

Holmes Run Acres Potential HOD Workgroup Meeting #12

February 16, 2022 @ 6:30

Teams Virtual meeting



PLANNING & DEVELOPMENT



What is a Historic Overlay District?

- A zoning tool that helps to promote “ *the general welfare ...through the identification, preservation, and enhancement of those buildings, structures, neighborhoods, landscapes, places and areas that have historical, cultural, architectural or archaeological significance*” (Z.O. Article 3 section 3101)
- Prevent encroachment of new buildings or structures
- Promote upkeep and rehabilitation of older structures
- Ensure new development within district is appropriate

How is a Historic Overlay District Established?

- At the direction of the Board of Supervisors in January 2020, county staff are conducting a study and will prepare a report with recommendations. This will include, but is not limited to:
 - Analysis and recommendations on the historic and architectural significance of the district
 - Analysis of current conditions - description of individual structures, present trends and desirable objectives for preservation
 - Description of existing structures and a determination of whether they contribute to the historic character of the district
 - Identification of uses likely to have an adverse effect on desired character
 - Description and justification of boundaries

What could a potential HOD Designation mean for your property?

- It does not apply to interior alterations.
- Existing renovations can remain
- Underlying Zoning (R-3) remains in place
- Architectural Review Board (ARB) approval would be required before a building permit can be issued for exterior renovations, construction or demolition

PERMIT APPLICATION		County use only	
Permit Application Center 12055 Government Center Parkway Suite 230 Fairfax, Virginia 22035-5504 703-222-0801, TTY 711 www.fairfaxcounty.gov/buildingpermits			
Building #	_____	\$	_____
Mechanical #	_____	\$	_____
Electrical #	_____	\$	_____
Plumbing #	_____	\$	_____
Fire #	_____	\$	_____
Appliance #	_____	\$	_____
Tax Map #	_____	Parent #	_____
		Plan #	_____
Job Location			
Street Address _____			
Lot Number	_____	Building	_____
		Floor	_____
		Suite	_____
Tenant's Name		_____	
		Subdivision	_____
Owner Information			
Name	_____		<input type="checkbox"/> Owner <input type="checkbox"/> Tenant
Address _____			
City	_____	State	_____
		ZIP	_____
Phone	_____	Email	_____
Contractor Information (see back for additional contractors)			
Company Name	_____		<input type="checkbox"/> Same as Owner
Address		_____	
		Contractor ID #	_____
City	_____	State	_____
		ZIP	_____

The Architectural Review Board

- Regulatory Authority
- Appointed by the Board of Supervisors
- Architectural Review Board (ARB) reviews and is responsible for:
 - APPROVAL of exterior projects that require building permits and sign permits
 - RECOMMENDATIONS on rezoning, special exceptions, special permit, variances, and grading plans, and in some instances subdivision plats in the county's historic overlay districts.

