

County of Fairfax, Virginia



MEMORANDUM

Board of Supervisors

DATE: 10/3/2019

TO:

Distribution List

FROM:

Tracy D. Strunk, AICP Director, Zoning Evaluation Division Department of Planning and Development

SUBJECT:

Zoning Application Analysis

REFERENCE: Appl

Application No. RZ/FDP 2019-SP-014 Con. W/ PCA/CDPA/FDPA 2017-SP-017

(Brightview Senior Living Development, LLC)

Case Information

Staff Coordinator: Kelly Atkinson

Pre-Staffing: 11/4/2019
Tentative PC: 2/12/2020

Staffing: 12/12/2019 Tentative BOS: TBD

Memo Includes Full-Size Development Plans for Noted (●) Addressees: Yes □ No □

Attached for your review and comment is the zoning case information for the subject application.

Action addressees are requested to provide written comments to the staff coordinator by (10/30/2019) to be considered in preparing staff's recommendation on this application. Information addressees may also submit any comments by the same date.

Action Addressees

- DPD Planning Division Chief, Env. & Dev. Review Br. Attn: Denise James
- DPWES Site and Addressing Attn: Lori Ramsey
- DPWES Sanitary-Sewer Attn: Sharad Regmi
- VDOT Attn: David Jordan
- Fire Prevention Div Plans Review Section Attn: Mike Paruti
- Fairfax County Public Schools Facilities & Transportation Svcs Facilities Planning Svcs Attn: Jessica Gillis
- Dept. of Transportation Transportation Planning Chief, Site Analyst Section Attn: Jeff Hermann
- Dept. of Housing & Comm. Dev. Housing Development Div. Housing Development Officer Attn: Abdirazak Hamud

- Fairfax County Park Authority Planning & Development Div. Plan Review Coordinator Attn: Lynne Johnson 4th fl.
- Northern Va Soil and Water Conservation District Attn: Willie Woode
- Planning Commission
 Board of Supervisors
 Springfield District
- DPD-Community Revitalization Attn: Elizabeth Hagg *CRD/CRA only*
- DPD-Urban Centers Section Attn: Chris Caperton *Reston or Tysons only*
- Fairfax County Water Authority Planning & Engineering Div. Manger, Planning Dept. Attn: Greg Prelewicz Attn: Ross Stilling

Dept. of Tax Administration Real Estate Division Director Attn: Thomas Reed

Dept. of Health Div. of Environmental Health Technical Review and Information Resources Attn: Kevin Wastler

Fairfax County Public Schools Facilities & Transportation Svcs Office of Design & Construction Services Attn: Eric Brunner

Fire & Rescue Dept. Information & Technology Attn: Eric Fisher

DPWES Site and Dev Svcs Chief, Urban Forestry Branch Attn: Craig Herwig

Information Addressees

- Economic Dev. Authority Director, Real Estate Services Attn: Curtis Hoffman
- Planning Commission Executive Director Attn: Jill Cooper

Clerk to Board of Supervisors Attn: Cathy Chianese

DPD-ZED Division Director Attn: Tracy Strunk, AICP DPD-ZED Asst. Director Attn: William Mayland

DPD-ZED Attn: Branch Chiefs

Conformance Review & Acceptance Branch Attn: Suzanne Wright

DPD-ZED Admin. Asst., Legal Notices Attn: Rachael Pendergraph

DPD Chief Zoning Inspector Attn: Mavis Stanfield

Dept. of Information Technology Technology Infrastructure Div. Attn: Steve Brundage

Dept. of Family Services Adult Aging Services AAA, B-3-708 Attn: Jacquie Woodruff

Southeast Fairfax Dev. Corp. Attn: Tony Fontana *MV or LEE only*



Department of Planning and Development

Zoning Evaluation Division 12055 Government Center Parkway, Suite 801 Fairfax, Virginia, 22035-5509

Phone: 703 324-1290 / Fax: 703 324-3924 www.fairfaxcounty.gov/planning-development/



Date Application Accepted: September 27, 2019

COUNTY OF FAIRFAX

Department of Planning and Development

Zoning Evaluation Division

12055 Government Center Parkway, Suite 801

Fairfax, VA 22035 (703) 324-1290 TTY 711

https://www.fairfaxcounty.gov/planning-development/zoning/application-packages-017-SP-017

(Staff will assign)

ZONING APPLICATION

RECEIVED
Dept of Planning & Development

ADDLICATION TYPE	RZ 🗸	PCA FDP 7 CI	DPA DPA DPA	CP	SEP 27 2019
APPLICATION TYPE(S	CPA _	PRC PRCA C	SP CSPA AA A	FAR	Zoning Evaluation Divis
TO: THE BOARD	OF SUPERV	ISORS OF FAIRFAX	COUNTY, VIRGINIA		
(We), Brightview Se	nior Living Dev	elopment, LLC	the applicant(s) petition y	ou to adopt ar	ordinance amending the
Zoning Map of Fairfax Co	unty, Virginia, by District.	y reclassifying the below	noted property from the R-2(C), WSPOD	District to the
(PCA) This application (case) in order to permit	on proposes to a	amend the proffers appro	oved pursuant to		
Is this a partial PCA?	(Y/N) If Yes	s, please identify affecte	ed acreage:		-
TAX MAP PARCEL(S)	:	Marting	of Esperator	ati Pink	3
55-4((1))36B		NAME OF TAXABLE PARTY.			<u> </u>
TOTAL ACREAGE:	6,859 square feet	10.16 AC.	CURRENT ZONING DIS	TRICT: R-2	(C)
LEGAL DESCRIPTION	N: Deed B	ook: ²⁵⁸⁴²	Page No	.: 2197	I THE I
POSTAL ADDRESS O	F PROPERTY	(INCLUDING ZIP CO	ODE):	W. 1 11 11 11 11 11 11 11 11 11 11 11 11	
12723 and 12725 Lee	Highway, Fairf	fax, VA 22030			Charles and
ADVERTISING DESCR	RIPTION: (Ex.:1	North side of Lee Highwa	ay approx. 1000 feet west of its	s intersection v	with Newgate Blvd.)
On the south side	of Lee Highw	av. approximately 450) feet west of its intersection	with Summi	t Drive (Rt. 1257)
EXISTING USE:	Vacant		PROPOSED USE:		dent Living/Assisted living
MAGISTERIAL DISTRI	ICT: Springfie	eld	OVERLAY DISTRICT(S	: WSPOD	1 - 1 - 2 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -
Waiver/Modification o	of Submission	Peguirements Pegu	uested:		
The name(s) and address	(es) of owner(s) power to authori	of record shall be provided and does hereby aut	ded on the affidavit form attach horize Fairfax County staff rep	ned and made resentative or	part of this application. official business to enter
Applicant Contact Nar	me:		Agent Name:		
Maria Miller, Brightvi	ew Senior Livin	g Development, LLC	Greg Riegle/Lori	Greenlief, Mc	GuireWoods LLP
Address:			Address:		
Street: 218 N. Charles S	Street, Suite 220)	Street: 1750 Tysons Blvd	. Suite 1800	
City: Baltimore	State: MD	Zip: 21201	City: Tysons	State: VA	Zip: 22102
Phone Number:			Phone Number:		
(W): 410-246-7572	(C):		(W): 703-712-5433	(C):5	71-274-1316
E-mail:			E-mail:		
/	emiller@bvsl.n	et	Igreenlief	@mcguirewo	ods.com
my manufacture of the state of					
Signature:	And		Date:	7)46/19	

