBY COMBUSTIBLE MATERIALS FROM SPARKS THAT MIGHT ESCAPE THROUGH OPENINGS IN FLOORS OR WALLS.
11. WELDING CABLE & OTHER EQUIPMENT MUST BE KEPT CLEAR OF PASSAGE WAYS, LADDERS & STAIRWAYS.

<p>PLANS PREPARED FOR:</p> <p>Sprint</p> <p>1000 SPRINT PARKWAY OVERLAND PARK, KANSAS 66211</p>																																	
<p>PLANS PREPARED BY:</p> <p>BC architects engineers</p> <p>1001 QUINN AVE. SUITE 200 TALL SPRING, TN 37067-0000 TEL: (615) 871-6000 FAX: (615) 871-6300</p>																																	
<p>AREA PARTNER:</p> <p>WILLIN Consultants Inc.</p> <p>100 N. MAIN ST. 3RD CORPUS CHRISTI, TX 78401</p>																																	
<p>ENGINEERING LICENSE:</p> <p>COMMONWEALTH OF VIRGINIA</p> <p><i>Christopher D. Morin</i></p> <p>CHRISTOPHER D. MORIN</p> <p>No. 032984 07/23/19</p> <p>PROFESSIONAL ENGINEER</p>																																	
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<p>SITE ADDRESS:</p> <p>DC52XC442-C</p>																																	
<p>SHEET DESCRIPTION:</p> <p>STRUCTURAL NOTES</p>																																	
<p>SHEET NUMBER:</p> <p>S-3</p>																																	



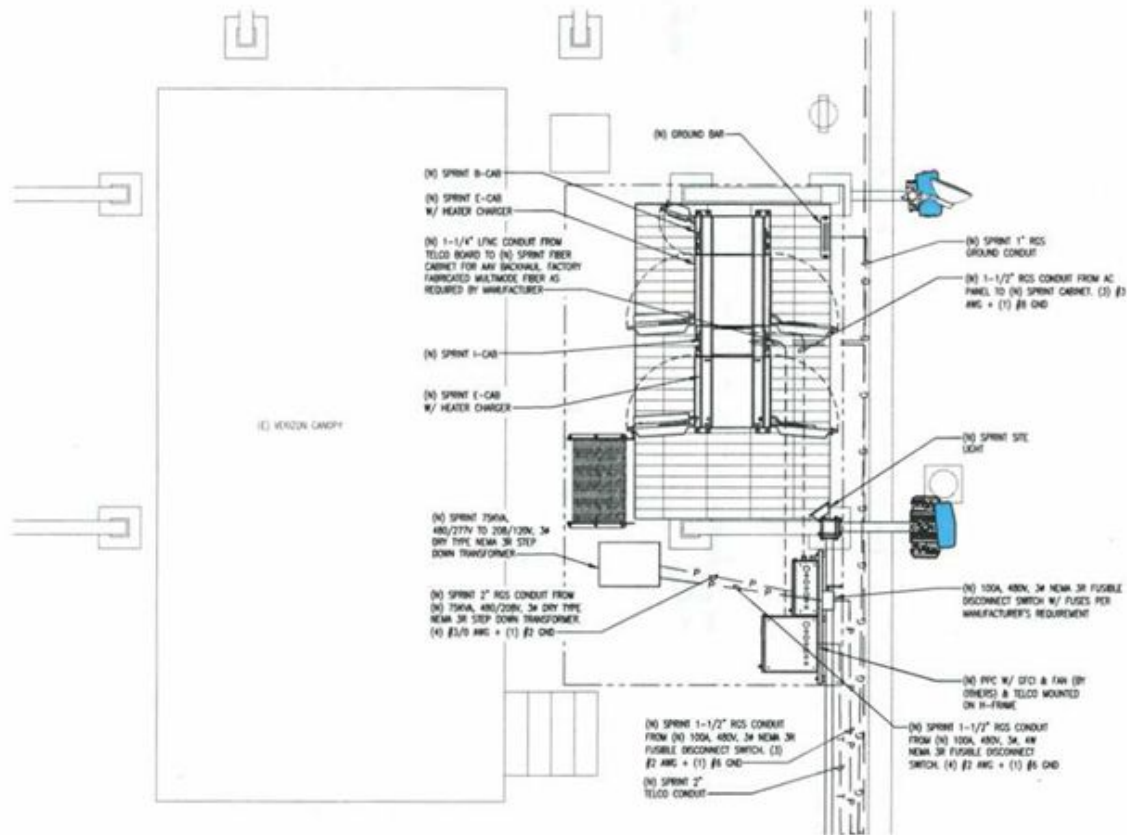
1ST FLOOR UTILITY PLAN (1)
SCALE: 3/8"=1' (24x36)
3/8"=1' (11x17)

PLANS PREPARED FOR:																																		
 6300 SPRINT PARKWAY DUNEDAN PARK, GEORGIA 30128																																		
PLANS PREPARED BY:																																		
 1001 STEADMAN PARK, SUITE 200 11615 DUNWOODY RD., DUNWOODY, GA 30328-3600 FAX: (770) 471-4000																																		
AEA PARTNER:																																		
 505 N. MAIN ST., 9th CORPUS CHRISTI, TX 78401																																		
ENGINEERING LICENSE:																																		
																																		
DRAWING NOTICE:																																		
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SITE OFFICE:																																		
DC52XC442-C																																		
SITE ADDRESS:																																		
8350 18100 HIGHWAY ALEXANDRIA, VA 22309																																		
SHEET DESCRIPTION:																																		
UTILITY CONDUIT ROUTING																																		
SHEET NUMBER:																																		
E-1A																																		



E-1B

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ELECTRICAL CONDUIT ROUTING
 SCALE: N.T.S.



PLANS PREPARED FOR:

Sprint
 1500 SPRINT PARKWAY
 OVERLAND PARK, MISSOURI 66201

PLANS PREPARED BY:

BC
 architects
 engineers
 2840 TOWNHALL DRIVE, SUITE 200
 FALLS CHURCH, VA 22074-2004
 TEL: (703) 871-4550
 FAX: (703) 871-4550

SCALE: 1/8" = 1'-0"

WILLIN
 Consultants Inc.
 100 N. MAIN ST. 100
 CORPUS CHRISTI, TX 78401

REGISTERED LICENSE:

COMMONWEALTH OF VIRGINIA
 CHRISTOPHER D. MORIN
 No. 032984
 07/23/19
 PROFESSIONAL ENGINEER

NOTING NOTE:

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REVISION	DESCRIPTION	DATE	BY	REV
1	FINAL CO'S	02/27/15	DS	1
2	FINAL CO'S	03/12/15	DS	2
3	LOAD CALCULATIONS	05/20/15	MP	3
4	CLIENT COMMENTS	06/14/15	MP	4
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6	CLIENT COMMENTS	07/12/15	MM	6
7	CLIENT COMMENTS	07/23/15	DS	7

COUNTY OF
 FAIRFAX SOUTH
 COUNTY CENTER

SITE CODE:

DC52XC442-C

SITE ADDRESS:

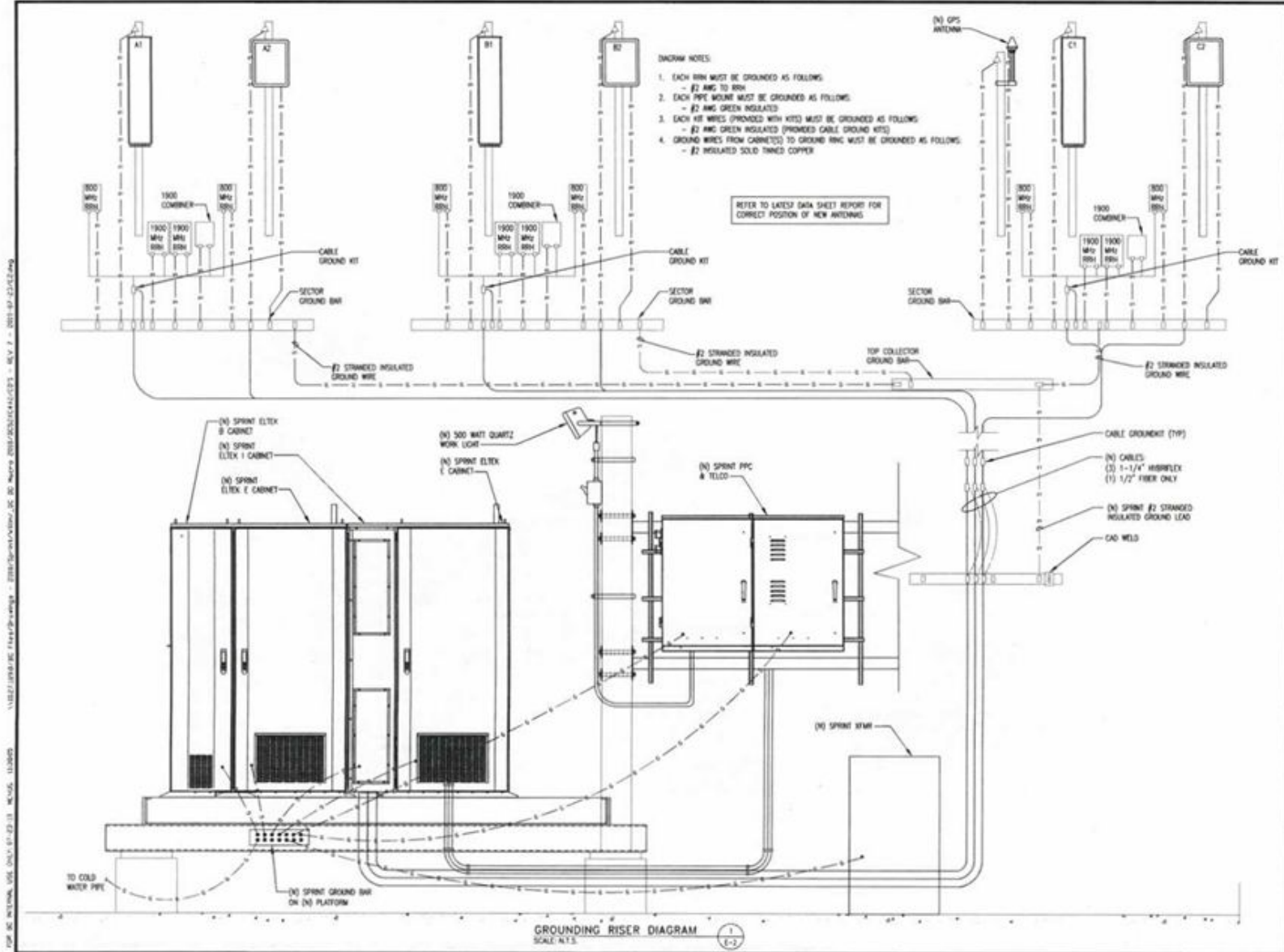
8350 RICHMOND HIGHWAY
 ALEXANDRIA, VA 22309