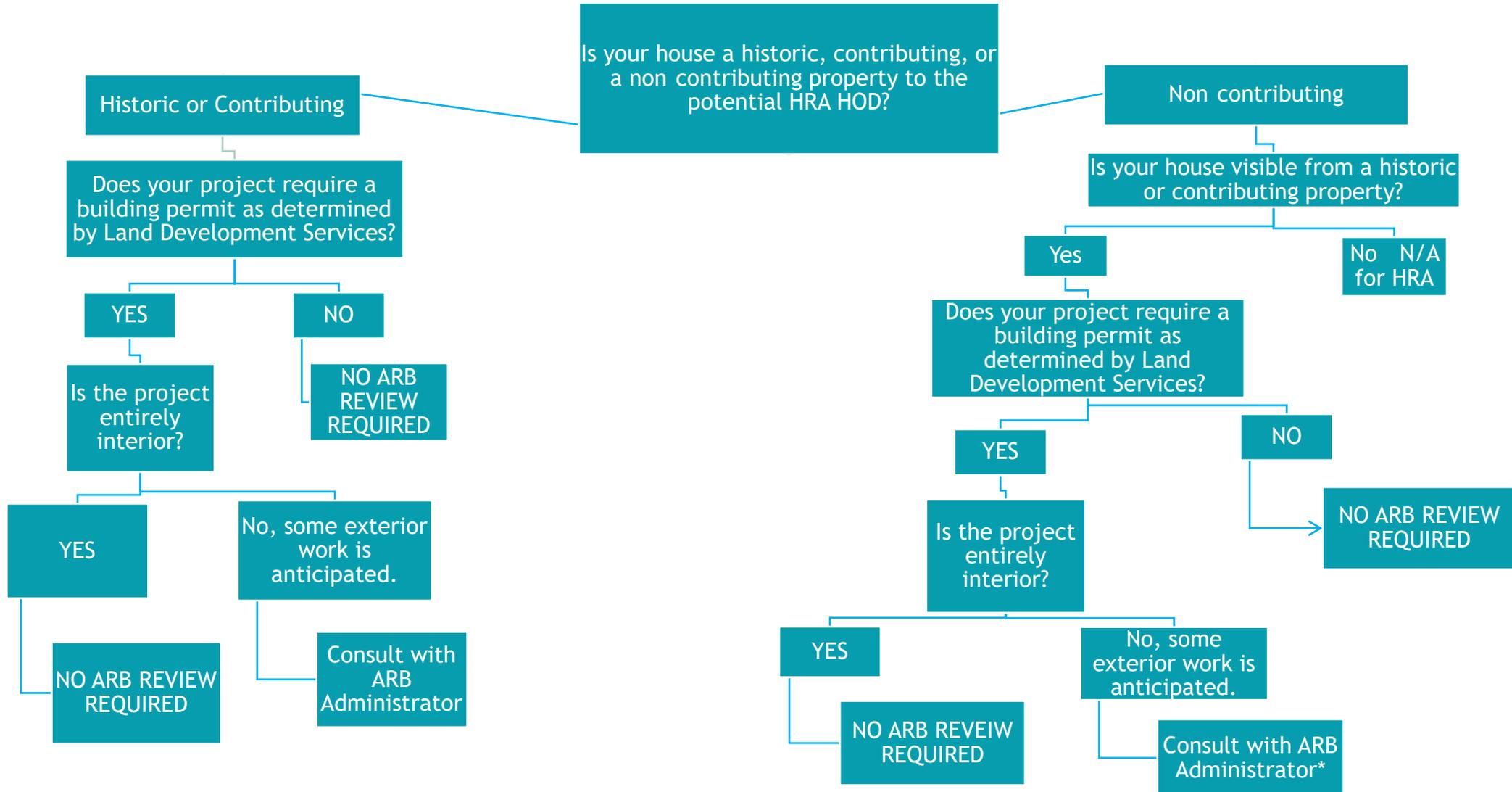
When is a building permit required?*, ** (Partial List)

* Please visit the Land Development Services Webpage for a complete list

** Alterations for ARB review may be added or removed from this list pending the staff analysis and Work Group determinations if a HOD is recommended

A permit IS required for...	A permit IS NOT required for...
New buildings, additions and structures	Fences
Porches and decks (including alterations to existing)	Residential window replacements
Sheds and playhouses over 256 square feet	Residential door replacements
Swimming pools	Gutters
Retaining walls over 3 feet	Playground equipment
New exterior stairs or stoops	On-grade patios (including wood patios)
Demolition of buildings and structures	Driveways

ARB REVIEW OF PROJECTS INVOLVING BUILDINGS OR STRUCTURES DRAFT



Administrative Reviews for Permits in the Potential Holmes Run Acres HOD

Department of Planning and Development Heritage Resources staff will review and approve building permits on the ARB's behalf in the following circumstances:

1. For re-roofing or re-siding of non-contributing buildings or structures, when the replacement roofing or siding is similar in color, material, and texture to that which is being replaced; or
2. For signs previously approved by the ARB as part of a larger property-wide sign plan.*

**Fairfax County Zoning Ordinance Article 3 Section 3101.6C(3) b and c.*



Holmes Run Acres Potential HOD Design Guidelines

November 2021 - DRAFT

Design Guidelines November 2021 Draft

- Recommendations, not requirements
- Intended to support the preservation and continues evolution of the community's character
- Not site-specific - they are not an exercise in evaluating each house for recommended or not recommended treatments.
- Aligned with preservation standards to retain character defining features and preserve character of the HOD



