

# Holmes Run Acres Potential Historic Overlay District Work Group Meeting #11

- Welcome - Mason District
- Discussion of building heights
- Discussion of front yard coverage findings
- Next workgroup meeting - February 16<sup>th</sup> @ 6:30



PLANNING & DEVELOPMENT



# Holmes Run Acres: Building Height Calculation and Front Yard Coverage Assessment

Holmes Run Acres Work Group Meeting #11  
Virtual Teams Meeting  
January 19, 2022



PLANNING & DEVELOPMENT



# Background: Building Height

## Building Height

**Building Height** is defined as the vertical distance measured from the curb level if the building is not more than ten feet from the front line, or from the grade in all other cases:

- To the highest point of the roof for flat roofs;
- To the deck line of mansard roofs; and
- To the average height between eaves and the ridge for gable, hip, and gambrel roofs

## Example

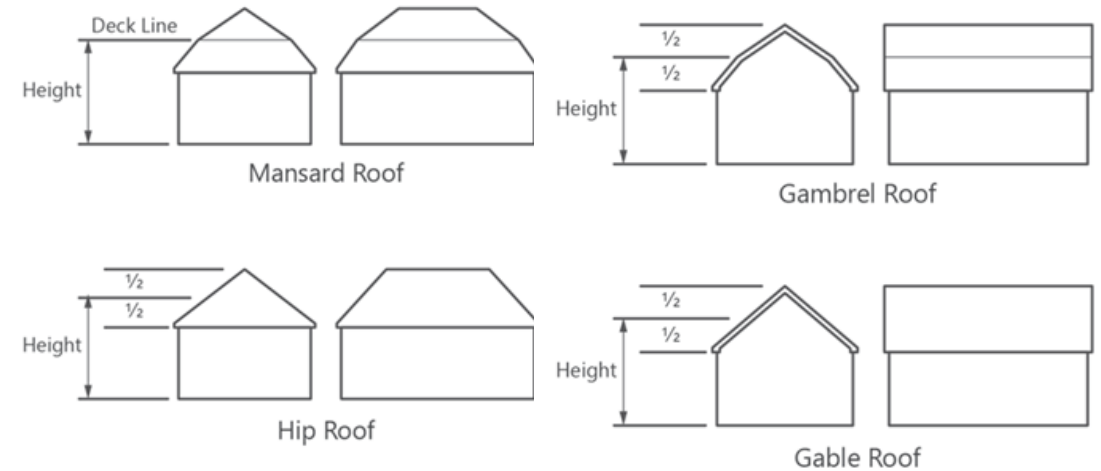


Figure 9102.1: Height Measurement by Roof Type

# Background: Building Height

## Grade

**Grade** is defined as:

- The average ground level adjoining a building at all exterior walls for a single-family detached dwelling.
  - The building height measurements for the dwelling and any additions to the dwelling must use the lower average ground level of either the pre-existing or finished grade elevation that exists or is proposed at the time the building permit is issued for the dwelling.
- The lowest point of finished ground level adjacent to the structure for an accessory structure