SHEET DESCRIPTION:

ELECTRICAL CONDUIT
 ROUTING

SHEET NUMBER:

E-1D



PLANS PREPARED FOR: **Sprint**
1000 SPRINT PARKWAY
CHESAPEAKE, VIRGINIA 22051

PLANS PREPARED BY: **BC**
architects
engineers
1001 CHESAPEAKE PIKE, SUITE 200
FALLS CHURCH, VA 22044
TEL: (703) 471-4000
FAX: (703) 471-4000

AREA PROJECT: **WILLIN**
Consultants Inc.
1000 N. MAIN ST. 8TH
FLOOR, CHESAPEAKE, VA 22051

ENGINEERING LICENSE: **COMMONWEALTH OF VIRGINIA**
Christopher D. Morin
CHRISTOPHER D. MORIN
No. 032984
07/23/19
PROFESSIONAL ENGINEER

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FINAL CD'S	03/12/19	AND	2
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COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE ADDRESS: **DC52XC442-C**





8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

GROUNDING RISER DIAGRAM

SHEET NUMBER: **E-2**



NOTE:
PROMISE 200A, 200V, 3PM INTERSECT PANEL
WITH 200A MCB AND 200A EMERGENCY
BREAKER WITH MANUAL TE WITH 24 POLE
PANEL BOARD AND INTEGRAL T.VSS.

PLANS PREPARED FOR <div style="text-align: center; margin-top: 10px;">  Sprint <small>5000 SPYRE PARKWAY MERCER PARK, VIRGINIA 22061</small> </div>																																		
PLANS PREPARED BY <div style="text-align: center; margin-top: 10px;">  BC <small>architects engineers</small> <small>2801 VERMONT AVE. SUITE 200 FALLS CHURCH, VA 22034-3000 TEL: (703) 471-9000 FAX: (703) 471-9099</small> </div>																																		
ARCHITECT <div style="text-align: center; margin-top: 10px;">  WILLIN <small>Consultants Inc.</small> <small>905 N. MAIN ST. 3RD FLOOR DARTMOUTH, MA 01834</small> </div>																																		
ENGINEERING LICENSE <div style="text-align: center; margin-top: 10px;">  COMMONWEALTH OF VIRGINIA <i>Chris Morin</i> CHRISTOPHER D. MORIN <small>No. 032984 07/23/19</small> PROFESSIONAL ENGINEER </div>																																		
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SHEET NUMBER <div style="text-align: center; margin-top: 10px;"> E-3 </div>																																		

400 A MCB Voltage: 400V													
AC PANEL SCHEDULE													
Breaker Pos #	Description	State (On/Off)	Use *	Amp	Load	Phase A	Phase B	Phase C	Load	Amp	State (On/Off)	Use *	Description
1					4000				11000				2
3	VAV	ON	3P	80	4000		15000		11000	125	ON	3P	TRANS
5					4000				15000				6
7					4000				4000				8
9	VAV	ON	3P	80	4000		8000		4000	80	ON	3P	VAV
11					4000				8000				12
13					3048	27548			24000				14
15	MRU	ON	3P	50	3048		27548		24000	190	ON	3P	SPRINT
17					3048				24000				18
19	SPRINT METER	ON	1P	20	200	790			505	15	ON	1P	FCU
21	SPARE	OFF	1P	20			5			20	OFF	1P	SPARE
23	SPARE	OFF	1P	20				5		20	OFF	1P	SPARE
25	SPARE	OFF	1P	20			5			20	OFF	1P	SPARE
27	SPARE	OFF	1P	20			5			20	OFF	1P	SPARE
29	SPARE	OFF	1P	20			5			20	OFF	1P	SPARE
31	(E) LOAD	ON	1P	20	750	1900			750	20	ON	1P	(E) LOAD
33	LIGHTNING	ON	1P	20	720		1440		720	20	ON	1P	LIGHTNING
35	LIGHTNING	ON	1P	20	720		1440		720	20	ON	1P	LIGHTNING
37	LIGHTNING	ON	1P	20	720	1440			720	20	ON	1P	LIGHTNING
39	LIGHTNING	ON	1P	20	720		1440		720	20	ON	1P	LIGHTNING
41	LIGHTNING	ON	1P	20	720		1440		720	20	ON	1P	LIGHTNING
				Total (VA)	53608	52928	52928						

NEW LOADS ADDED

CONNECTED LOAD (KVA)				158.54
DEMAND CALCULATIONS:				
CONTINUOUS LOAD @ 125%				5.00
NON CONTINUOUS LOAD @ 100%				0.00
MECHANICAL LOADS @ 125%				0.00
EXISTING LOADS @ 125%				304.58
NEW LOADS BEING ADDED				90.25
TOTAL PANEL CAPACITY (KVA)				290.95
TOTAL LOADING ON PANEL (KVA)				399.43
TOTAL SPARE CAPACITY (KVA)				91.55
TOTAL PANEL CAPACITY (A)				400.00
TOTAL LOADING ON PANEL (A)				238.88
TOTAL SPARE CAPACITY (A)				161.12

NOTE: PANEL BOARD IS NOT OVERLOADED.

PROPOSED "DHB-5" PANEL SCHEDULE 1
SCALE: N.T.S.

200 A MCB Voltage: 200V													
AC PANEL SCHEDULE													
Breaker Pos #	Description	State (On/Off)	Use *	Amp	Load	Phase A	Phase B	Phase C	Load	Amp	State (On/Off)	Use *	Description
1	ECAB #1	ON	3P	100	8700				8700				2
3					8700				8700				4
5	CHARGER #1	ON	1P	20	1500				1500	180	ON	1P	GFCI
7					884				506	18	ON	1P	FAN
9					305				300	30	ON	1P	LIGHT
11	CHARGER #2	ON	1P	20	1500				1500				12
13					5								14
15					5								16
17					5								18
19					5								20
21	ECAB #2	ON	3P	100	8700				8700				22
23					8700				8700				24
				Total (VA)	9297	17305	13880						

NEW LOADS ADDED

CONNECTED LOAD (KVA)		36.88
DEMAND CALCULATIONS:		
CONTINUOUS LOAD @ 125%		0.00
NON CONTINUOUS LOAD @ 100%		0.00
MECHANICAL LOADS @ 125%		0.00
EXISTING LOADS @ 125%		0.00
NEW LOADS BEING ADDED		46.80
TOTAL PANEL CAPACITY (KVA)		72.05
TOTAL LOADING ON PANEL (KVA)		46.80
TOTAL SPARE CAPACITY (KVA)		25.25
TOTAL PANEL CAPACITY (A)		300.00
TOTAL LOADING ON PANEL (A)		134.85
TOTAL SPARE CAPACITY (A)		165.15

NOTE: PANEL BOARD IS NOT OVERLOADED.

PROPOSED PANEL SCHEDULE 2
SCALE: N.T.S.

