

HOLMES RUN ACRES POTENTIAL HOD DESIGN GUIDELINES DRAFT

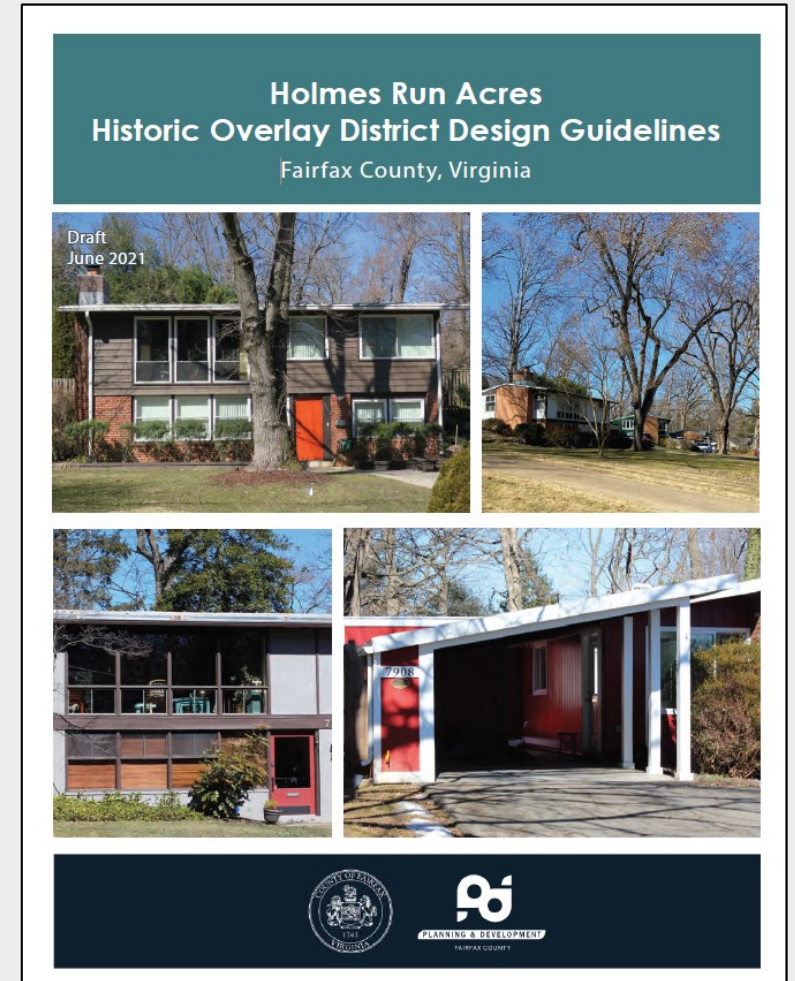
Work Group Meeting #10
December 15, 2021

EHT ||| TRACERIES
HISTORIC PRESERVATION

PURPOSE OF THE DESIGN GUIDELINES

HOD design guidelines are a comprehensive document intended to:

- Provide historical background on the HOD
- Identify character-defining features that should be preserved
- Provide practical guidance to facilitate ARB consideration of project applications
- Encourage compatible design and treatments that maintain, strengthen, and enhance the historic and architectural character of the community
- Provide **recommendations** for design and treatment strategies that are consistent with the ARB's review standards
 - Fairfax County Zoning Ordinance section 3101.6
 - Guidelines are based on the *Secretary of the Interior's Standards for Rehabilitation* which are used in the ARB's review of projects



PURPOSE OF THE DESIGN GUIDELINES

Guidelines are NOT intended to:

- Preserve the neighborhood as a snapshot in time
- Stunt innovative design
- Give absolute, case-specific advice, or address exceptions or unusual conditions
- Inhibit creative, thoughtful, or design solutions that may not fit within the design guidelines



ARB REVIEW STANDARDS/ SOI STANDARDS FOR REHABILITATION

- Fairfax County Zoning Ordinance Sec. 3101.6 “Administration of Historic Overlay District Regulations” (<https://online.encodeplus.com/regs/fairfaxcounty-va/doc-viewer.aspx?secid=524>)
- Based on the Secretary of the Interior’s Standards for Rehabilitation