## Example

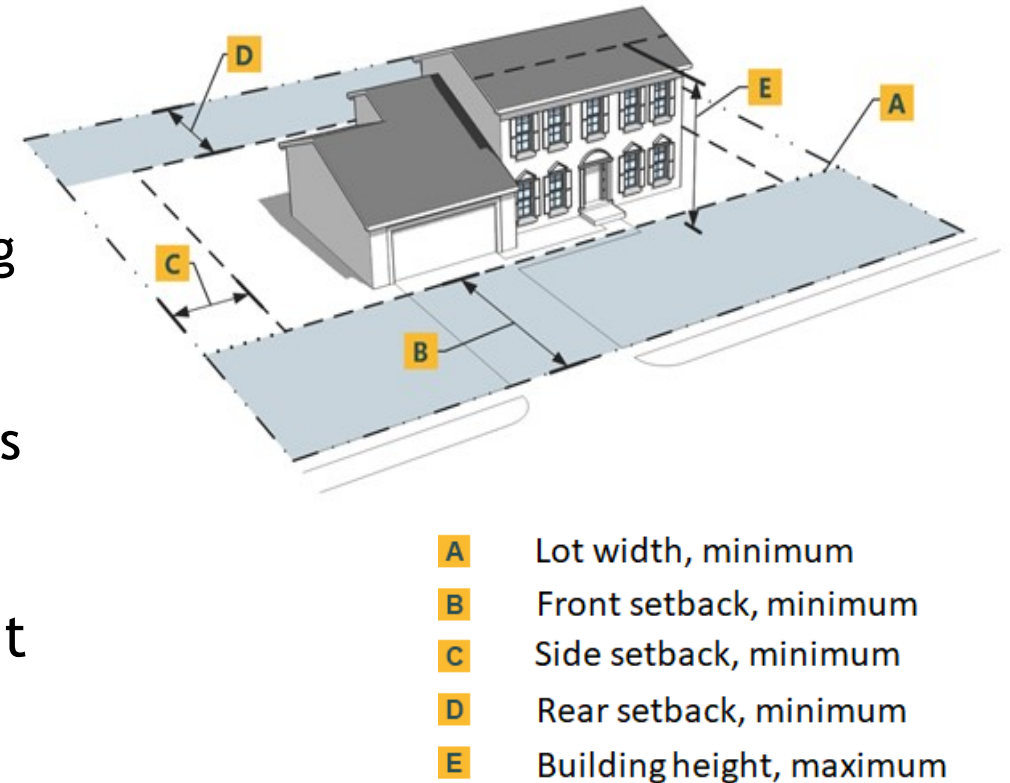


Figure 2102.12: R-3 District Lot and Building Dimensional Standards

# Building Height: Additional Information

- A Variance would be required to exceed any height limit in the ZO.
- State Code defines variance as follows:
  - A reasonable deviation from those provisions regulating the size, height, area, bulk, or location of a building or structure when the strict application of the terms of the zoning ordinance would unreasonably restrict the utilization of the property.
- \$910 application fee for a variance related to
  - modification of residential setback;
  - modification of residential accessory structure or use or location standards per subsection 4102.7;
  - modification of grade for single-family detached dwelling; or
  - increase in building height for single-family detached dwellings

## Background: Front Yard Coverage

- Purpose of Assessment: Determine Pattern of Front Yard Coverage
- Definition of Front Yard Coverage (FYC): to face of building and parallel to front property line
- County restrictions for R-3 zoning are 30% of the front yard may be covered or paved

# Background: Front Yard Coverage

## Zoning Ordinance

Subsection 6100.2.B(2): “... in the R-3 and R-4 Districts, no more than **30 percent** of any front yard may be surfaced area for a driveway or vehicle or trailer parking area.”

- 30 percent coverage limitation applies to the full front yard, rather than the minimum required 30-foot setback in the R-3 District.

**Front Yard:** A yard extending across the full width of a lot and lying between the front lot line and the principal building. (Figure 9102.3)