HOLMES RUN ACRES POTENTIAL HOD
DESIGN GUIDELINES DRAFT

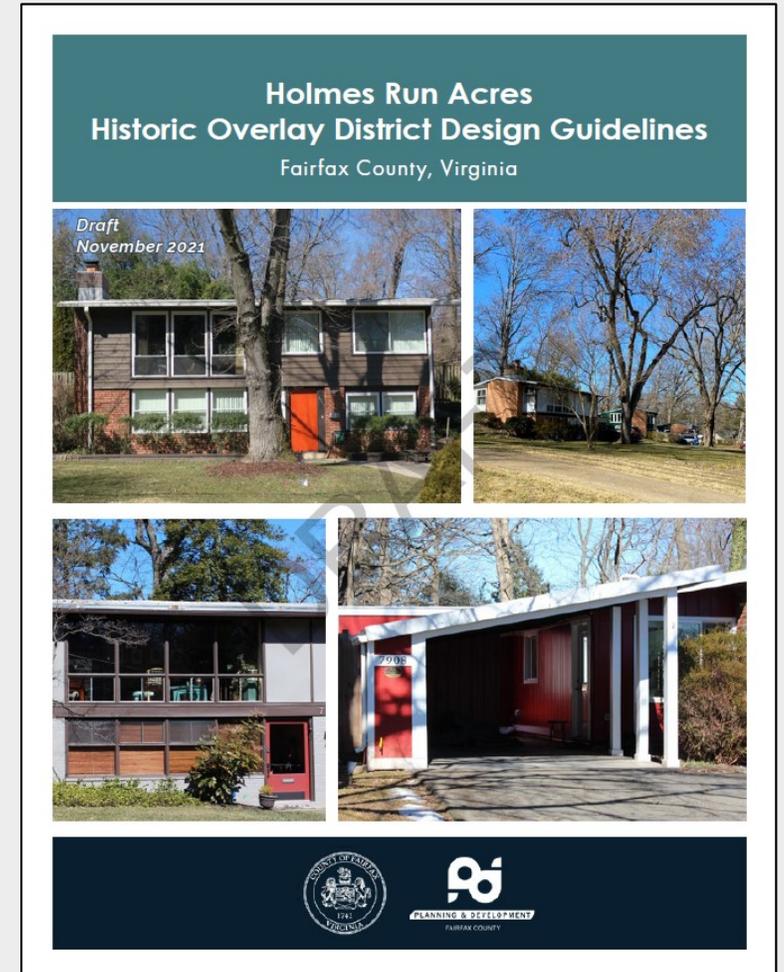
Work Group Meeting #12
February 16, 2022

EHT ||| TRACERIES
HISTORIC PRESERVATION

COMMENTS RECEIVED

Comments received on the November 2021 Draft focus on:

- Schools, parks, and landscape features
- Roofs (Color and Material)
- Driveways
- Photographs and contradictions
- Other:
 - Storm doors
 - electric car charging stations
 - Index



SCHOOLS, PARKS, AND LANDSCAPE

Comments

- “Luria Park and Woodburn Elementary have potential historical significance, as well as landscape features designed, constructed, or donated by Holmes Run Acres residents - and design guidelines should recommend their retention, maintenance, and improvement.”
- “I'd like to see more attention to non-residential uses, especially schools, parks, and uses allowed by special permit or special exception.”

Design Guideline Response

- Design guidelines note that Luria Park is a primary landscape feature in the neighborhood (70)
- Will add the following under Recommended guidelines for Landscape Design:
 - “Retain Luria Park as an open landscape with opportunities for active and passive recreation”

ROOFS (COLOR AND MATERIAL)

Comments

- “In the Not Recommended section the following 2 bullets should be addressed and reworded or removed.
 - "Inserting new roof penetrations such as dormer windows“
 - "Using incompatible roof materials or colors on visible roof slopes, such as slate, tile, shake, standing seam metal, or highly variegated asphalt shingles“

Design Guideline Response

- Design guidelines recommend against inserting skylights or solar panels on **highly visible** roof slopes. (p 60)
- Will add following under Recommended:
 - “Install low-profile gutters on non-visible or minimally visible secondary roof slopes”
- ARB Review Standards for review of projects is based on the SOI Standards for Rehabilitation. The materiality, color, and texture are important components of the appearance and character of the homes