1. A property should be **used for its historic purpose or be adapted for a new use that requires minimal change to the defining characteristics** of the building, its site, and the surrounding area.
2. The historic character of a property should be retained and preserved; the **removal of historic materials or alteration of features and spaces that characterize a property should be avoided.**
3. The **changes must not create a false sense of historical development.**
4. Changes that have acquired historic significance over time should be retained and preserved.
5. **Distinctive features, finishes, and construction techniques** or examples of craftsmanship that characterize a historic property **should be preserved.**
6. **Deteriorated historic features should be repaired rather than replaced** unless the severity of deterioration requires replacement of a distinctive feature; the **new feature should match the old** in design, color, texture, and other visual qualities, and, where possible, materials; replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.
7. Harsh chemical or abrasive treatments that cause damage to historic materials should not be used; the surface cleaning of structures, if appropriate, should be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project should be protected and preserved; if those resources must be disturbed, mitigation measures should be undertaken.
9. **New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property; new work should be differentiated** from the old and should be **compatible** with the massing, size, scale, **and** architectural features to protect the historic integrity of the property and its environs.
10. New additions or related new construction should be undertaken so that if they are removed in the future, the essential form and integrity of the historic property and its environs would be unimpaired.
11. **Site design**, including the placement of structures, shaping of landforms, and use of plant materials **should be undertaken so that the visual characteristics and physical integrity of a historic property and its environs is preserved and enhanced.**
12. **New construction** associated with new development **should be undertaken in a manner that is compatible and complimentary to the existing character of the historic district.**

REVISED HRA DESIGN GUIDELINES



Contents

Chapter 01 - Introduction to the District-Specific Design Guidelines

- Introduction to the Historic Overlay District Design Guidelines
- HOD Regulations and Project Review Summary
- Using these Design Guidelines

Chapter 02 - History and Significance

- Statement of Significance
- Development History

Chapter 03 - Historic Overlay District Overview

- HOD Boundary
- Resource Inventory – Contributing and Non-Contributing Resources
- Summary of District Character
 - Character-Defining Features
 - HRA House Types

Chapter 04 - Design Guidelines

- Guidelines for Preserving Architectural Character: Preservation & Rehabilitation of Existing Buildings
- Guidelines for Architectural Compatibility & Neighborhood Cohesion: New Construction & New Additions
- Guidelines for Preserving Setting: Landscape, Streetscape & Archaeological Resources

Appendix

- Appendix A – Glossary of Terms & Acronyms
- Appendix B – Preventative and Cyclical Maintenance Checklist
- Appendix C – Additional Resources
- Appendix D – List of Contributing and Non-Contributing Properties

DESIGN GUIDELINES ORGANIZATION

Guidelines for Preserving Architectural Character: **Preservation & Rehabilitation of Existing Buildings**

- Building Elements & Features
 - Foundations
 - Walls and Exterior Cladding
 - Roofs
 - Windows
 - Entrances, Patios, Porches, Decks
 - Details and Ornamentation
 - Systems
 - Garages and Carports
- Adaptation
 - Health, Safety, Accessibility
 - Sustainability

Guidelines for Architectural Compatibility & Neighborhood Cohesion: **New Construction & New Additions**

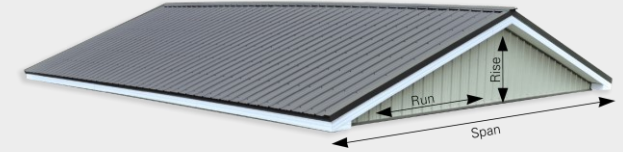
- Siting and Site Design
- Size, Scale, and Massing
- Proportion and Symmetry
- Building Elements and Features
 - Foundations, Exterior Cladding
 - Roofs
 - Entrances, Patios, Porches, and Decks
 - Windows
 - Details and Ornamentation
 - Garages, Carports and Accessory Structures

Guidelines for Preserving Setting: **Landscape, Streetscape & Archaeological Resources**

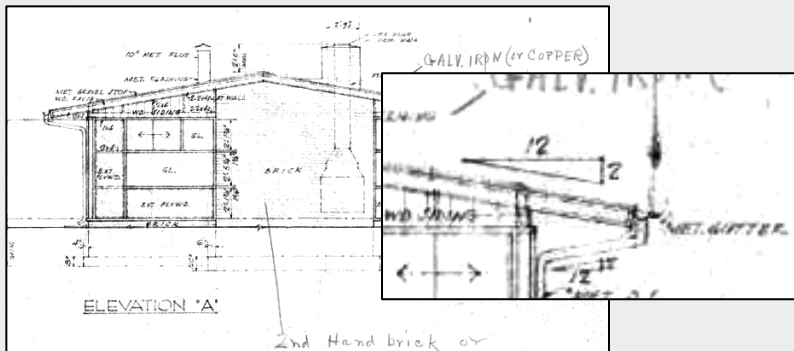
- Site Design
- Landscape
- Fencing and Privacy Screens
- Driveways
- Archaeological Resources