**Setback:** The minimum distance a building or structure must be separated from the lot lines and public streets.

**R-3 Minimum Front Setback:**  
Conventional: 30 feet

## Example

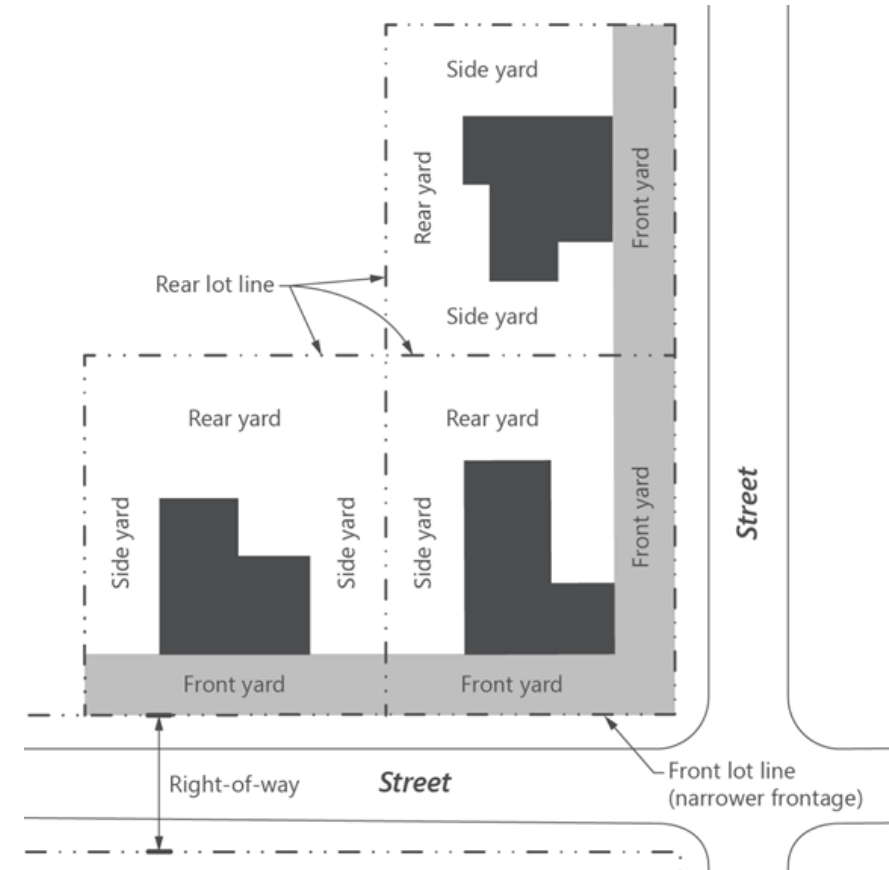


Figure 9102.3

# Background: Front Yard Coverage

## Legend



### Front Yard Calculation:

Lot width x front yard depth (to face of building & parallel to front property line)

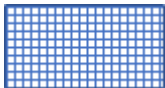
e. g., 100' w x 50' d = 5,000 sq. Ft. Front yard



### Front Yard Coverage Calculation:

5,000 sq. Ft. X 30% = 1,500 sq. Ft.