SITE NAME: 400 A DHB-5 PANEL 480 V			
Located in: 5TH FLOOR Elev Room			
Description			
		Load (VA)	Phase
MAX DEMAND LOAD PER LOAD STUDY		21011	112.0 A
		21011	112.0 B
		21011	112.0 C
		22170	80.0 A
UPGRADE - SPRINT XFMR 75KVA		22170	80.0 B
		22170	80.0 C
CONNECTED LOAD (KVA)		158.54	395.90
DEMAND CALCULATIONS:			
REMOVED LOAD @ 100%		0.00	0.00
EXISTING LOADS @ 125%		116.29	139.5
ADDED LOAD @ 125%		83.54	100.0
TOTAL CAPACITY (KVA)		332.55	400.00
TOTAL LOADING (KVA)		299.43	238.88
TOTAL SPARE CAPACITY (KVA)		133.12	161.12
TOTAL CAPACITY (A)			
TOTAL LOADING (A)			
TOTAL SPARE CAPACITY (A)			

LOAD STUDY CALCULATIONS 3
SCALE: N.T.S.

PLANS PREPARED FOR: **Sprint**
4000 SPRINT PARKWAY
DUBLAND PARK, ARIZONA 85021

PLANS PREPARED BY: **BC**
architects
engineers
1801 OLIVER HWY, SUITE 200
FALLS CHURCH, VA 22034
TEL: (703) 471-4000
FAX: (703) 471-4000

SEALED BY: **WILLIN**
Consultants Inc.
150 N. MAIN ST., 4TH
FLOOR, VA 22034

REGISTERED ENGINEER:
CHRISTOPHER D. MORIN
No. 032984
07-23-19
PROFESSIONAL ENGINEER

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REVISIONS:

DESCRIPTION	DATE	BY	REV
FINAL DESIGNS	10/27/19	SS	1
FINAL DESIGNS	10/27/19	MS	2
LOAD CALCULATIONS	10/27/19	ME	3
CLIENT COMMENTS	10/27/19	MP	4
CLIENT COMMENTS	10/27/19	ME	5
CLIENT COMMENTS	10/27/19	MM	6
CLIENT COMMENTS	10/27/19	ME	7

FILE NAME: **COUNTY OF FAIRFAX SOUTH COUNTY CENTER**

SITE LOCATION: **DC52XC442-C**

SITE ADDRESS: **8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

SHEET DESCRIPTION: **PANEL SCHEDULE & LOAD CALCULATIONS**

SHEET NUMBER: **E-4**

BLACK UV RESISTANT HEAT SHRINK

NOTES:

- PROMOTE 2-HOLE, LONG BARREL, THIN SOLID COPPER LUGS WHEREVER LUGS ARE SHOWN. ERICO 8-122-02 PREFERRED WITH CADWELD TYPE Q1 CONNECTION THOMAS AND BETTS S40000 SERIES WHERE CRIMP CONNECTION IS REQUIRED.
- ALL CRIMP CONNECTIONS MUST BE MADE USING HYDRAULIC TOOLS AND THREE POINT HEXAGONAL COMPRESSION MOLDS ON LONG BARREL LUGS.
- ALL MECHANICAL CONNECTIONS MUST BE MADE USING THOMAS AND BETTS "NORM-SHIELD". COAT ALL WIRES BEFORE LUGGING. COAT ALL SURFACES BEFORE CONNECTING.
- ALL HARDWARE 18/8 STAINLESS STEEL INCLUDING BELLEVILLE. COAT ALL SURFACES WITH "NORM-SHIELD" BEFORE MATING.
- FOR GROUNDING BOND TO STEEL ONLY. INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL. COAT ALL SURFACES WITH "NORM-SHIELD".
- NO SLOTTED HOLES ON BUS BAR OR LUGS ARE PERMITTED.
- ALL LUG SHANKS AND LEAD JOINTS SHALL HAVE HEAT SHRINK MATERIAL.

TWO HOLE LUG
SCALE: N.T.S.

LEGEND

- GALVANIZED GROUND BAR, 1/4" X 4" X 20", NEWTON INSTRUMENT CO. CAT. NO. 8-6142 OR EQUAL. HOLE CENTERS TO MATCH HEMA DOUBLE LUG CONFIGURATION (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)
- INSULATORS, NEWTON INSTRUMENT CO. CAT. NO. 3061-4 OR EQUAL
- 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-B OR EQUAL
- WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-8056 OR EQUAL
- 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1 OR EQUAL

GROUND BAR (GALVANIZED) DETAIL
SCALE: N.T.S.

TYP. CADWELD TYPES
SCALE: N.T.S.

GROUND BAR CONNECTION DETAILS
SCALE: N.T.S.

GROUNDING NOTES:

- GROUNDING SHALL COMPLY WITH NEC ART. 250. ADDITIONALLY, GROUNDING, BONDING AND LIGHTING PROTECTION SHALL BE DONE IN ACCORDANCE WITH METRO WIRE CELL SITE GROUNDING STANDARDS.
- GROUND CABLE SHIELDS TERMINATE AT BOTH ENDS USING MANUFACTURERS CABLE GROUNDING KITS SUPPLIED BY PROJECT OWNER.
- USE #4 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID THINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
- ALL POWER AND GROUND CONNECTIONS TO BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY WAGNER (OR APPROVED EQUAL) RATED FOR OPERATION AT NO LESS THAN 75°C. ON CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 6 FEET OF PROJECT OWNER EQUIPMENT OR CABINET TO MASTER GROUND BAR OR GROUNDING RING.
- CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- APPLY OXIDE INHIBITING COMPOUND TO ALL MECHANICAL GROUND CONNECTIONS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ONLY DIRECTIONAL ELECTRONIC WARNER SYSTEM (EWS) BULBS (OVER EACH GROUND ROD AND BONDING POINT BETWEEN EXISTING TOWER/ MONOPOLE GROUNDING RING AND EQUIPMENT GROUNDING RING).
- CONTRACTOR SHALL TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION. 5 OHMS MAXIMUM RESISTANCE REQUIRED.
- CONTRACTOR SHALL CONDUCT ANTENNA, CABLE, AND LNA RETURN-LOSS AND DISTANCE-TO-FAULT MEASUREMENTS (SWEEP TESTS) AND RECORD RESULTS FOR PROJECT CLOSE OUT.
- THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AIA), THE SITE-SPECIFIC (UL, LPL OR NFPA) LIGHTING PROTECTION CODE, AND GENERAL COMPLIANCE WITH TELLICORDA AND TIA GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR ADVERSE FINDINGS TO THE CONTRACTOR FOR RESOLUTION.
- ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GROUND) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
- THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR NEW GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
- METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BITS EQUIPMENT.
- EACH BITS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BITS; 2 AWG SOLID COPPER FOR OUTDOOR BITS.
- EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
- APPROXIMATE ANTENNA COAXIALS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BONDED WITH STAINLESS STEEL HARDWARE TO THE BRIDGE AND THE TOWER GROUND BAR.
- ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- METAL CONDUIT AND TRAY SHALL BE GROUNDING AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH 6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL, SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (I.E., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.

ELECTRICAL NOTES
SCALE: N.T.S.

PLANS PREPARED FOR:

4340 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66201

PLANS PREPARED BY:

THEY COLLABORATE. WE SAVE TIME.
781.235.8100
781.235.8100
781.235.8100

SEA PREPARED BY:

WILLIN
Consultants Inc.
100 N MAIN ST. 8th
CONCORD, CA 94524

REGISTERED ENGINEER:

COMMONWEALTH OF VIRGINIA
CHRISTOPHER D. MORIN
No. 032984
07-23-19
PROFESSIONAL ENGINEER

ISSUING NOTES:

THESE DOCUMENTS ARE CONFIDENTIAL AND ARE THE SOLE PROPERTY OF SPRINT AND MAY NOT BE REPRODUCED, DISSEMINATED OR REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF SPRINT

REVISIONS:

DESCRIPTION	DATE	BY	REV
FINAL CD'S	09/27/19	SS	1
FINAL CD'S	09/27/19	MD	2
LOAD CALCULATIONS	09/25/19	ME	3
CLIENT COMMENTS	08/14/19	ME	4
CLIENT COMMENTS	07/09/19	ME	5
CLIENT COMMENTS	06/27/19	MD	6
CLIENT COMMENTS	07/23/19	ME	7

SITE NAME:

COUNTY OF FAIRFAX SOUTH COUNTY CENTER

SITE LOCATION:

DC52XC442-C

SITE ADDRESS:

**8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

SHEET DESCRIPTION:

DETAILS & GROUNDING NOTES

SHEET NUMBER:

E-5

Exhibit B-1a

MW-TO-LIT FIBER drawings prepared by Fullerton Engineering Design dated 5/16/2019 attached on the following pages.