Application Fee Paid: \$ 29,625.00



COUNTY OF FAIRFAX
Department of Planning and Development
Zoning Evaluation Division
12055 Government Center Parkway, Suite 80

12055 Government Center Parkway, Suite 801 Fairfax, VA 22035 (703) 324-1290 TTY 711

Date Application Accepted: Systember 24, 2019

APPLICATION#:
Concurrent
With

PCA 2017-SP-017 CPPA 2017-SP-017 FDPA 2017-SP-017 (Staff will assign)

https://www.fairfaxcounty.gov/planning-development/zoning/application-packages

ZONING APPLICATION

RECEIVED
Dept of Planning & Development

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APPLICATION TYPE(S	RZ CPA C	THE CONTRACT DECISION NAMED IN TAXABLE PARTY.		CP AFAR	SEP 27 2019
TO: THE BOARD	OF SUPER	VISORS OF FAIRFA	X COUNTY, VIRGINIA		Zoning Evaluation Divis
(We), Brightview Ser	nior Living Dev	elopment, LLC	the applicant(s) petition	you to adopt a	an ordinance amending the
Zoning Map of Fairfax Cou PDH-4, WSPOD	ınty, Virginia, b District.	y reclassifying the below	w noted property from the PDH	I-4, WSPOD	District to the
(PCA) This application	n proposes to	amend the proffers app	roved pursuant to RZ 2017-SF	P-017	
The same of the sa			on of outdoor recreation area		
Is this a partial PCA? N	- (Y/N) If Ye	es, please identify affecte	acreage:		
TAX MAP PARCEL(S):					
55-4((1))31A					
TOTAL ACREAGE: 5	5.62 acres		CURRENT ZONING DIS	TRICT: PD	H-4, WSPOD
LEGAL DESCRIPTION:	: Deed B	ook: 25853	Page No	.: 1270	
POSTAL ADDRESS OF	PROPERTY	(INCLUDING ZIP CO	ODE):		
12723 and 12725 Lee H	lighway, Fair	fax, VA 22030			
ADVERTISING DESCRI	PTION: (Ex :	North side of Lee Highw	ray approx. 1000 feet west of its	intersection	with Newgate Blvd)
		-	o feet west of its intersection	And the second s	
XISTING USE:	Motel and		PROPOSED USE:		ident Living/Assisted living
MAGISTERIAL DISTRIC			OVERLAY DISTRICT(S)		
	epiiiigiie			11.01.01	
he undersigned has the point the subject property as n	es) of owner(s) ower to authoria necessary to pr	of record shall be provided and does hereby auti	ded on the affidavit form attach horize Fairfax County staff repr		
pplicant Contact Nam	SOURCE CARROLL STATE OF THE SECOND	- Development III C		Vecaniint Ma	CuiroWoodo LLD
Maria Miller, Brightviev ddress:	v Senior Living	J Development, LLC	Greg Riegle/Lori G Address:	reenlier, IVIC	Guirevvoogs LLP
treet: 218 N. Charles Str	reet Suite 220		Street: 1750 Tysons Blvd.	Suite 1800	
ity: Baltimore	State: MD	Zip: 21201		State: VA	Zip: 22102
hone Number:			Phone Number:		
N) : 410-246-7572	(C):		(W): 703-712-5433	(C):5	571-274-1316
-mail:			E-mail:		
Mer	pijler@bvsl.ne	et	lgreenlief(mcguirewo	ods.com
	11			1	
Signature:	X		Date:	9/36/1	9

Application Fee Paid: \$ 14,985.00

AUG 21 2019

NARRATIVE STATEMENT

Proffer Condition Amendment/Rezoning Application Brightview Development Senior Living, LLC August 20, 2019 **Zoning Evaluation Division**

This set of applications is filed on behalf of Brightview Development Senior Living, LLC (the "Applicant") in order to add land area to a previously approved rezoning and revise the shape and size of a courtyard area which was shown on the approved plan. The property for which the proffer condition amendment is requested contains 5.62 acres and is identified as Tax Maps 55-4((1))31A (previously 55-4((1))30 and 31). The property to be added to the application area contains 6,859 square feet and is identified as Tax Map 55-4((1))36B. Together, this acreage, a total of 5.77 acres, will be known as the "Property" for the purposes of this application.

Background

On January 23, 2018, the Board of Supervisors approved RZ 2017-SP-017 which rezoned Tax Maps 55-4((1))30 and 31 to the PDH-4 and WS Districts to permit the development of an independent living facility (92 units) which also has an assisted living (52 units) and a memory care component (26 units). Subsequent to this approval, the property was purchased by Brightview Senior Living Development, LLC and combined through a subdivision deed into one lot, known as Lot 31A. Also subsequent to this approval, a site plan (#7976-SP-001) was approved for the Property. Construction is intended to begin August 2019. Recently, the adjacent property to the west was also purchased by the Applicant. The adjacent property is a 16 foot wide strip of land that was privately owned and previously used as an outlet road.

Specifics of the Request

The addition of the land area to the west allows one of the resident recreational areas, which was approved on the west side of the building, to be expanded slightly. It is intended that the required 35 foot wide transitional screening yard will shift to the 16 foot wide strip (with 19 feet of screening to remain on the originally rezoned property) allowing the recreation area to be enlarged while also retaining adequate fire access. The strip of land (Lot 36B) will need to be rezoned to the PDH-4 District to become part of the proposed development and the PCA application is necessary in order to revise the configuration of the approved courtyard in that area of the Property. Additionally, a small 16 x 16 pavilion is proposed towards the rear of the building between the building and the western lot line. No other changes to the layout and no changes to density, parking or other proffers are proposed. It is further noted that the acreage of Lot 36B, 6,859 square feet, has not been utilized in the calculation of density of the use.