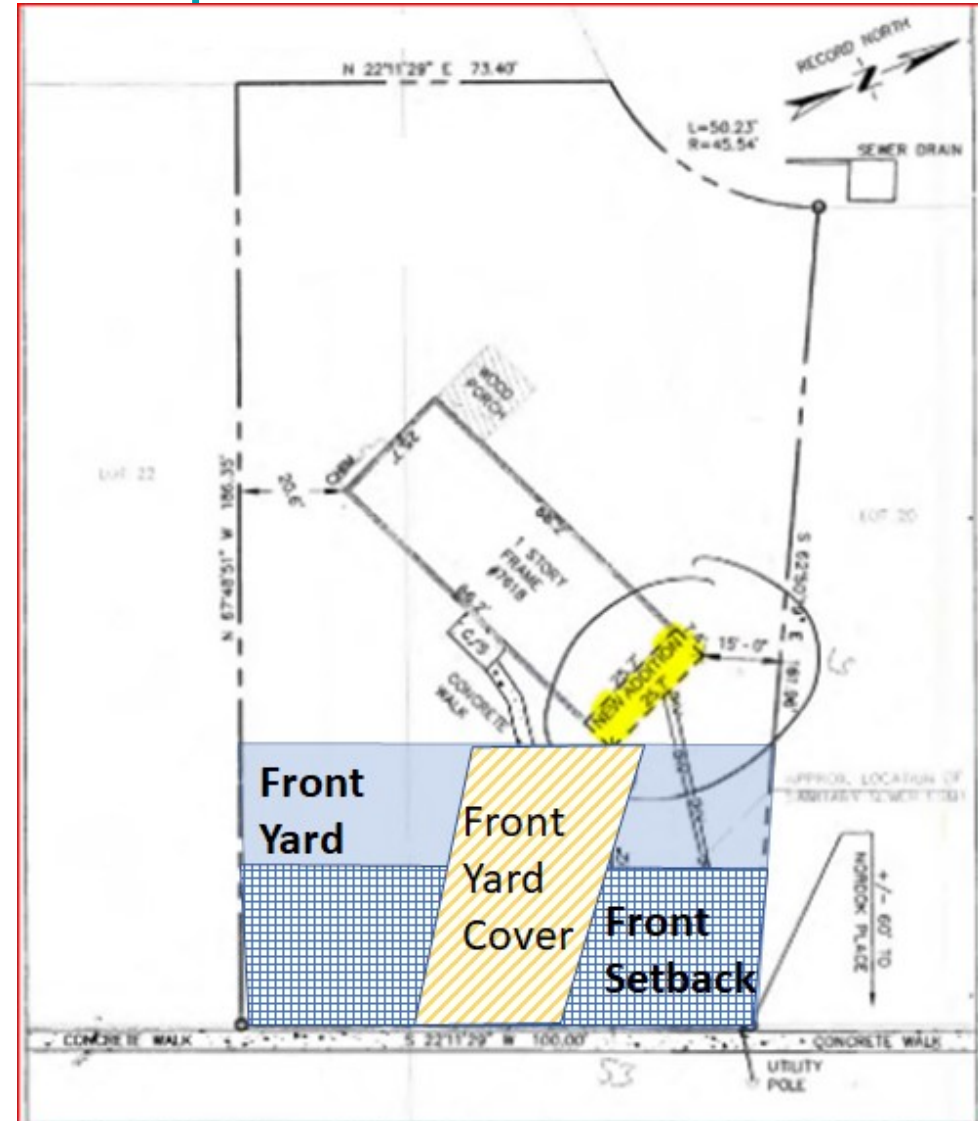
e. g., 50' deep x 30' wide



### Minimum Front Setback:

Conventional: 30 feet

## Example





# Methodology

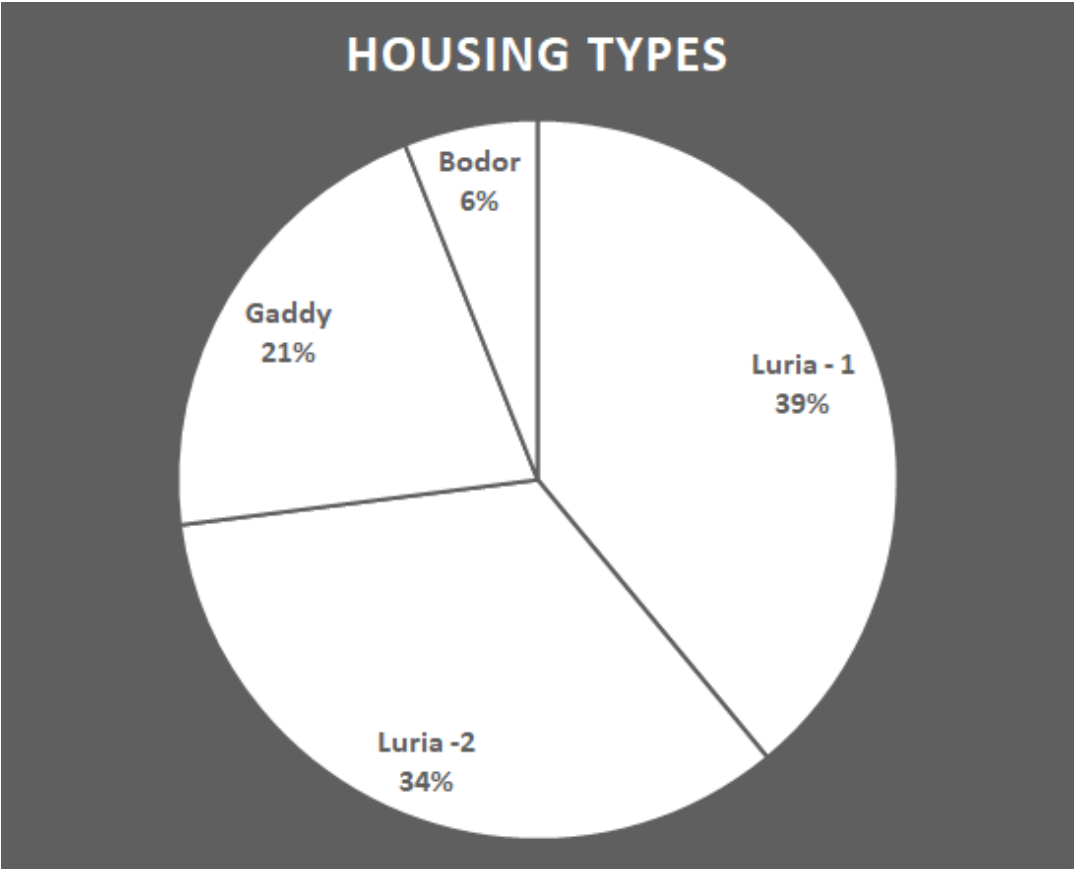
- Goal: obtain a representative sample throughout the neighborhood, across all house styles & street locations
- Collect data
  - How many houses
  - How many houses of each style
  - How many houses of each style on each street