New Equipment List:

- (1) +/-314' of new conduit
- (2) +/-314' of new fiber

New NID will be placed inside existing Telco PPC cabinet

Sprint



AUGMENT ID: VA-WSH357F17.1
 SPRINT SITE CASCADE: DC52XC442
 SPRINT SITE NAME: FAIRFAX SOUTH COUNTY CENTER
 SITE TYPE: ROOFTOP
 LANDLORD SITE ID: VA-WSH357-C

SPRINT CLEARWIRE MW-TO-LIT FIBER

SITE ADDRESS: 8350 RICHMOND HIGHWAY
 ALEXANDRIA, VA 22309
 COUNTY: FAIRFAX
 JURISDICTION: FAIRFAX COUNTY

Sprint



140 W. MADISON ST., 9TH FLOOR
 CHICAGO, IL 60661

FULLERTON
 ENGINEERING DESIGN

1199 E. WOODFIELD ROAD, SUITE 500
 SCHAMPAUBURG, ILLINOIS 60173
 TEL: 847-908-8400
 FAX: 847-908-8404
 www.fullertonengineering.com

PROJECT INFORMATION	
SPRINT SITE CASCADE	DC52XC442
SPRINT SITE NAME	FAIRFAX SOUTH COUNTY CENTER
LANDLORD SITE ID	VA-WSH357-C
SITE ADDRESS:	8350 RICHMOND HIGHWAY ALEXANDRIA, VA 22309
COUNTY:	FAIRFAX
MAP/PARCEL #:	1013-01-0016A
LATITUDE:	38.73135800
LONGITUDE:	-77.10445800
LAT/LONG TYPE:	NAD83
GROUND ELEV. (A.M.S.L.):	67'
CURRENT ZONING:	C-3
JURISDICTION:	FAIRFAX COUNTY
OCCUPANCY CLASSIFICATION (BUSINESS)	B-B
CONSTRUCTION TYPE:	B-B
A.D.A. COMPLIANCE	FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION
PROPERTY OWNER:	FAIRFAX COUNTY
CARRIER/APPLICANT:	SPRINT 6391 SPRINT PARKWAY OVERLAND PARK, KS 66251-2650
ELECTRIC PROVIDER:	VA POWER
FIBER PROVIDER:	COX
PROPOSED USE:	TELECOMMUNICATIONS FACILITY

DRAWING INDEX	
T-1	TITLE SHEET
AAV-1	CLEARWIRE MW-TO-LIT FIBER SITE PLANS
AAV-2	CLEARWIRE MW-TO-LIT FIBER EQUIPMENT DETAILS
AAV-3	CLEARWIRE MW-TO-LIT FIBER EQUIPMENT DETAILS
AAV-4	SITE PHOTOS

SCOPE OF WORK	
THE HEAVY SCOPE OF WORK CONSISTS OF:	
SPRINT:	
1. INSTALL 814' OF (2) NEW 2" CONDUITS ABOVE GROUND FROM EXISTING TELCO PPC CABINET TO EXISTING MMBS (ONE FOR FIBER AND ONE FOR POWER)	
2. INSTALL 414' OF NEW FIBER AND POWER THROUGH (2) NEW 2" CONDUITS ABOVE GROUND FROM EXISTING TELCO PPC CABINET TO EXISTING MMBS	
3. INSTALL 8300' OF NEW 2" RIGID CONDUIT FROM MMP INSIDE TELEPHONE ROOM ON 1ST FLOOR TO NEW NID INSIDE EXISTING TELCO PPC CABINET ON ROOFTOP. (CORE DRILL STRAIGHT UP OUT OF THE TELCO ROOM FOR 4 FLOORS THEN TRANSITION INSIDE THE DROP CEILING ON FLOOR 5 BEFORE ENTERING THE MECHANICAL ROOM, THEN EXIT THE ROOM TO THE OUTSIDE EQUIPMENT)	
FIBER VENDOR:	
1. INSTALL NEW NID INSIDE EXISTING TELCO PPC CABINET ON ROOFTOP	
2. INSTALL 8300' OF NEW FIBER THROUGH NEW 2" RIGID CONDUIT FROM MMP INSIDE TELEPHONE ROOM ON 1ST FLOOR TO NEW NID INSIDE EXISTING TELCO PPC CABINET ON ROOFTOP	
3. MMP IN RACK MOUNTED ON WALL INSIDE TELEPHONE ROOM ON 1ST FLOOR	
• THERE ARE NO POWER/SPACE CONSTRAINTS IN MMBS.	
• CONSTRUCTION AND CORE DRILLING REQUIRED	
• ALL RIGHTS AND PERMITS ARE THE RESPONSIBILITY OF SAC AND SPRINT.	
• CONTRACTOR SHALL FURNISH ALL MATERIAL WITH THE EXCEPTION OF SPRINT SUPPLIED MATERIAL.	
• ALL MATERIAL SHALL BE INSTALLED BY THE CONTRACTOR, UNLESS STATED OTHERWISE.	
NOTE: DRAWING SCALES ARE FOR 11"x17" SHEETS UNLESS OTHERWISE NOTED	



DIRECTIONS

DEPART RONALD REAGAN WASHINGTON NATIONAL AIRPORT ON S SMITH BLVD (NORTH-EAST) KEEP STRAIGHT ONTO RAMP KEEP LEFT TO STAY ON RAMP GW PARKWAY SOUTH / RETURN TO AIRPORT KEEP STRAIGHT ONTO LOCAL ROAD(S) GW PARKWAY SOUTH / RETURN TO AIRPORT BEAR RIGHT ONTO LOCAL ROAD(S) TAKE RAMP ONTO LOCAL ROAD(S) BEAR RIGHT ONTO LOCAL ROAD(S) I-395 / I-66 / ALEXANDRIA / WASHINGTON / GW PARKWAY, TURN LEFT ONTO LOCAL ROAD(S) GW PARKWAY / ALEXANDRIA / I-395 / WASHINGTON MERGE ONTO LOCAL ROAD(S) BEAR RIGHT ONTO LOCAL ROAD(S) I-395 / WASHINGTON AIRPORT EXIT / GW PARKWAY/ALEXANDRIA BEAR RIGHT ONTO S SMITH BLVD TAKE RAMP ONTO GEORGE WASHINGTON MEMORIAL PKWY KEEP STRAIGHT ONTO VA-400 TURN RIGHT ONTO VA-236 TURN LEFT ONTO US-1. ARRIVE 8350 RICHMOND HWY, ALEXANDRIA, VA 22309.

APPLICABLE BUILDING CODES AND STANDARDS	GENERAL ABBREVIATIONS
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMING TO THESE CODES.	FY FIBER VENDOR D/FV DARK FIBER VENDOR P/E POINT OF ENTRY M/P MEET ME POINT P/M PROPOSED MEET ME POINT NID NETWORK INTERFACE DEVICE FDP FIBER DISTRIBUTION PANEL PDU POWER DISTRIBUTION UNIT BTS BASE TRANSCEIVER STATION CW CLEARWIRE AC ALTERNATING CURRENT DC DIRECT CURRENT CND CONDUIT HH HANDHOLE FT FEET ELEV ELEVATION EQP EQUIPMENT (E)/(N) EXISTING/NEW PPC POWER PROTECTION CABINET ROW RIGHT OF WAY
• 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE • 2014 NATIONAL ELECTRICAL CODE	
• FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. • ADA ACCESS REQUIREMENTS ARE NOT REQUIRED. • THIS FACILITY DOES NOT REQUIRE POTABLE WATER AND WILL NOT PRODUCE ANY SEWAGE	



REV	DATE	DESCRIPTION	BY
A	08/20/18	90% REVIEW	EM
B	10/2/18	100% REVIEW	TJ
D	11/14/18	FINAL	TJ
E	05/16/19	REVISION	MT

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.

SITE NAME
FAIRFAX SOUTH COUNTY CENTER

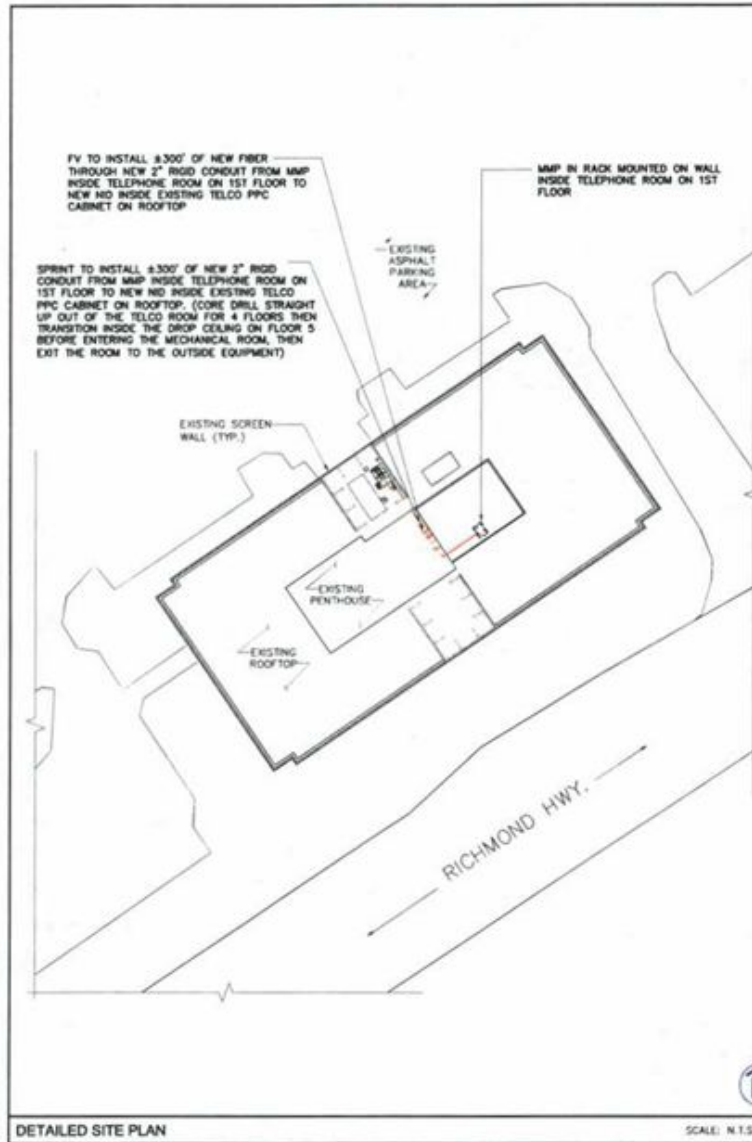
SITE NUMBER:
DC52XC442

SITE ADDRESS
**8350 RICHMOND HIGHWAY
 ALEXANDRIA, VA 22309**

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

PROJECT# 2018.0203.0199



PROJECT SCOPE (HEAVY SCOPE):