Standard #6: Deteriorated historic features should be repaired rather than replaced unless the severity of deterioration requires replacement of a distinctive feature; **the new feature should match the old in design, color, texture, and other visual qualities, and, where possible, materials**; replacement of missing features should be substantiated by documentary, physical, or pictorial evidence

ROOFS (COLOR AND MATERIAL)

Guidelines for Preserving Architectural Character: Preservation & Rehabilitation of Existing Buildings

Roofs, Roof Features, and Materials

Roof form and materials, eaves, gutters, and chimneys all contribute to a building's appearance and are important features to retain and preserve. Typical original roof types in the neighborhood are low-slope gable roofs, which emphasize a building's horizontality and unity with the landscape. Rooflines can be either symmetrical or asymmetrical and typically feature large, two-foot overhangs and thin eaves. Original roofs were covered in raised or built-up tar and gravel roof surface. Many roofs in the neighborhood have been replaced with alternative materials over the years due to maintenance or cost considerations. As a result, the guidelines recognize that if replacement in-kind is not feasible, than a compatible substitute material may be considered. Massive exterior brick chimneys are present throughout the neighborhood, usually located at the façade or side elevation of a home. They are typically visible from the street frontage and strongly contribute to a home's aesthetic character.

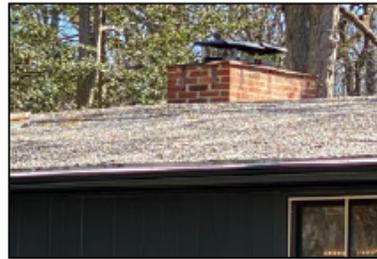
Guidelines

Recommended

- Retain original low-slope gable roof forms, (including the shape, structure, and planar form), materials, and original chimneys
- If necessary due to deterioration or damage, replace roofing materials with new materials that are compatible with the historic material, color (gray), and overall appearance. More flexibility in material selection may be granted for flat roofs where the roofing material is not readily visible
- Maintain elements that emphasize the lightweight construction of the building, including narrow roof edge profiles, wide overhanging eaves, and wood fascia boards
- Install low-profile gutters and downspouts



Low-slope side gable roof with overhanging eaves (recommended).



Low-slope gravel-clad side gable roof with low-profile gutters and internal brick chimney (recommended).

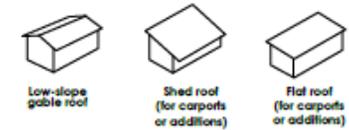


Low-slope side gable roof with wide exterior chimney and overhanging eaves (recommended).

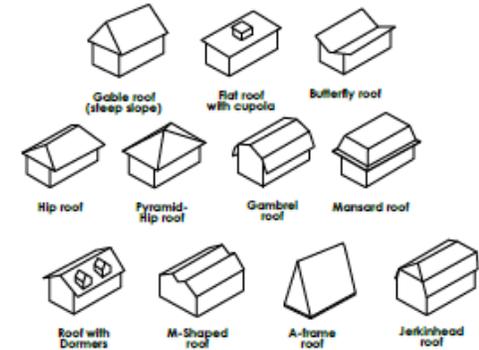
Not Recommended

- Altering the original roof shape, form, height, or pitch
- Removing or altering original chimneys
- Introducing exposed beam ends or rafter tails, a feature present in other midcentury neighborhoods but not Holmes Run Acres
- Applying aluminum or vinyl fascia
- Installing new gutters that are bulky or otherwise incompatible with the roof form
- Inserting new roof penetrations such as dormer windows
- Using incompatible roof materials or colors on visible roof slopes, such as slate, tile, shake, standing seam metal, or highly variegated asphalt shingles

Recommended



Not Recommended



Graphic of recommended and not recommended roof types. EHT Tracerics, Inc.