# Housing Types

House Types broken down by percentage and number of houses sampled

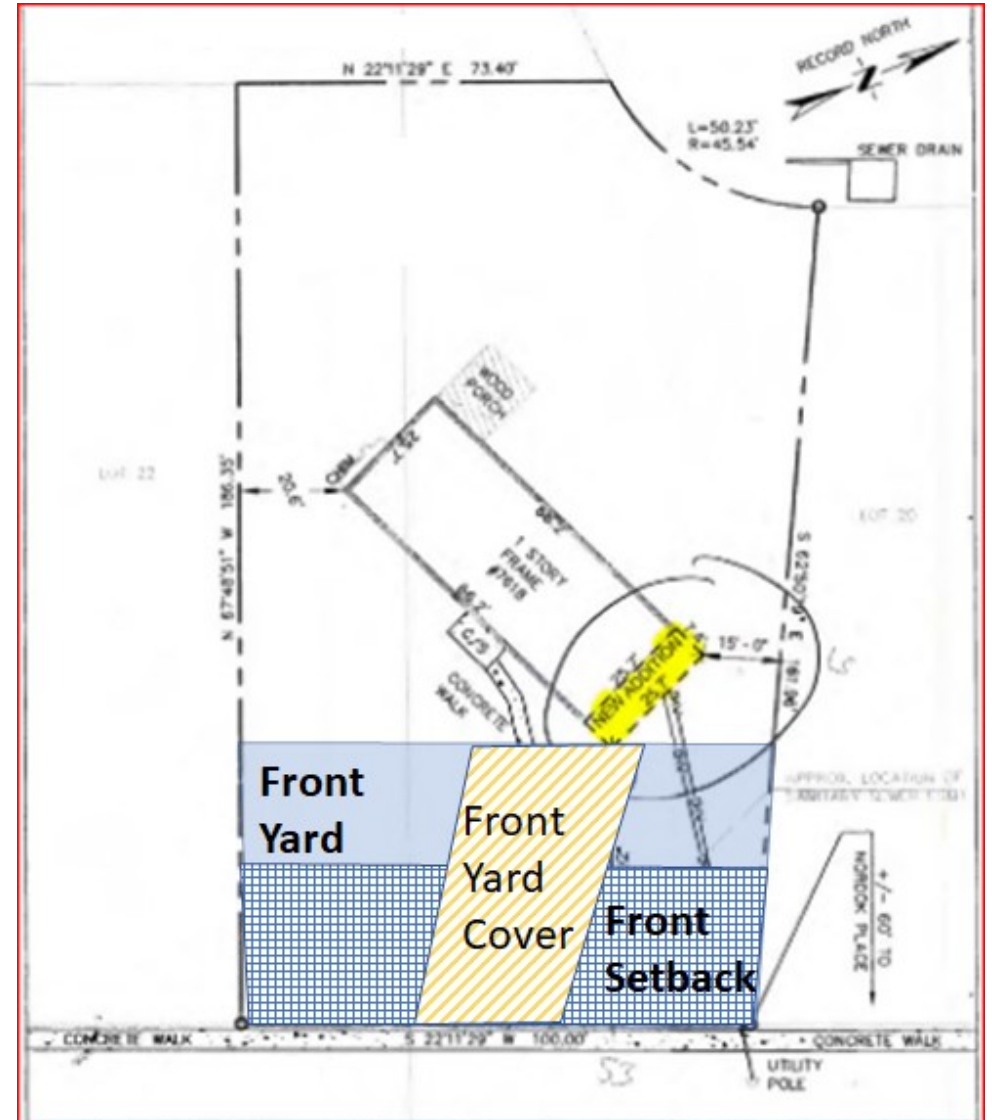
House Type	Total Number	Percentage	No. Houses Sampled (100 total)
Luria - one story	130	39.15%	39
Luria - two story	116	33.73%	34
Gaddy	71	21.38%	21
Bodor	15	5.57%	6

Sampled Housing Types as Percentages



# Measurement Methodology

- All measurements for this assessment are approximate
- DPD staff used the Jade GIS measurement tool
- Step 1: Measure front yard (in square feet)
- Step 2: Measure front yard coverage (in square feet)
- Step 3: Use the following formula to determine the coverage percentage (whereas "X" is the percentage):  
$$X/100 = \text{FYC}/\text{FY}$$



# Results

Lowest, Highest, & Average Coverage		Percentage
Lowest Coverage		0%
Highest Coverage		36.07%
Average Coverage		14.98%

Building Type	Average Coverage
Bodor	16.61%
Gaddy	11%
Luria - One Story	14.47%
Luria - Two Story	17.49%