SPRINT:

1. INSTALL 814' OF (2) NEW 2" CONDUITS ABOVE GROUND FROM EXISTING TELCO PPC CABINET TO EXISTING MMIBTS (ONE FOR FIBER AND ONE FOR POWER)
2. INSTALL 814' OF NEW FIBER AND POWER THROUGH (2) NEW 2" CONDUITS ABOVE GROUND FROM EXISTING TELCO PPC CABINET TO EXISTING MMIBTS
3. INSTALL 8,300' OF NEW 2" RIGID CONDUIT FROM MWP INSIDE TELEPHONE ROOM ON 1ST FLOOR TO NEW NID INSIDE EXISTING TELCO PPC CABINET ON ROOFTOP. (CORE DRILL STRAIGHT UP OUT OF THE TELCO ROOM FOR 4 FLOORS THEN TRANSITION INSIDE THE DROP CEILING ON FLOOR 5 BEFORE ENTERING THE MECHANICAL ROOM, THEN EXIT THE ROOM TO THE OUTSIDE EQUIPMENT)

FIBER VENDOR:

1. INSTALL NEW NID INSIDE EXISTING TELCO PPC CABINET ON ROOFTOP
2. INSTALL 8,300' OF NEW FIBER THROUGH NEW 2" RIGID CONDUIT FROM MWP INSIDE TELEPHONE ROOM ON 1ST FLOOR TO NEW NID INSIDE EXISTING TELCO PPC CABINET ON ROOFTOP
3. MWP IN RACK MOUNTED ON WALL INSIDE TELEPHONE ROOM ON 1ST FLOOR

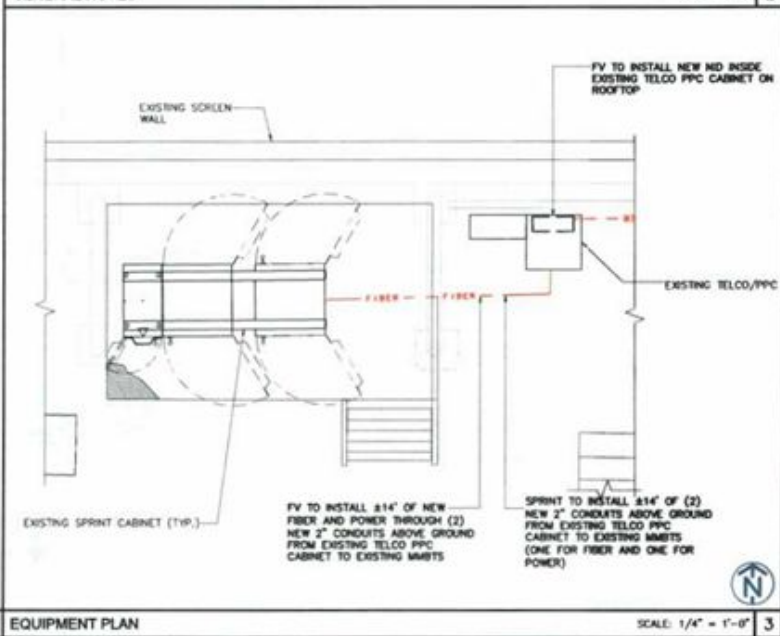
- THERE ARE NO POWER/SPACE CONSTRAINTS IN MMIBTS
- CONSTRUCTION AND CORE DRILLING REQUIRED

SITE NOTES:

1. SITE INFORMATION WAS PREPARED USING EXISTING DOCUMENTATION AND /OR SITE MEASUREMENTS AND SHOULD NOT BE INTERPRETED AS AN ACCURATE BOUNDARY SURVEY.
2. THIS SITE PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL THE EASEMENTS AND RESTRICTIONS OF RECORD.
3. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING A PRIVATE UTILITY LOCATE IF NEEDED TO DETERMINE THE UNDERGROUND STRUCTURES ON PRIVATE PROPERTY. THESE DRAWINGS DO NOT DEPICT ALL UNDERGROUND UTILITIES IN THE PROJECT AREA.
4. LATITUDE AND LONGITUDE COORDINATES ASSOCIATED WITH PROPOSED EQUIPMENT/INFRASTRUCTURE WERE BASED UPON GOOGLE EARTH AND WERE NOT FIELD VERIFIED FOR PRECISION. THE EXACT LOCATION OF PROPOSED EQUIPMENT/INFRASTRUCTURE SHALL BE FIELD VERIFIED WITH SPRINT, SAC AND/OR FV.

GENERAL NOTES

SCALE: N.T.S. 2



540 W. MADISON ST. 9TH FLOOR
CHICAGO, IL 60661

FULLERTON
ENGINEERING-DESIGN

1100 E. WOODFIELD ROAD, SUITE 500
SCHALBURG, GEORGIA 30137
TEL: 801-988-0800
WWW.FULLERTONENGINEERING.COM

REV	DATE	DESCRIPTION	BY
A	08/23/16	SCHEMATIC	CU
B	10/27/16	100% REVIEW	UJ
C	11/14/16	FINAL	UJ
D	05/16/19	REVISION	MT

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.



SITE NAME
FAIRFAX SOUTH COUNTY CENTER

SITE NUMBER
DC52XC442

SITE ADDRESS
8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309

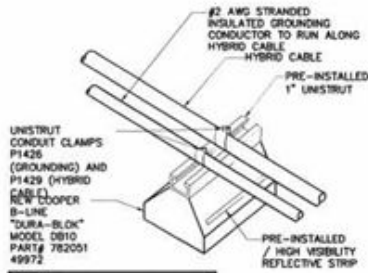
SHEET TITLE
CLEARWIRE
MW-TO-LIT FIBER
SITE PLANS

SHEET NUMBER
AAV-1

PROJECT# 2018.0203. 0199

PRODUCT INFORMATION:

TRADE ASSOCIATES, INC.
6324 S. 199th PLACE, SUITE 101
KENT, WA 98032
PH: 253-854-0080
FAX: 253-852-8452

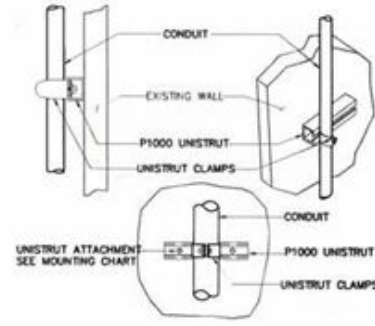
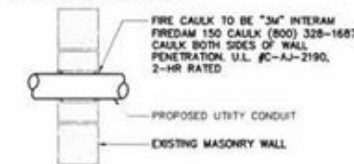
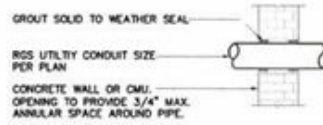
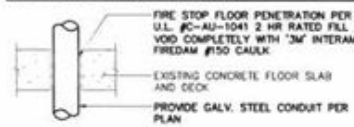


NOTE:
COOPER B-LINE "DURA-BLOCK"
HAS A FIRE RATING OF: ASTM0573

MAXIMUM
SPACING 10"

NOTE:

PRIOR TO ANY CORING OF EXISTING FLOOR SLABS, VERIFY WITH BUILDING MANAGER AS TO THE TYPE OF SLAB BEING CORED. LOCATIONS OF ANY OBSTRUCTIONS AND EXACT LOCATION WHERE CORES SHOULD BE MADE USE A LOW SPEED DRILL TO AVOID CUTTING ANY EXISTING REINFORCING STEEL.



540 W. MADISON ST., 9TH FLOOR
CHICAGO, IL 60661

FULLERTON
ENGINEERING DESIGN

1199 E. WOODFIELD ROAD, SUITE 100
SCHALMERSBURG, ILLINOIS 60173
TEL: 847.938.8400
FAX: 847.938.8474
www.fullertonengineering.com

REV	DATE	DESCRIPTION	BY
A	08/20/18	ISS REVIEW	LM
B	10/2/18	100% REVIEW	LJ
D	11/14/18	FINAL	LJ
1	05/16/19	REVISION	MT

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.