ROOFS (COLOR AND MATERIAL)

Guidelines for Architectural Compatibility & Neighborhood Cohesion: New Construction & New Additions

Roofs, Roof Features, and Roof Materials

Guidelines

Recommended

- Select roof types, slopes, materials, and textures that are consistent with existing examples in the neighborhood
- Select roof forms and pitches that are low sloped and have a strong horizontal, planar emphasis
- Utilize narrow and consistent roof edge profiles that emphasize the lightweight construction of the building or addition
- Include overhanging eaves (typically 2 feet) and wood fascia boards
- Install low-profile gutters that form a visual extension of the roof edge
- Select roofing materials and colors that are compatible with the historic character of the building. Compatible roofing materials may include but are not limited to: built-up roofing; minimally textured, single-layer composite shingles; or single-ply membranes

Not Recommended

- Building new construction or additions with hipped roofs; steeply pitched roof slopes; or complex roof forms that contrast with the low-slope gable roof forms throughout the neighborhood
- Removing an original chimney to accommodate a new addition
- Extending beam ends/rafter tails beyond the eave
- Introducing non-wood fascia (such as vinyl or aluminum)
- Installing high-profile gutters
- Inserting highly visible roof penetrations, such as dormer windows or large pyramid skylights
- Using incompatible roof cladding material or colors on highly visible roof forms: slate, tile, shake, or highly variegated shingles



Front addition with a low-slope roof (recommended).



Addition with a gravel-clad low-slope shed roof (recommended).



Addition (image left) that appears as a continuation of the original roof (recommended).

DRIVEWAYS

Comments

- “The original driveways in the district were poured concrete. This bullet from page 78 again, does not conform with retaining the integrity to the district's period of significance. Pave driveways with concrete, as done originally, or use compatible materials such as pea gravel or permeable pavers, if use of compatible materials such as pea gravel or permeable pavers is considered retaining the integrity to the district's period of significance, then so should paving with dark asphalt. On the same page use of dark asphalt is Not Recommended.”

Design Guideline Response

- Will revise guidance to clarify
- Where driveways are concrete, concrete should be retained, repaired, or replaced in-kind.
- Recognize need for expanding driveways and parking pads in some cases. In these instances, alternative materials such as gravel or permeable pavers may be preferred to reduce their visual impact on the landscape.

PHOTOGRAPHS AND CONTRADICTIONS

Comments

- “The majority of the color photos in the document I'm assuming are to illustrate recommended features of the homes. What I found is that they also illustrate non recommended features. This is very contradicting information for a design guide that is to be used for ensuring permitted property expansion are in accordance with the HOD.”



Addition with a compatible flush wood door with narrow sidelight (recommended).

Design Guideline Response

- Many if not all of the houses within HRA have undergone alterations
- Photographs within the documents are intended to provide examples of recommended features under a particular section with captions that identify the recommended feature
- Can look at eliminating some photographs and cropping others where possible to reduce confusion

A photograph of a compatible door on an addition (recommended) with painted brick (not-recommended) (p 64)

OTHER COMMENTS

Comments

- “The document has not included and/or discussed the installation of storm doors or electric car charging stations. Both of these items should be addressed in the appropriate sections.”
- “An index for anyone reading the guidelines in print would also be helpful.”

Design Guideline Response

- Proposed guidance for storm doors (Entrances p49):
 - Recommended: Adding storm doors with a single pane configuration that will not obscure the characteristics of the historic doors.
- Proposed guidance for electric car charging stations (Sustainability):
 - Recommended: Installing new electric charging stations within carports or along secondary elevations in a manner that does not obscure, damage, or destroy character-defining of the house
- Will add an index.
 - If there are specific key terms that you want to see in the index please let us know.

ARB REVIEW STANDARDS

1. A property should be used for its historic purpose or be adapted for a new use **that requires minimal change to the defining characteristics of the building, its site, and the surrounding area.**
2. **The historic character of a property should be retained and preserved; the removal of historic materials or alteration of features and spaces that characterize a property should be avoided.**
3. The **changes must not create a false sense of historical development.**
4. Changes that have acquired historic significance over time should be retained and preserved.
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property should be preserved.**
6. **Deteriorated historic features should be repaired rather than replaced** unless the severity of deterioration requires replacement of a distinctive feature; the new feature should match the old in design, color, texture, and other visual qualities, and, where possible, materials; replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.
7. **Harsh chemical or abrasive treatments that cause damage to historic materials should not be used;** the surface cleaning of structures, if appropriate, should be undertaken using the gentlest means possible.