Narrative Statement Brightview Senior Living Development LLC Page 2 of 4

Conformance with the Comprehensive Plan

The Property is located in Land Unit T of the Fairfax Center Area. Prior to the approval of RZ 2017-SP-017, the Board of Supervisors approved a plan amendment which allowed the development of an independent living facility and/or an assisted living facility on Lots 30 and 31 under certain conditions. It was determined with the approval of RZ 2017-SP-017 that those conditions had been met and the minor revisions proposed with these applications do not change that conformance.

Guidelines for Multifamily Residential Development for the Elderly

With the revisions proposed, the senior living residence will remain in conformance with the three locational guidelines outlined in the Land Use section of the Policy Plan in that:

- 1. Brightview will provide a shuttle service for residents to shopping, doctor's appointments, etc.
- 2. The walkways are designed with elderly needs in mind with respect to slope.
- 3. Brightview is very aware of the need for security for their residents and the senior living community is designed with that in mind.

Zoning Ordinance Requirements

Sect. 6-106, Use Limitations

This section addresses use limitations with the PDH District. Pars. 1 and 2 require conformance with the standards of Part 1 of Article 16 and the performance standards of Article 14. The use and layout were determined to be in conformance with these paragraphs with the original approval and the addition of Lot 36B along with the enlargement of the courtyard in that area of the Property will not affect that determination of conformance. Par. 3 indicates that when a Category use is proposed for consideration on a final development plan, the standards set forth in Article 9, specifically in this case Sect. 9-306 and 9-307, shall be used as a guide. Again, it was determined with the approval of RZ 2017-SP-017 that the use limitations for an independent living facility were met. Although the standards changed slightly with the recent Zoning Ordinance amendment, the addition of this land area does not change the application's conformance with these standards. Further, all medical care facilities will be subject to the review procedures of the Health Care Advisory Board (HCAB) as outlined in Part 3 of Article 9. The Applicant will contact the to determine if this minor amendment requires a presentation to the Board. Par. 4 requires that all uses shall be in conformance with the approved FDP. Pars. 5, 6, 7, 9, 10 and 11 are not applicable. Signs will conform to the Ordinance as required by Par. 8.

Sects. 6-107 and 6-108, Lot Size Requirements and Bulk Regulations

The application meets the lot size of bulk regulations as specified in these two sections.

Article 16: Sect. 16-101, General Standards for All Planned Developments

- 1. General Standard 1 requires conformance with the Comprehensive Plan. As discussed above, the use remains in conformance with the Comprehensive Plan.
- 2. The Application meets General Standard 2 which requires a finding that the proposed planned development achieves the stated purpose and intent of the planned development more effectively than a conventional district. It was determined with the approval of RZ 2017-SP-017 that this standard was met and the revisions proposed do not affect that conformance.
- 3. General Standard 3 requires a finding that the proposal efficiently utilizes the available land, protecting and preserving to the extent possible all scenic assets and natural features. It was determined with the approval of RZ 2017-SP-017 that this standard was met and the revisions proposed do not affect that conformance.
- 4. General Standard 4 requires that the development will not degrade the use or value of surrounding properties and will not hinder the development of surrounding undeveloped properties. Compatibility with the surrounding area is an important element of all Brightview communities and care is taken in the design of architectural elements to ensure affinity with the style, character and feel of the neighborhood. It was determined with the approval of RZ 2017-SP-017 that this standard was met and the revisions proposed do not affect that conformance. Transitional Screening is still proposed along the western lot line.
- 5. The proposal meets General Standard 5 as adequate public facilities are available to serve the property.
- 6. General Standard 6 requires a finding that the application provides coordinated linkages among internal and external facilities and services. Brightview will provide a van service for the residents for shopping, doctor's appointments and other excursions.

Article 16: Sect. 16-102, Design Standards for All Planned Developments

It was determined with the approval of RZ 2017-SP-017 that these standards were met and the revisions proposed do not affect that conformance.

Narrative Statement Brightview Senior Living Development LLC Page 4 of 4

CONCLUSION

Brightview Senior Living Development LLC has the opportunity to improve the layout of the approved independent living facility with this minor increase in 6,859 square feet. The entire 16 foot wide strip will be planted with transitional screening vegetation and the area is not being utilized to calculate or recalculate density. The density is not changing.

For the reasons stated in this statement of justification, the Applicant respectfully requests the staff's and Planning Commission's positive recommendation and the Board of Supervisor's approval of this application.

Respectfully submitted,

Lori Greenlief

Senior Land Use Planner

McGuirewoods LLP

Rezoning Application RZ 2019-SP-014

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC Applicant:

Accepted: 09/27/2019

INDEPENDENT LIVING/ASSISTED LIVING FACILITIES Proposed:

Area:

0.16 AC; DISTRICT - SPRINGFIELD

Zoning Dist Sect: Located:

SOUTH SIDE OF LEE HIGHWAY

APPROXIMATELY 450 FEET WEST OF SUMMIT DRIVE

Zoning:

FROM R-2 TO PDH-4

Overlay Dist:

WS

Map Ref Num: 055-4-/01/ /0036B

Final Development Plan FDP 2019-SP-014

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC Applicant:

Accepted: 09/27/2019

Proposed: INDEPENDENT LIVING/ASSISTED LIVING FACILITIES

Area: 0.16 AC; DISTRICT - SPRINGFIELD

Zoning Dist Sect:

Located: SOUTH SIDE OF LEE HIGHWAY

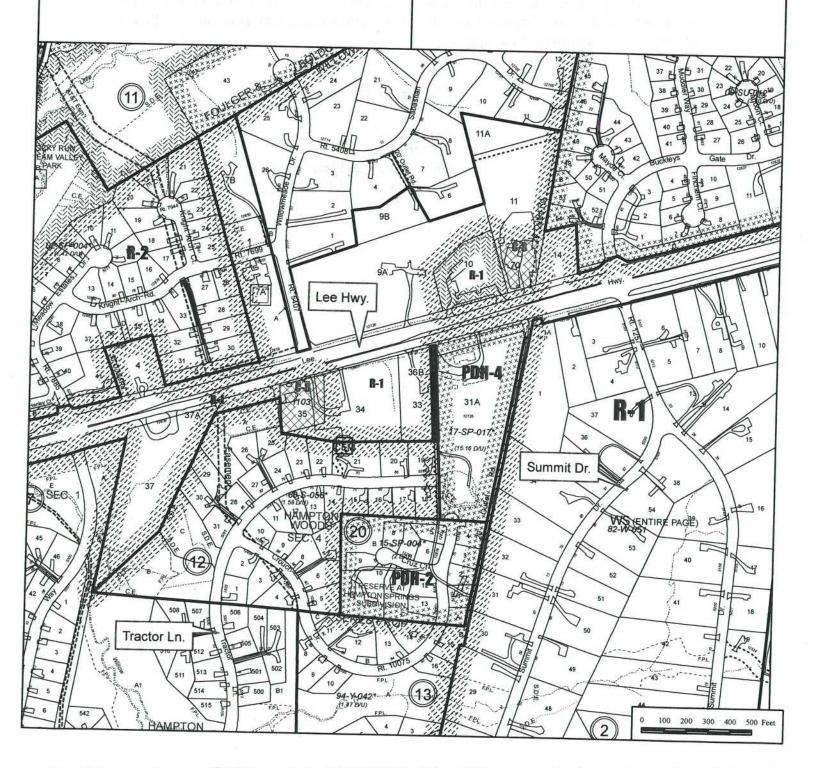
APPROXIMATELY 450 FEET WEST OF SUMMIT DRIVE

Zoning:

Overlay Dist:

WS

Map Ref Num: 055-4- /01/ /0036B



Conceptual Development Plan Amendment **Proffered Condition Amendment** CDPA 2017-SP-017 PCA 2017-SP-017 BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC Applicant: Applicant: BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC Accepted: 09/27/2019 Accepted: 09/27/2019 AMEND CONCEPTUAL DEVELOPMENT PLANS Proposed: AMEND PROFFERS AND CONDITIONS Proposed: ASSOCIATED WITH RZ 2017-SP-017 ASSOCIATED WITH RZ 2017-SP-017 APPROVED FOR INDEPENDENT / ASSISTED LIVING Area: 5.62 AC; DISTRICT - SPRINGFIELD Zoning Dist Sect: Area: 5.62 AC; DISTRICT - SPRINGFIELD Located: ON THE SOUTH SIDE OF LEE HIGHWAY Zoning Dist Sect: APPROXIMATELY 450 FEET WEST OF ITS Located: ON THE SOUTH SIDE OF LEE HIGHWAY INTERSECTION WITH SUMMIT DRIVE APPROXIMATELY 450 FEET WEST OF ITS INTERSECTION WITH SUMMIT DRIVE Zoning: PDH-4 Overlay Dist: WS EX Zoning: PDH-4 Map Ref Num: 055-4- /01/ /0031A Overlay Dist: WS EX Map Ref Num: 055-4- /01/ /0031A



Final Development Plan Amendment FDPA 2017-SP-017

Accepted:

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC

Applicant:

09/27/2019

Proposed:

AMEND FINAL DEVELOPMENT PLAN ASSOCIATED WITH FDP 2017-SP-017

Area:

5.62 AC; DISTRICT - SPRINGFIELD

Zoning Dist Sect:

Located:

ON THE SOUTH SIDE OF LEE HIGHWAY

APPROXIMATELY 450 FEET WEST OF ITS

INTERSECTION WITH SUMMIT DRIVE

Zoning:

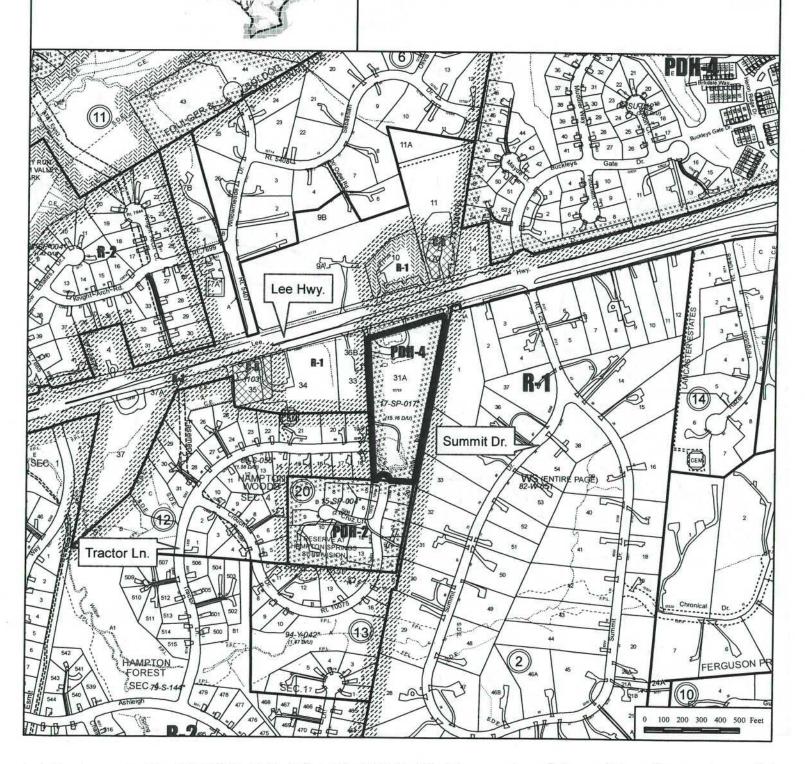
PDH-4

Overlay Dist:

WS EX

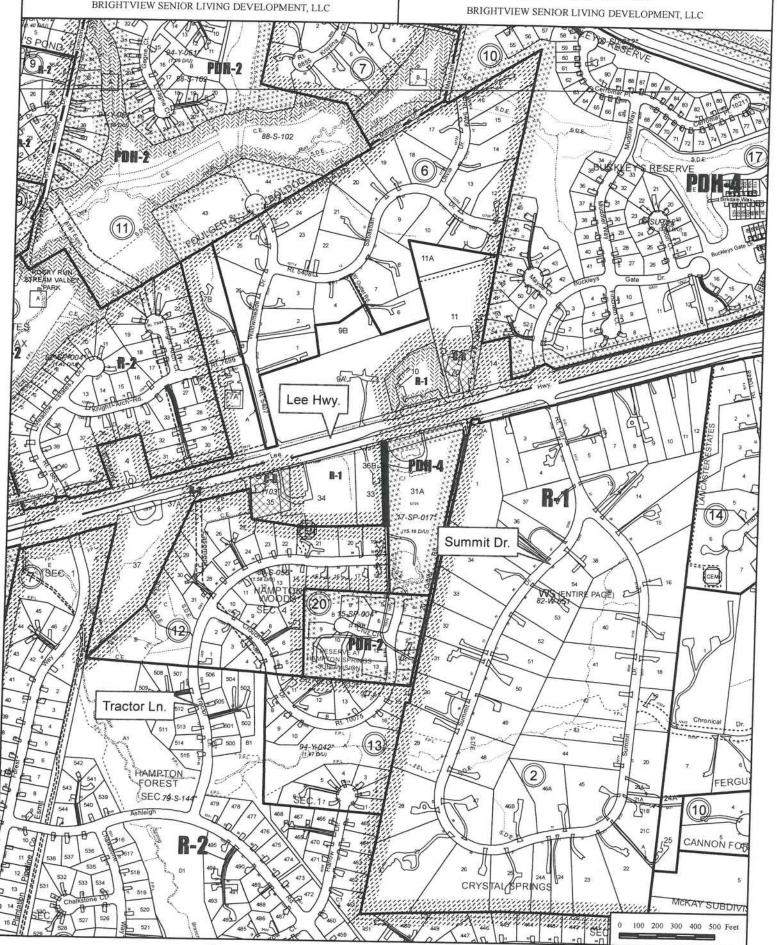
Map Ref Num:

055-4-/01/ /0031A

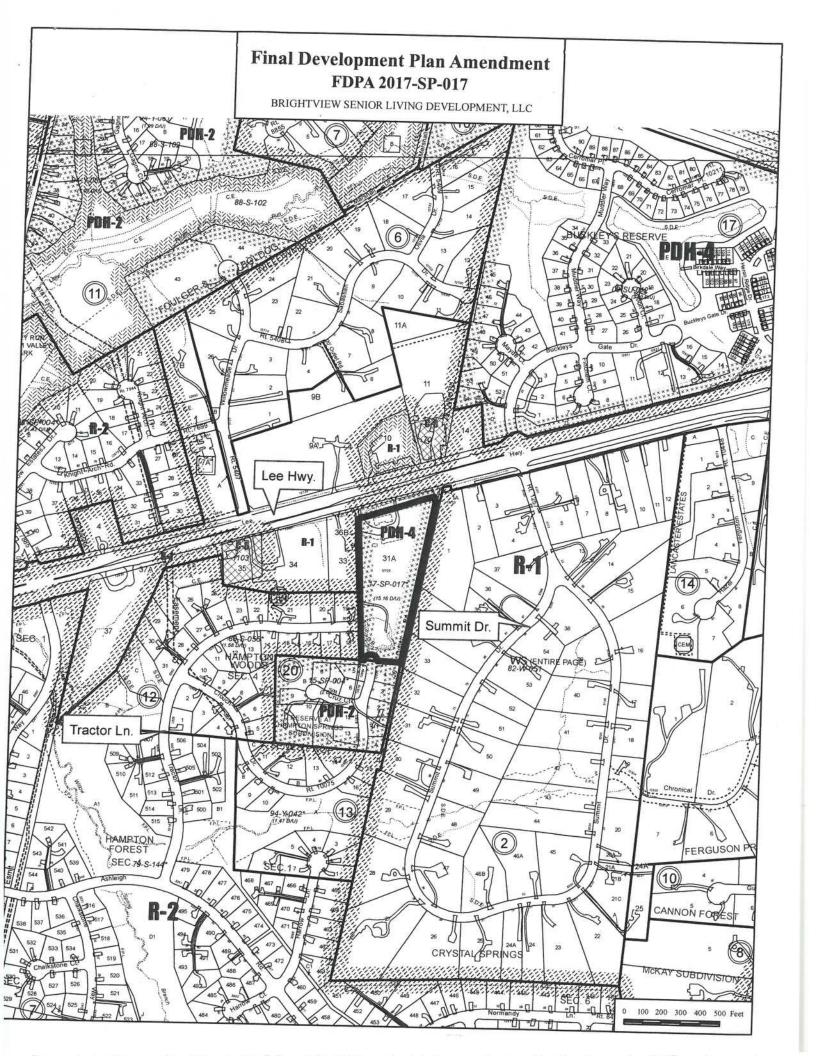


Rezoning Application BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC

Final Development Plan FDP 2019-SP-014



Conceptual Development Plan Amendment **Proffered Condition Amendment** CDPA 2017-SP-017 PCA 2017-SP-017 BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC (6) Lee Hwy. Summit Dr. CEM WAS (ENTIRE PAGE) ES Tractor Ln. 94-Y-042 HAMPION FOREST 2 FERGUSON P SEC.74-S-14 (10) CANNON FORES MCKAY SUBDIVISION 0 100 200 300 400 500 Feet



BRIGHTVIEW FAIR OAKS

CONCEPTUAL/FINAL DEVELOPMENT PLAN AMENDMENT (PARCELS 31A AND 36B) REZONING-CONCEPTUAL/FINAL DEVELOPMENT PLAN (PARCEL 36B ONLY)

SPRINGFIELD DISTRICT FAIRFAX COUNTY, VIRGINIA SEPTEMBER 3, 2019



Sheet Number Sheet Title





Dept of Planning & Development

SEP 0 5 2019

Zoning Evaluation Division

APPLICANT

BRIGHTVIEW SENIOR LIVING DEVELOPMENT, LLC 218 N. Charles Street Suite 220 Baltimore, MD 21201 Telephone 410.246,7486 Fax 410.528,2437

ATTORNEY/AGENT

McGUIRE WOODS. LLC 1750 Tysons Boulevard Suite 1800 McLean. VA 22102-4215 Telephone 703-712-5000 Fax 703.712-5207

BC Consultants

Planners - Engineers - Surveyors - Landscepe Architects 12600 Fair Lakes Circle, Suite 100, Fairfax, VA 22033 (703)449-8100 (703)449-8108 (Fax)