SITE NAME:

**FAIRFAX SOUTH
COUNTY CENTER**

SITE NUMBER:

DC52XC442

SITE ADDRESS:

**8350 RICHMOND HIGHWAY
ALEXANDRIA, VA 22309**

SHEET TITLE:

**CLEARWIRE
MW-TO-LIT FIBER
EQUIPMENT DETAILS**

SHEET NUMBER:

AAV-2

PROJECT# 2018.0203. 0109

SLEEPER DETAIL

SCALE: N.T.S. 1

GENERAL REPAIR DETAIL

SCALE: N.T.S. 2

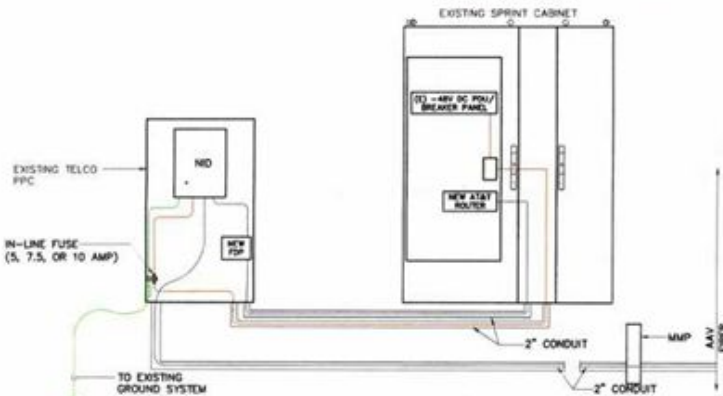
CONDUIT WALL MOUNTING DETAIL

SCALE: N.T.S. 3

NOTES:

1. SPRINT TO INSTALL ALL NEW CONDUIT OR INNER-DUCT FOR PROJECT
2. FDP DOES NOT REQUIRE ANY POWER, IT IS AN OPTICAL ONLY DISTRIBUTION PANEL
3. FIBER VENDOR TO INSTALL ALL NEW FIBER THROUGH EXISTING AND PROPOSED CONDUIT

AC PWR DC PWR FIBER GROUND



PLUMBING DIAGRAM

SCALE: N.T.S. 4

NOT USED

SCALE: N.T.S. 5

						  540 W. MADISON ST., 5TH FLOOR CHICAGO, IL 60661  1100 E. WOODFIELD ROAD, SUITE 500 SCHALPSBURG, ILLINOIS 60177 TEL: 847.908.8800 FAX: 847.908.8874 www.FullertonEngineering.com																				
SITE OVERVIEW SCALE: N.T.S. 1		CURRENT MMP (TELEPHONE ROOM) SCALE: N.T.S. 2		PROPOSED CONDUIT PATH SCALE: N.T.S. 3																						
				<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>08/20/18</td> <td>SITE REVIEW</td> <td>EM</td> </tr> <tr> <td>B</td> <td>10/2/18</td> <td>100% REVIEW</td> <td>TJ</td> </tr> <tr> <td>C</td> <td>11/14/18</td> <td>FINAL</td> <td>LJ</td> </tr> <tr> <td>T</td> <td>05/16/19</td> <td>REVISION</td> <td>MT</td> </tr> </tbody> </table> I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES.			REV	DATE	DESCRIPTION	BY	A	08/20/18	SITE REVIEW	EM	B	10/2/18	100% REVIEW	TJ	C	11/14/18	FINAL	LJ	T	05/16/19	REVISION	MT
REV	DATE	DESCRIPTION	BY																							
A	08/20/18	SITE REVIEW	EM																							
B	10/2/18	100% REVIEW	TJ																							
C	11/14/18	FINAL	LJ																							
T	05/16/19	REVISION	MT																							
PROPOSED CONDUIT PATH SCALE: N.T.S. 4		PROPOSED CONDUIT PATH SCALE: N.T.S. 5		NOT USED SCALE: N.T.S. 6																						
NOT USED SCALE: N.T.S. 7		NOT USED SCALE: N.T.S. 8		NOT USED SCALE: N.T.S. 9																						

SITE NAME FAIRFAX SOUTH COUNTY CENTER
SITE NUMBER: DC52XC442
SITE ADDRESS 6300 RICHMOND HIGHWAY ALEXANDRIA, VA 22309
SHEET TITLE SITE PHOTOS
SHEET NUMBER AAV-4

PROJECT# 2018.0203. 0199

Board Agenda Item
October 15, 2019

REVISED

5:00 p.m.

Public Hearing on RZ 2018-PR-021 (Georgelas, LLC) to Rezone from C-8, I-4 and HC to PTC and HC to Permit Mixed Use Development with an Overall Floor Area Ratio of 4.05, Located on Approximately 7.08 Acres of Land (Providence District) (Concurrent with RZ 2018-PR-022)

and

Public Hearing on RZ 2018-PR-022 (Georgelas, LLC) to Rezone from I-5, C-7, SC and HC to PTC, SC and HC to Permit Mixed Use Development with an Overall Floor Area Ratio of 4.73, Located on Approximately 7.32 Acres of Land (Providence District) (Concurrent with RZ 2018-PR-021)

This property is located on the N. side of Tyco Rd., E. of its intersection with Leesburg Pike. Tax Map 29-1 ((25)) 1 and 2.

This property is located on the N.E. side of Leesburg Pike and N.W. side of Tyco Rd. Tax Map 29-1 ((1)) 17, 17B, 17C and 29-3 ((1)) 55.

PLANNING COMMISSION RECOMMENDATION:

On October 10, 2019, the Planning Commission voted 10-0 (Commissioners Murphy and Tanner were absent from the meeting) to defer decision only on the applications to a date certain of December 11, 2019. The Planning Commission recommendation will be forwarded following decision.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
Stephen Gardner, Planner, DPD

Board Agenda Item
October 15, 2019

5:30 p.m.

Decision Only on PRC 86-C-121-06 (NS Reston LLC) to Approve the PRC Plan Associated with RZ 86-C-121 to Permit Residential Development, Located on Approximately 36,553 Square Feet of Land Zoned PRC (Hunter Mill District) (Concurrent with CP 86-C-121-15)

and

Decision Only on CP 86-C-121-15 (NS Reston LLC) to Approve the Conceptual Plan for RZ 86-C-121 to Permit Residential Development, Located on Approximately 36,553 Square Feet of Land Zoned PRC (Hunter Mill District) (Concurrent with PRC 86-C-121-06)

This property is located on the N. side of New Dominion Parkway, W. of Fountain Dr. Tax Map 17-1 ((17)) 4.

This property is located on the N. side of New Dominion Parkway, W. of Fountain Dr. Tax Map 17-1 ((17)) 4.

On September 24, 2019, the Board of Supervisors deferred decision only to October 15, 2019, at 5:30 p.m.

PLANNING COMMISSION RECOMMENDATION:

On June 19, 2019, the Planning Commission voted 7-0-1 (Commissioner Hurley abstained from the vote. Commissioners Clarke, Niedzielski-Eichner, Strandlie and Cortina were absent from the meeting) to recommend to the Board of Supervisors denial of CP 86-C-121-15 and that the Concept Plan be considered as part of the review of the PRC plan, and denial of PRC 86-C-121-06.

ENCLOSED DOCUMENTS:

Planning Commission Verbatim Excerpt and Staff Report available online at:
<https://www.fairfaxcounty.gov/planning-development/board-packages>

STAFF:

Tracy Strunk, Director, Zoning Evaluation Division, Department of Planning and Development (DPD)
William Mayland, Planner, DPD

Board Agenda Item
October 15, 2019

5:30 p.m.

Public Hearing to Sell Board-Owned Property North of Reston Station Boulevard to CRS Sunset Hills, LC and Proposed Amendment to Deed of Lease with Comstock Reston Station Holdings, LC to Remove Land Area (Hunter Mill District)

ISSUE:

Public Hearing to sell Board-owned property to CRS Sunset Hills, LC (Purchaser) and on the proposed amendment (Amendment) to the existing Deed of Lease (Lease) between the Board, as landlord, and Comstock Reston Station Holdings LC (Comstock), as tenant, regarding Fairfax County Tax Map 17-4 ((1)) Parcel 17A (the Site). The Amendment would remove the portion of the parcel sold to the Purchaser from the Lease and accordingly adjust the future rent on the remainder of the Site.

RECOMMENDATION:

The County Executive recommends that the Board hold the public hearing to sell Board-owned property north of Reston Station Boulevard, which includes an Amendment to the Lease to reflect the removal of that property from the Lease.

TIMING:

On September 24, 2019, the Board authorized advertisement of a public hearing to be held on October 15, 2019 at 5:30 p.m. A decision on the sale of the property and the proposed Amendment is scheduled for November 19, 2019.