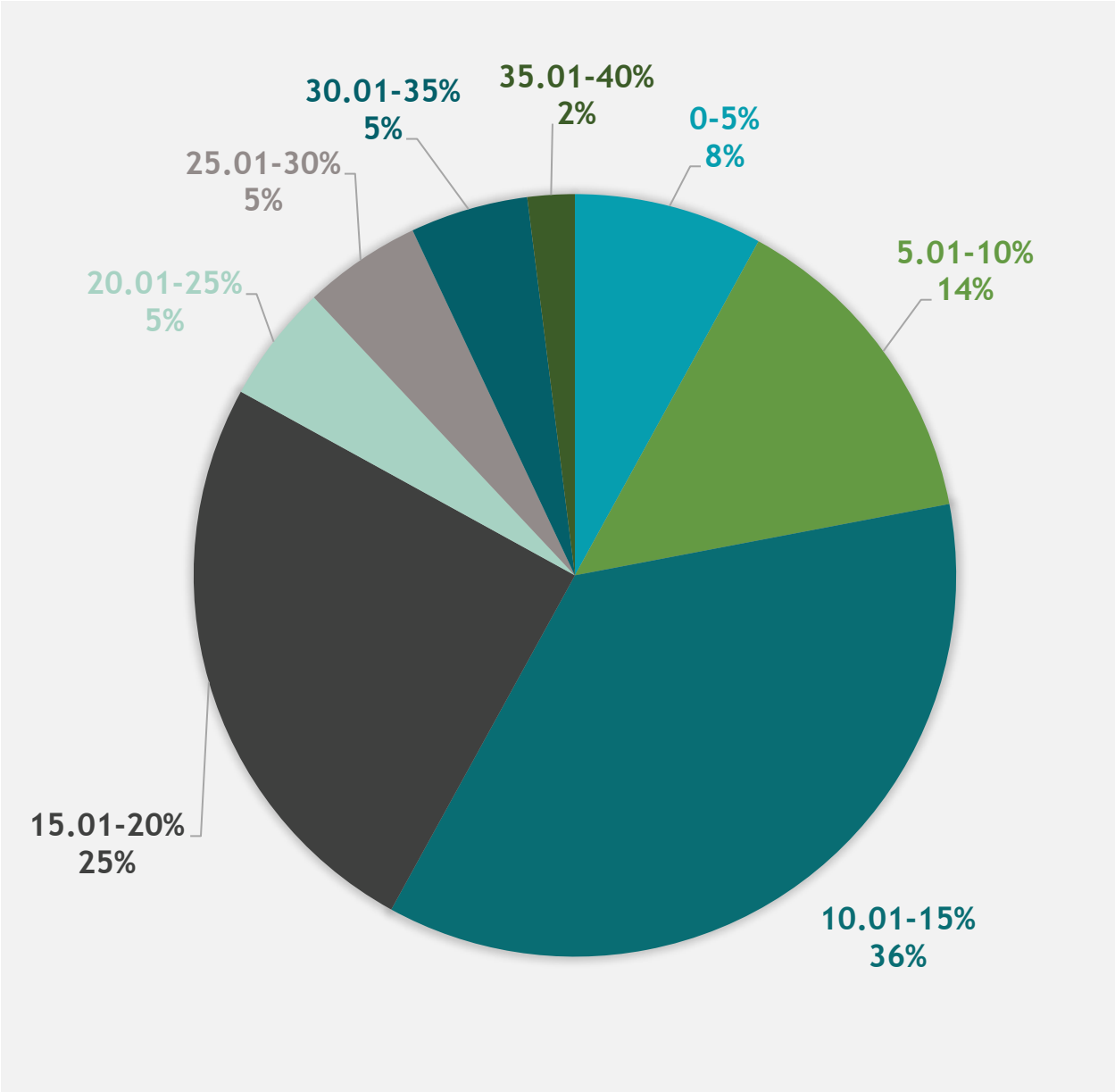
  

National Register Contributing/Non-Contributing Status	Average Coverage
Contributing	15.10%
Non-Contributing	13.88%

# Results, Continued

## Breakdown of all Sampled Houses

Metric	% of Sampled Houses
Between 0-5%	8%
Between 5.01-10%	14%
Between 10.01-15%	36%
Between 15.01-20%	25%
Between 20.01-25%	5%
Between 25.01-30%	5%
Between 30.01-35%	5%
Between 35.01-40%	2%



**Next Meeting:  
February 16 @ 6:30**

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