- Fairfax County Zoning Ordinance Sec. 3101.6 “Administration of Historic Overlay District Regulations” (<https://online.encodeplus.com/regs/fairfaxcounty-va/doc-viewer.aspx?secid=524>)
- Based on the Secretary of the Interior’s Standards for Rehabilitation

8. Significant archaeological resources affected by a project should be protected and preserved; if those resources must be disturbed, mitigation measures should be undertaken.
9. **New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property; new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environs.**
10. New additions or related new construction should be undertaken so **that if they are removed in the future, the essential form and integrity of the historic property and its environs would be unimpaired.**
11. **Site design**, including the placement of structures, shaping of landforms, and use of plant materials should **be undertaken so that the visual characteristics and physical integrity of a historic property and its environs is preserved and enhanced.**
12. **New construction** associated with new development **should be undertaken in a manner that is compatible and complimentary** to the existing character of the historic district.



**Holmes Run Acres
Potential HOD
Community Meeting
Anticipated: May 2022**

Holmes Run Acres Potential Historic Overlay District Community Meeting

- Work with Supervisor's office and the Civic Association
- Mailer going out to everyone in the community
- Go over the history of the study
- Timeline with milestones

Holmes Run Acres Potential Historic Overlay District Community Meeting

Staff will present findings from study required in the Zoning Ordinance, including:

- Uses that are likely to have an adverse effect
- Boundaries
- Character-defining features
- Contributing and non-contributing properties
- Design Guidelines
- Zoning Ordinance amendment



County-Facilitated Poll on Behalf of the HRA Civic Association

Introduction: Edith MacArthur, HRA workgroup

County-Facilitated Poll on behalf of Holmes Run Acres Civic Association

- Post cards with QR codes directing people to the poll
- Using parcel numbers as unique identifier - 1 vote per parcel
- Languages spoken: Spanish and Vietnamese are the two top languages spoken
 - Use Google translation to translate the pages.
 - On the card, we will print a sentence in Spanish and Vietnamese directing them to translation services.
 - Are there any other primary languages that you are aware of that we should be possibly planning for participation?
- Paper ballots available on request
- Paper ballots in other languages we can do with a 3-day turnaround

County-Facilitated Poll on behalf of Holmes Run Acres Civic Association

■ Approximate Timeline

- Printing - 3-4 weeks, once approved by workgroup
- Mailing - 1 week
- Leave poll open 4 weeks
- Mail in ballots must be post-marked the same day the poll closes
 - Must have parcel number or address on the ballot in order to be counted
 - Staff will manually enter paper ballots
- Staff tabulation and analysis - 3-4 weeks
- Community meeting for poll results: approx. 8-10 weeks after launch

County-Facilitated Poll on behalf of Holmes Run Acres Civic Association

- Determining the purpose of the poll
- What questions would the community like answers to?
- How will the information gathered be used?
- Example: Hollin Hills poll <https://publicinput.com/Hollin-Hills-HOD#>

Sample Poll Questions (From Hollin Hills Potential HOD Study)

1. Have you attended or watched any community meetings regarding the proposed Hollin Hills Historic Overlay District? If not, we strongly recommend visiting the Hollin Hills Plan Amendment website to view past community meetings and work group meetings available here: <https://www.fairfaxcounty.gov/planning-development/plan-amendments/hollin-hills-hod>.

Sample Poll Questions (From Hollin Hills Potential HOD Study)

2. If the proposed Hollin Hills HOD is adopted, the Fairfax County Architectural Review Board (ARB) will review and may require modifications to any proposed building permit for certain exterior renovations, construction, or demolitions, before approval to ensure that the proposal is in harmony with the Historic Overlay District's design guidelines. Examples of proposals that would require a building permit include decks, screened-in porches and building additions.

What is your view of the ARB approval requirement for building permit improvements within the proposed Historic Overlay District?

Negative [sliding scale at bottom] Positive

Sample Poll Questions (From Hollin Hills Potential HOD Study)

3. Do you support establishing a Historic Overlay District for the Hollin Hills neighborhood as explained in the background information tabs of the Public Input pages?

No

No opinion

Yes



PLANNING & DEVELOPMENT



Thank you!
Next meeting:
March 16 @ 6:30

<https://www.fairfaxcounty.gov/planning-development/plan-amendments/holmes-acres-run-hod>