BACKGROUND:

On June 1, 2009, the Board approved a Comprehensive Agreement with Comstock (together with its affiliates). The agreement provided for Comstock to construct an underground County-owned garage that serves the adjacent Wiehle-Reston East Metrorail station. The garage is located on that portion of the Site that is south of Reston Station Boulevard. The Comprehensive Agreement also encompassed a 99-year ground lease that leases the rest of the Site (other than the County-owned garage) to Comstock for private development (currently marketed as Reston Station). The parking garage began operations on July 26, 2014. Comstock has obtained land use approval for six buildings on the Site, has completed construction on two buildings, and has started construction on two additional buildings.

Board Agenda Item
October 15, 2019

The Lease, by its terms, may be split, or “severed”, into multiple leases. This flexibility exists to facilitate development of private buildings. Two buildings have already been severed off, each into its own lease with a distinct Comstock-affiliated tenant entity, and the remainder of the premises remains subject to the original lease with Comstock. (It is anticipated that a third building, currently under construction, will be further severed off into its own lease, in September or October 2019). The Amendment applies only to the original Lease with Comstock.

In general terms, Comstock currently pays an aggregate annual base rent of \$2,900,000 per year for all of its leases with the Board. The base rent will increase in three future phases:

- Base rent will increase to \$3,302,593 on June 28, 2024 or on the issuance of a RUP (or Non-RUP, as may be applicable) for 25,000 square feet of the fourth building to be constructed on the Site, whichever occurs first.
- Base rent will increase to \$3,705,187 on June 28, 2027 or on the issuance of a RUP (or Non-RUP, as may be applicable) for 25,000 square feet of the fifth building to be constructed on the Site, whichever occurs first.
- Base rent will increase to \$4,107,780 on June 28, 2030 or on the issuance of a RUP (or Non-RUP, as may be applicable) for 25,000 square feet of the sixth building to be constructed, whichever occurs first.

At such time, the aggregate annual base rent remains at \$4,107,780 until July 2035, at which point the base rent will be reset at 8% of the then-market value of the premises.

On December 5, 2017 the Board approved the Sixth Amendment to the Lease. (The previous amendments dealt with lease severances or other issues not directly relevant here). The Sixth Amendment allowed, among other things, for County staff and Comstock to explore the possibility of selling (or otherwise modifying the ownership structure of) an approximately 0.91-acre portion of the Site located north of Reston Station Boulevard (Sale Area) depicted in Attachment 1. Over the past 18 months, County staff and Comstock have developed the framework of such a sale for the Board’s review and approval.

Under the proposal, the Site would be subdivided into two new parcels. The County would convey the Sale Area, comprising 0.906 acres (39,480 square feet), together with the density associated with 19,599 square feet that has been dedicated for a public street. The Sale Area parcel is disconnected from the Wiehle-Reston Station Metrorail garage by Reston Station Boulevard and is not necessary for garage operations. Further, the Sale Area was integrated into the Reston Station Promenade

rezoning (RZ 2016-HM-035 / PCA 2009-HM-019), approved on April 10, 2018. The proposed conveyance of the Sale Area to the Purchaser would thus enable a more efficient redevelopment of the Reston Station Promenade project.

The County would also retain the fee simple interest in the remaining 6.67 acres of the parcel (the Garage-Plaza Area) which contains the Wiehle-Reston Station garage and to which the Amended Lease, together with the severance leases, would continue to apply.

County staff obtained an appraisal that determined the value of the Sale Area to be \$10,750,000, based on a base density of 3.5 FAR (i.e., the base density for the approved Reston Station Promenade project). The proposed compensation for the Sale Area consists of two components:

- A lump sum cash payment of \$3,070,000, based on the value of 1.0 FAR on the Sale Area. This figure equates to two-sevenths (i.e., 1.0 FAR / 3.5 FAR) of the value of the Sale Area and was confirmed by a separate appraisal.
- A transfer of 147,690 square feet of density from the parcel located at Tax Map No. 17-4 ((24)), Parcel 3, which is also known as Reston Station Block 2, which is owned by another Comstock affiliate, and which is part of the same land use case (RZ 2009-HM-019 (Plaza Rezoning)) as the Garage-Plaza Area. The Plaza Rezoning allows for density to be transferred from Block 2 to the Garage-Plaza Area. The proposed amount of transfer density equates to the land of the Sale Area at a 2.5 FAR (i.e., its current, actual 3.5 FAR, less the 1.0 FAR being paid for in a lump sum as noted in the previous bullet). This density transfer would, in turn, enhance the value Garage-Plaza Area and thus result in a rental stream under the Lease with an estimated net present value of \$8,600,000 or greater.

County staff recommends this compensation structure, as it is anticipated to have the following benefits:

- Generate a higher net present value to the County for the Sale Area asset;
- Locate a greater amount of approved density closer to the adjacent Wiehle-Reston East Metrorail station;
- Simplify the ownership structure within Reston Station Promenade to facilitate redevelopment of that site and generate additional economic development and revenue for the County.

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This compensation structure was reviewed and endorsed by Savills, an international real estate consultant contracted by the County to review this proposed structure.

Since the proposed sale would convey Sale Area to Purchaser, the Lease will need to be amended to remove the Sale Area from the terms of the Lease. Accordingly, the Amendment to the Lease (Attachment 2) would further adjust rent levels to account for the fact that the County would be receiving a lump sum payment of \$3,070,000 within the next nine months, with the Sale Area transaction. Specifically, the Amendment would retain the current aggregate annual base rent of \$2,900,000 per year but revise the rent increases described above as follows:

- Base rent would increase to \$3,446,262 on July 25, 2025 or on the issuance of a RUP (or Non-RUP, as may be applicable) for 25,000 square feet of the fourth building to be constructed on the Garage-Plaza Area, whichever occurs first.
- Base rent would increase to \$3,901,004 on July 25, 2030 or on the issuance of a RUP (or Non-RUP, as may be applicable) for 25,000 square feet of any the fifth building to be constructed on the Garage-Plaza Area, whichever occurs first.

The aggregate annual base rent would then remain at \$3,901,004 until July 2035, at which point the base rent would be reset at 8% of the then-market value of the premises, just as the current Lease contemplates.

If approved by the Board, the conveyance would close promptly after the satisfaction of certain conditions (discussed below), but no later than April 30, 2020, unless the County opted to modify that date. The Purchaser will post a deposit of \$250,000 to secure its performance under the purchase agreement (Attachment 3).

Of the conditions to closing, the most significant is approval by the Federal Transit Administration (FTA) of the use to which the Board would put a majority of the sales proceeds. When the Board originally acquired the Site in 1995, it used an FTA grant to fund 75% of the initial acquisition and project costs. (The Site was used as a surface parking lot for over a decade prior to the PPEA with Comstock.) Because of the use of FTA funds in acquiring the Site, the Board must also obtain FTA approval of the conveyance, of the compensation for the conveyance, and – if the Board wishes to retain the federal share of the sales proceeds – of a transportation project to which the Board would apply the federal share of the sale proceeds. The Department of Transportation has identified the grade separation project of the Washington and Old Dominion Trail at Wiehle Avenue (W&OD Trail Project) as the preferred eligible transportation project for these funds.

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Staff has obtained FTA approval of both the conveyance and the compensation structure described above (Attachment 4). Staff has initiated the process with FTA for the agency's approval of use of the funds to the W&OD Trail Project. If such FTA approval is not received before April 30, 2020, the County will have no obligation to complete the sale and related Lease Amendment. The County may, however, at its sole election, opt to modify or waive that condition and proceed to close if it determined that doing so was in its best interests.

The proposed Amendment to the Lease also expressly requires Comstock to permit electoral campaigning and voter registration activities on the plaza next to the entry to the north entrance of the Wiehle-Reston East Metrorail Station.

Lastly, the original Comprehensive Agreement and Lease were entered into pursuant to the Public-Private Education and Infrastructure Act of 2002, Title 56, Chapter 22.1 of the Virginia Code (PPEA). As the conveyance of the Sale Area to the Purchaser would represent a significant alteration to the original transaction, the PPEA statute requires not only a public hearing on the proposed documents but also a period of not less than 30 days between the public hearing and the final Board action to approve the conveyance. Thus, the action of October 15, 2019, would be a public hearing; decision on the sale and Amendment should occur on or after November 19, 2019.

FISCAL IMPACT:

Proceeds from the \$3,070,000 land sale to CRS Sunset Hills, LC will be allocated between two funds. \$2,302,500 will be retained to be used by FCDOT to offset the cost of a future eligible public transportation capital project. FTA approval of the proceeds to a subsequent capital award, such as the W&OD Trail Project, is required.

The remaining \$767,500 in land sale proceeds will be placed in Fund 40125, Metrorail Parking System Pledged Revenues, to offset the required debt service on the bonds issued to finance construction of the Wiehle-Reston East parking garage, as well as associated operation and maintenance expense.

The existing base rent under the current Lease is \$2.9 million per year, with an increase to \$4.1 million per year by no later than 2030. Under the Amendment, the current Lease rate of \$2.9 million per year would remain unchanged, with an increase to \$3.9 million per year by no later than 2030.

Base rents under the Amendment will continued be allocated to Fund 40125, Metrorail Parking System Pledged Revenues, to offset the required debt service on the bonds issued to finance construction of the Wiehle-Reston East parking garage, as well as associated operation and maintenance expenses.