SHEET INDEX

1	COVER SHEET
2	CDPA/FDPA - RZ /CDP/FDP
3	GENERAL NOTES AND COMMENTS
4	EXISTING CONDITION AND EXISTING VEGETATION MAP
5	LANDSCAPE PLAN
6	LANDSCAPE DETAILS
7	TREE PRESERVATION PLAN
8	TREE INVENTORY AND CONDITION ANALYSIS
9	TREE INVENTORY AND CONDITION ANALYSIS
10	TREE PRESERVATION DETAILS
11	SITE AMENITIES
12	PERSPECTIVE
13	SITE SECTIONS
14	STORMWATER MANAGEMENT COMPUTATIONS
15	STORMWATER MANAGEMENT COMPUTATIONS
16	STORMWATER QUALITY COMPUTATIONS
17	FIRELAND AND TURNING ANALYSIS
18	FRONTAGE IMPROVEMENTS AND SIGHT DISTANCE
19	SERVICE DRIVE PLAN AND PROFILE

LEE HIGHWAY CROSS SECTIONS

ENGINEER/LANDSCAPE ARCHITECT/PLANNER

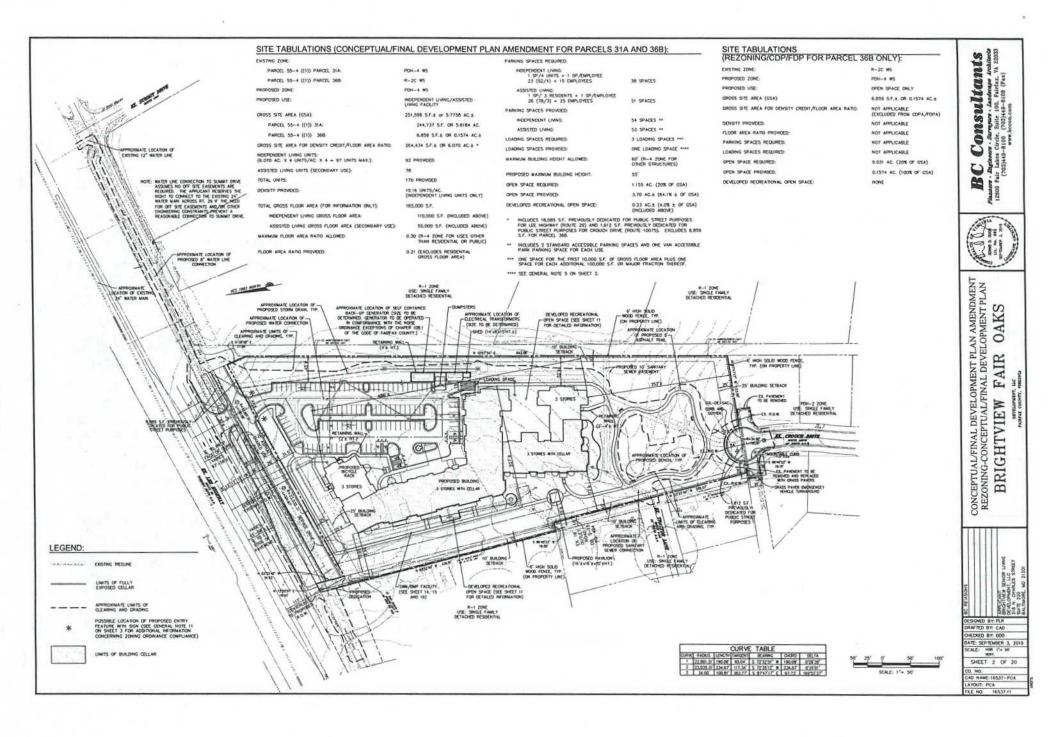
THE BC CONSULTANTS 12600 Fair Lakes Circle , Suite 100 Fairfax. Virginia 22033 Telephone 703.449.8100 Fax 703.449.8108

ARCHITECT/AGENT

HORD COPLAN MACHT 750 E. Pratt Street Sulte 1100 Baltimore, MD 21202 Telephone 410-837-7311



SHEET 1 OF 20



- THE PROPERTY DELINEATED ON THIS PROFITENED CONDITION AMENDMENT (PCA) IS IDENTIFIED ON FARSFAX COUNTY TAX ASSESSMENT MAP NO. 55-4 ((1)), PARCELS 31A AND 368. PARCEL 31A IS ZONED PDH-4 AND PARCEL 368 IS ZONED REPARCEL.
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY BY BC CONSULTANTS DATED DECEMBER 20, 2016.
- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM AN AERIAL TOPOGRAPHIC SURVEY CONDUCTED BY MCKENEE SYSTEM IN DECEMBER 2016 AND FIELD VERNED BY BC CONSULTANTS. THE TOPOGRAPHY IS SHOWN AT THE (2) FEET CONTINUE WITETING.
- THE PROPERTY SHOWN ON THIS PCA IS IN THE SPRINGFIELD WAGISTERIAL DISTRICT, LITTLE ROCKY S-I SEWER DISTRICT AND THE LITTLE ROCKY RUN WATERSHED.
- TO THE BEST OF OUR NEOWEDEC THES DESIGNABILITY IS A CONFIDMANCE WITH THE FARENAL COUNTY COMPREHENSY FLAH AND MILE, CONFIDMENT THE PROVISIONS OF ALL APPRICATED CONFIDMENTS, REGULATIONS AND ACCOUNTD STANDARDS AND EXPERIENCES WITH THE EXCEPTION OF THE FOLLOWING REQUESTS PREVIOUSLY APPROVIDE WITH THE 2017-799-017 AND THE EXCEPTION OF THE FOLLOWING

MODIFICATION OF THE TRANSITIONAL SCREENING PLANTING REQUIREMENTS ALONG ALL PROPERTY BOUNDARIES IN FAVOR OF USING THE EXISTING MEGETATION SUPPLEMENTED WITH THE PROPOSED PLANTINGS AS SHOWN ON THE LANDSCAPE PLAN.

NODIFICATION OF THE PLACEMENT OF THE TYPE D BARRIER REQUIREMENT TO RELOCATE TO THE PERPHERY OF THE PROPERTY LINES ON THE EAST, SOUTH, AND WEST SIDES OF THE PROPERTY AS SHOWN ON THE PLAN.

WAVER OF THE BARRIER REQUIREMENT ALONG THE NORTHERN PROPERTY BOUNDARY.

NODIFICATION OF THE LOADING SPACE REQUIREMENTS TO PROVIDE ONLY ONE LOADING SPACE.

MODIFICATION CONSTRUCTION REQUIREMENTS FOR THE SERVICE DRIVE ALONG LEE HIGHWAY TO PROVIDE A SERVICE DRIVE AS SHOWN ON THE PLAN.