DG DISCUSSION — ROOF PITCH

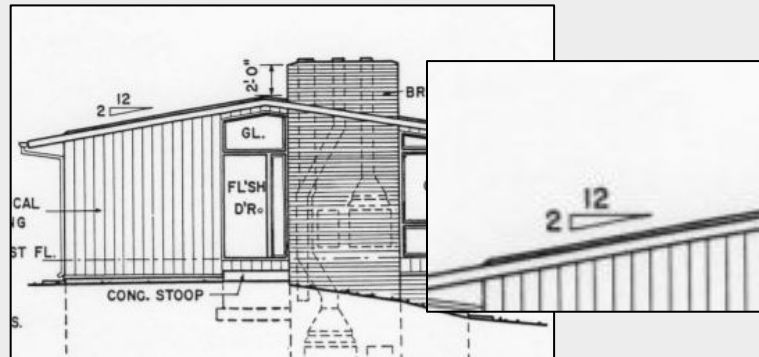
- HRA houses designed with low-pitch roofs ranging from 1/12 – 1/12 pitch
- **Luria** – 2/12
- **Gaddy** – 2/12
- **Bodor** - ~1-1.25/12 (appears almost flat)



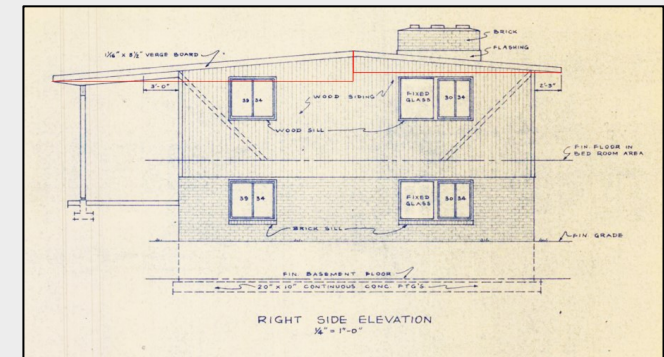
Roof pitch diagram (Everlastroofing.com)



Luria



Gaddy



Bodor

DISCUSSION — ROOF PITCH

Preservation & Rehabilitation of Existing Buildings **(p. 47-48)**

Recommended:

- Retaining original low-slope gable roof forms, (including the shape, structure, and planar form), materials, and original chimneys
- If necessary due to deterioration or damage, replace roofing materials with new materials that are compatible with the historic material, color (gray), and overall appearance. More flexibility in material selection may be granted for flat roofs where the roofing material is not readily visible

Not Recommended:

- Altering the original roof shape, form, height, or pitch
- Using incompatible roof materials or colors on visible roof slopes, such as slate, tile, shake, standing seam metal, or highly variegated asphalt shingles

New Construction & New Additions (p. 63)

Recommended:

- Selecting roof types, slopes, materials, and textures that are consistent with existing examples in the neighborhood
- Selecting roof forms and pitches that are low sloped and have a strong horizontal, planar emphasis
- Selecting roofing materials and colors that are compatible with the historic character of the building. Compatible roofing materials may include but are not limited to: built-up roofing; minimally textured, single-layer composite shingles; or single-ply membranes

Not Recommended:

- Building new construction or additions with hipped roofs; steeply pitched roof slopes; or complex roof forms that contrast with the low-slope gable roof forms throughout the neighborhood
- Using incompatible roof cladding material or colors on highly visible roof forms: slate, tile, shake, or highly variegated shingles



Low-slope side gable roof with wide exterior chimney and overhanging eaves (recommended).



Front addition with a low-slope roof (recommended).



Addition with a gravel-clad low-slope shed roof (recommended).

PROCESS/ NEXT STEPS



Kickoff Meeting with DPD Staff

- Establish goals and vision
- Solicit feedback

Research and Site Visit

- Review of existing materials
- Additional Research
- Perform On-Site Survey

Draft Development

- Draft Potential HOD Design Guidelines
- Participate in Work Group Meetings
- Coordinated effort with Overall Design Guidelines and other HOD-specific Design Guideline updates

Community Meeting

- Meeting with stakeholders and community to solicit feedback

Architectural Review Board

- Submit to the ARB for review and to solicit feedback

Finalize Design Guidelines

- Finalize design guidelines with public and ARB input