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ENCLOSED DOCUMENTS:

Attachment 1 – Graphic of Proposed Board-Owned Property Conveyance

Attachment 2 – Proposed Amendment to the Deed of Lease with Comstock can be found online at: http://www.fairfaxcountypartnerships.org/P3-Joint_Ventures/Wiehle-Toe-8th-Amendment_FFX_public.pdf

Attachment 3 – Proposed Purchase and Sale Agreement can be found online at: http://www.fairfaxcountypartnerships.org/P3-Joint_Ventures/Wiehle-Toe-PSA-public.pdf

Attachment 4 – FTA Letter Approving Conveyance and Compensation

STAFF:

Rachel Flynn, Deputy County Executive

Martha Coello, Division Chief, Special Projects, Department of Transportation

Joe LaHait, Debt Coordinator, Department of Management and Budget

Michael Lambert, Assistant Director, Facilities Management Department

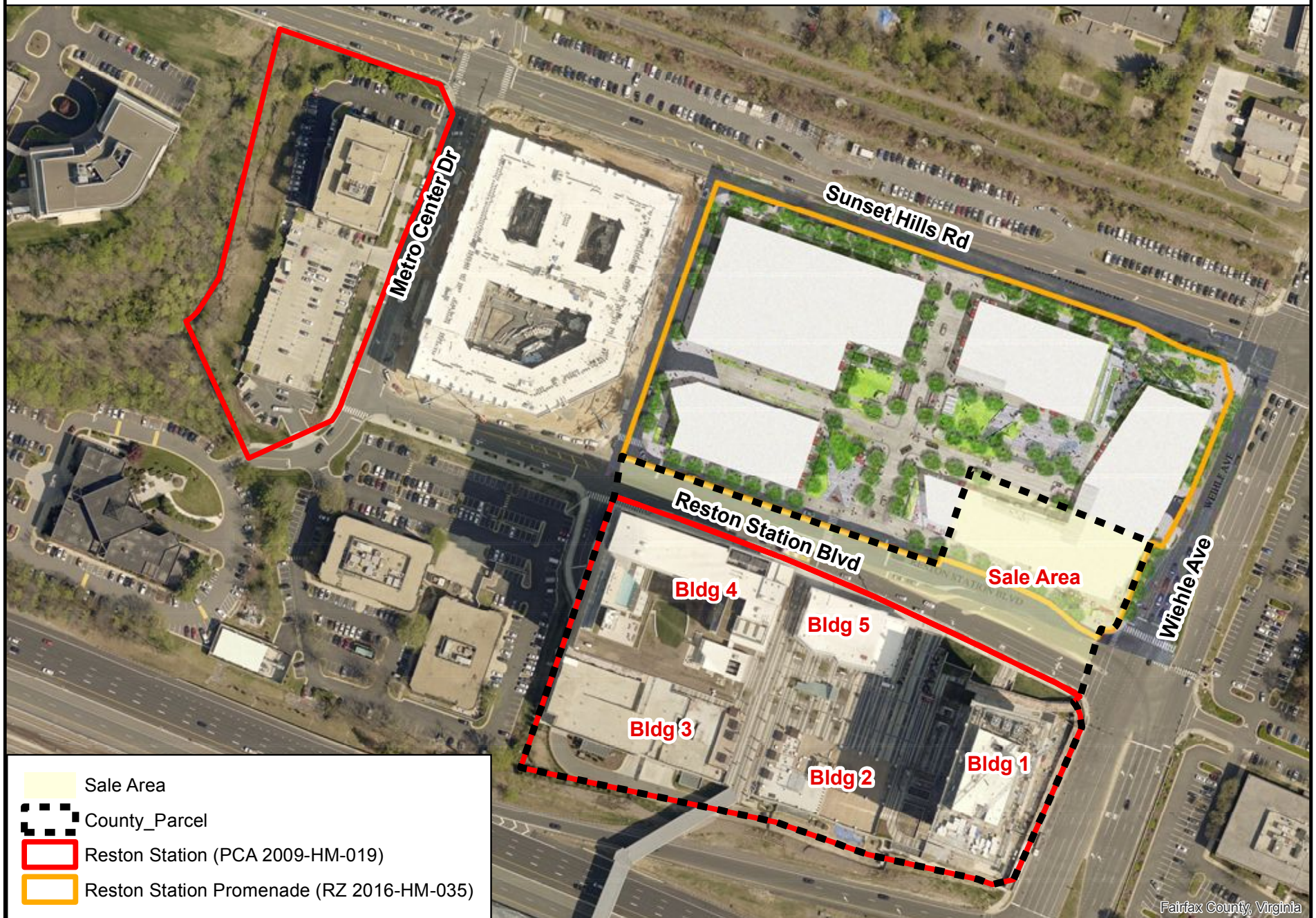
Scott Sizer, P3/Joint-Venture Policy Coordinator, Department of Economic Initiatives

ASSIGNED COUNSEL:

Cynthia Bailey, Deputy County Attorney

Ryan Wolf, Assistant County Attorney

Sale of County Property at Reston Station





U.S. Department
of Transportation
**Federal Transit
Administration**

REGION III
Delaware, District of
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Pennsylvania, Virginia,
West Virginia

1760 Market Street
Suite 500
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215-656-7100
215-656-7260 (fax)

July 25, 2019

Mr. Tom Biesiadny
Director
Fairfax County Department of Transportation
4050 Legato Road, Suite 400
Fairfax, VA 22033-2895

RE: Disposition of Property – 1900 Block Reston Station Boulevard (North Side)

Dear Mr. Biesiadny:

The Federal Transit Administration (FTA) has reviewed and considered Fairfax County Department of Transportation's (FCDOT) letter dated June 18, 2019, which was received on July 9, 2019, requesting FTA concurrent to dispose of real property that is no longer required for intended public transportation use. The letter also requested FTA approval for FCDOT to retain and utilize the sales proceeds to offset the cost of a future eligible public transportation capital project.

Per the information submitted, the total land area is 59,079 square feet (1.36 acres). The property is improved with a kiss-and-ride parking lot and related site improvements. The property was appraised with a 'before value' and an 'after value' to estimate a baseline market value in its' current density of 2.5 FAR and to estimate the increase in property value associated with a recent 'up zoning' of the property to Planned Development Commercial. The highest and best use is to assemble with other land at the subject block that supports Reston Promenade – a mixed use site. The review appraiser concurs that eventual development of the site is pursuant to 'up zoning' requirements.

The appraiser arrived at a value of \$3,070,000 by considering the difference between the 'before value' and the 'after value' utilizing the Sales Comparison Approach. The review appraiser reached the conclusion that the \$3,070,000 value set in the appraisal report for the fee simple interest represents the supported estimate of fair market value. Hence, the appraisal report is recommended for approval.

FTA conducted an administrative review of the appraisal and review appraisal provided as part of the disposition request. The appraisal submitted meets the requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended (URA), and the implementing regulations, 49 CFR Part 24.102, 103 and 104. FTA also confirmed that no Federal funds were utilized to construct the kiss-and-ride improvements located on the parcel being disposed. Therefore, there are no Federal interest considerations for these improvements.

Per FTA's Circular 5010.1E, "Award Management Requirements", with FTA approval a recipient

July 25, 2019
Mr. Tom Biesiadny
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may sell real property and use the proceeds for other capital projects under an award (see FTA C. 5010.1E, Chapter IV, Section 2.j.2.3). When this disposition method is utilized, the recipient is expected to record the receipt of the proceeds in the recipient's accounting system, showing that the funds are restricted for use in a subsequent capital project, and reduce the amount of those restricted funds as those proceeds are applied to one or more FTA approved capital projects under awards. FTA must approve the application of the proceeds to a subsequent capital award, which should clearly show that the gross cost of the Award has been reduced with proceeds from the earlier transaction.

Based on the information submitted, FTA concurs in the request to dispose of this property and retain the sales proceeds to be reinvested into FCDOT's capital budget to offset the cost of a future eligible public transportation capital project. As indicated in your letter, the Federal share of the proceeds from the sale of this property is \$2,302,500 (75% of \$3,070,000 sale value). FCDOT is to track the proceeds per the requirements prescribed in FTA C 5010.1E and discussed in the previous paragraph. FTA must approve the application of the proceeds to a subsequent capital award, which should clearly show that the gross cost of the award has been reduced with proceeds from the earlier transaction. Please attach all correspondence associated with this action to the new capital award.

This letter only provides approval for the disposition of the real property and approval to retain the sales proceeds for a future capital project. In your June 18, 2019 letter, FCDOT requested FTA's approval to utilize these proceeds towards a grade separation project of the Washington & Old Dominion (W&OD) Trail at Wiehle Avenue. FTA will continue to discuss in subsequent conversations with FCDOT the potential to apply these disposition proceeds towards the W&OD trail project.

If you have any questions, please contact Tim Steinitz at (215) 656-7253 or via e-mail at timothy.steinitz@dot.gov.

Sincerely,

Tony Cho
Director, Office of Program Management & Oversight

cc: Martha Coello, Fairfax County Department of Transportation