NODIFICATION OF THE CONSTRUCTION REQUIREMENTS FOR THE SHARED USE PATH ALONG LEE HIGHWAY TO PROMDE A SHARE USE PATH AS SHOWN ON THE PLAN.

WAIVER OF THE CONSTRUCTION REQUIREMENTS FOR THE SIDEWALK ALONG LEE HIGHWAY.

WALVER OF THE REQUIREMENT TO PROMOE INTERPARCE). ACCESS TO THE EAST AND WEST

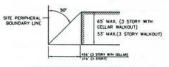
- ACCORDING TO THE FARIFAX COUNTY-COUNTYWOE TRAILS PLAN (ADDPTED BY THE BOARD OF SUPERVISORS JUNE 17, 2002), NO TRAILS ARE PLANNED ALONG THE PROPERTY.
- THE FARFAX COUNTY WATER AUTHORITY IS THE PUBLIC WATER SUPPLY AGENCY FOR THIS DEVELOPMENT. THE COUNTY OF FARFAX IS THE SANITARY SEWER SUPPLY AGENCY FOR THIS DEVELOPMENT.
- ACCORDING TO TAX RECORDS AND/OR DEEDS AND INFORMATION OF RECORD, THERE ARE NO KNOWN ENSTING UNDERGROUND UTILITIES OR EXISTING UTILITY EASEMENTS OF 25" OR MORE. NO TITLE REPORT MAS BEEN PURHISHED.
- 10. THE PROPOSED LIMITS OF CLEARING AND GRACING ARE SHOWN ON THE PLAN. THESE LIMITS ARE APPROXIMATE AND SUBJECT TO ADJUSTMENT AT THE THE OF FIRML GRADING, DIGINEERING AND LOCATION OF PROPOSED LIMITS. WHERE HE LIMITS OF CLEARING AND GRADING ARE SHOWN ADJACENT TO A PROPOSED LIMITS. WHERE HE LIMITS OF CLEARING AND GRADING AND ADJACENT TO A STREET AND ADJACENT TO ADJACENT TO A STREET AND ADJACENT OF SHE AND ADJACENT TO PUBLIC ROOT—OF—WAYS THEN A LITITED OF PERMISSION MULI GRADING THE ADJACENT TO ADJACENT AND ADJACENT TO A STREET AND ADJACENT TO ADJACENT TO ADJACENT AND ADJACENT TO ADJACENT AND ADJACENT TO ADJACENT AND ADJACENT ADJAC
- THE APPROXIMATE LOCATIONS OF TWO (2) ENTRY FEATURES ARE SHOWN ON THE PLAN. ONLY ONE (1) DITRY FEATURE WILL INCLUDE A SIGN. THE FINAL SIGN PROVIDED SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 12, (SOHS) OF THE ZONNO ORDINANCE.
- 12. THE APPROXIMATE LOCATION OF A PROPOSED CONSERVATION EASEMENT IS SHOWN ON THE PLAN. THE FINAL LOCATION OF THE EASEMENT WILL BE DETERMINED AT THE SITE PLAN PHASE DEPENDING ON FINAL PROMPTERIC.
- 13. WORKFORCE DWELLING UNITS WILL BE PROVIDED.
- 14. PAIRWIN WILL BE PROVISED IN ACCORDANCE WITH THE PROVISEOUS OF ANTICLE 11 OF THE ZORMAC ORDINANCE. IN EXPANSIVE RESOURCES FROM THE REMAINED FOR PAIRWING SPACES REPRESENTED IN THE SITE TABLATIONS SO LONG AS THE RESALTING RUMBER OF SPACES SAFSPIES THE MINIMUM NUMBER PROSPRISED BY THE APPROXICE PROVISEOUS TIME TABLATION CONTINUED FROM THE STATE OF THE ZORMAG DISTANCE.
- 15. IT IS UNDERSTOOD THAT ADDITIONAL, SITE FEATURES SUCH AS, BUT NOT UNITED TO, BENCHES, NALKWAYS, FLANDLES, BOYCLE AROUS, RIGHLIESE, WATER FOUNTAINS OR FEATURES, SIGHS, RETAINING MALLS (LESS HAND CONTINUED AND CONTINUED AN
- 16. THE OWNER OF PARCEL 31A IS BRIGHTMEW FAIR OAKS, LLC. THE OWNER OF PARCEL 36B IS BRIGHTMEW FAIR OAK OUTLET ROAD, LLC.

ZONING ORDINANCE, ARTICLE 16-502, PARAGRAPH 10 COMMENTS:

- A. 1. VICINITY WAP AS SHOWN ON SHEET 1.
- 2. BEARING AND DISTANCES OF THE PERIMETER PROPERTY LINES AS SHOWN ON THE PLAN.
- 3. SEE THE SITE TABULATIONS ON SHEET 2 FOR THE YOTAL AREA OF THE PROPERTY.
- 4. SCALE AND NORTH ARROW AS SHOWN ON THE PLAN.
- NAMES AND ROUTE NUMBERS OF BOUNDARY STREETS AND THE MIDTH OF EXISTING RIGHT(S)-OF MAY AS SHOWN ON THE PLAN. PROPOSED IMPROVEMENTS TO THE PUBLIC RIGHT(S) OF MAY AND DELINEATION OF THE EXISTING CONTROL WITH ALL REQUIRED DIMORDOUS ARE AS SHOWN ON THE PLAN OR AS SHOWN ON SHEET 2.
- 6. REFER TO GENERAL NOTE 3 FOR INFORMATION CONCERNING EXISTING TOPOGRAPHY.
- 7. THE LOCATION AND ARRANGEMENT OF ALL PROPOSED USES ARE AS SHOWN ON THE PLAN.
- 8. REFER TO THE SITE TABULATIONS ON SHEET 2 FOR THE PROPOSED BUILDING HEIGHT.
- 9. THE DISTANCES OF ALL STRUCTURES FROM THE DEVELOPMENT BOUNDARIES AND STREETS ARE AS SHOWN ON THE PLAN.
- 10. SEE ELSEWHERE ON THIS SHEET FOR ANGLE OF BULK PLANE REQUIREMENTS.
- THE TRAFFIC CIRCULATION SYSTEM, THE PEDESTRIAN CRCULATION SYSTEM AND ALL REQUIRED DIMENSIONS ARE AS SHOWN ON THE PLAN. REFER TO CENERAL NOTE 6 FOR INFORMATION CONCERNING ALL TRAILS REQUIRED BY THE ADDRED COMPRENDISTAL PLAN.
- 12. OFF-STREET PARKING AS SHOWN ON THE PLAN AND AS LISTED IN THE SITE TABULATIONS ON SHEET 2.
- 13, OPEN SPACE AREAS INCLUDING SPECIFIC TYPES OF DEVELOPED RECREATIONAL FACILITIES ARE AS SHOWN ON THE PLAN.
- 14. RETER TO SHEET 5 TOR LAMPSCAPE REFORMATION INCLUDING THE APPROXIMATE LAMPS OF DELAMINE AND GRADING. THE DESIGN OF ALL SCREENING MASSINES AND THE THE AND HIGHEST OF SIGHS SHEETING ARE AS SHOWN ON THE PLAN OR PROVIDED IN THE SECTIONS SHOWN ON SHEET 13. SEE SHEET 4 FOR INCOMATION CONCERNING EXTRING VECTATION.
- 15. THERE ARE NO KNOWN GRAVES OR PLACES OF BURIAL ON THE SITE.
- 16. REFER TO GENERAL NOTE 9 FOR INFORMATION CONCERNING PUBLIC UTILITIES.
- 17. REFER TO SHEETS 14, 15 AND 16 FOR ALL REQUIRED STORMWATER WANAGEMENT INFORMATION.
- 18. REFER TO GENERAL NOTE 8 FOR INFORMATION CONCERNING ALL EXISTING UNDERGROUND UTILITIES AND ALL ALL EXISTING UTILITY EASEMENT OF 25" OR MORE.
- 18. THERE ARE NO FLOODPLANS DESIGNATED BY THE FEDERAL EMPROENCY MANAGEMENT ACCRCY, UNITED STATES GEOLOGICAL SURVEY OF PAIRSA COUNTY ON THE STE. THERE IS NO AREA OF RIPA LOCATED ON THE STE. NO LANGO ON THE SITE MEETS THE CORTITAN FOR DESIGNATION AS AN EMPROPHENTAL COLUMN COMPRESSIONATION AS AN EMPROPHENTAL COLUMN TO COMPRESSIONATION AS AN EXPRESSIONATION AS AN EXPRESSIO
- 20. THE PROPOSED FACILITY WILL BE DEVELOPED ENTRELY IN ONE (1) PHASE. PINAL CONSTRUCTION WILL DEPEND ON MARKET CONDITIONS.
- B. REPER 10 THE SITE TABULATIONS ON SHEET 2 FOR INFORMATION CONCERNING THE TOTAL HUMBER AND TYPE OF DIRELLING UNITS, DENSITY, TOTAL OPEN SPACE, AREA, TOTAL DEVELOPED DIFFE SPACE, AREA AND NUMBER OF ROLLINGS OFF-STREE PARKING SPACES. BONUS DENSITY IS NOT APPLICABLE TO THIS APPLICATION.
- C. A MAP IDENTIFYING CLASSIFICATION OF SOIL TYPES IS SHOWN ON SHEET 1.
- E. ON-SITE HAZARDOUS OR TOXIC SUBSTANCES ARE SUBJECT TO FURTHER INVESTIGATION AND POTENTIAL REXIDATION, IF WARRANTED. FOR ANY SUBSTANCES FOUND, THEIR METHODS OF DISPOSAL SHALL ADHERE TO COUNTY, STATE AND/OR FEDERAL LAW.
- F. REFER TO GENERAL NOTE 5 FOR INFORMATION CONCERNING THIS DEVELOPMENT'S CONFORMANCE TO ALL APPLICABLE ORDINANCES AND STANDARDS.
- G. AFFIDAVITS TO BE SUBMITTED UNDER SEPARATE COVER.
- H. THE SITE IS NOT WITHIN OR IN THE MOINITY OF A HISTORIC OVERLAY DISTRICT.



ANGLE OF BULK PLANE

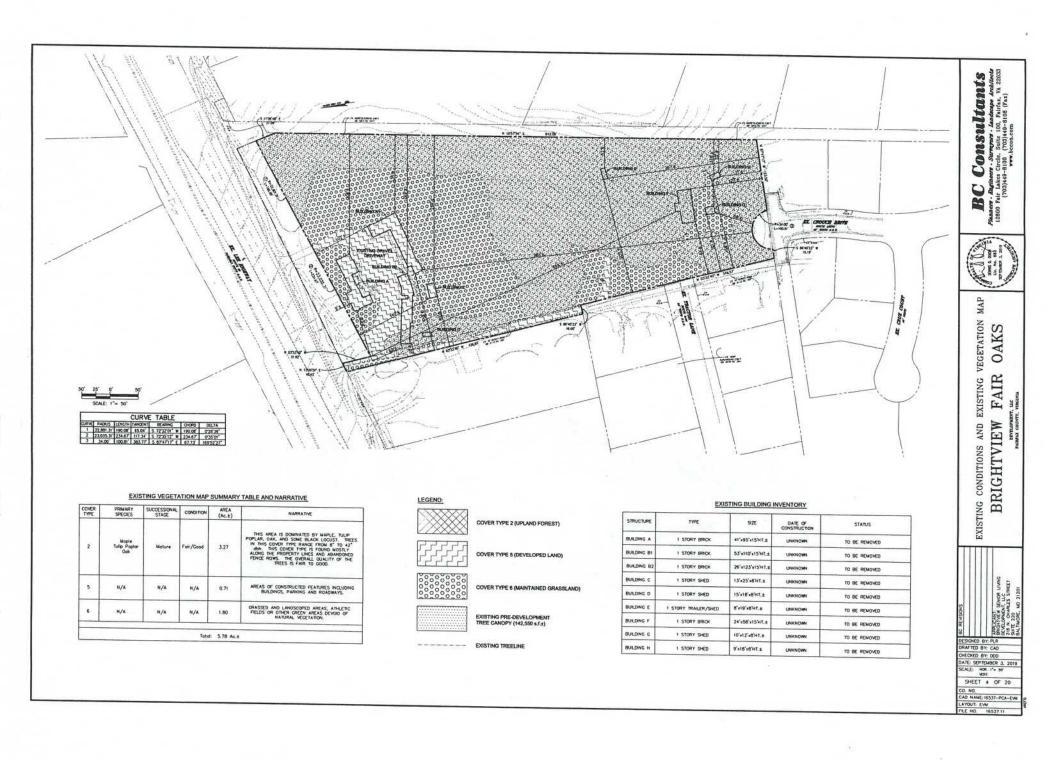


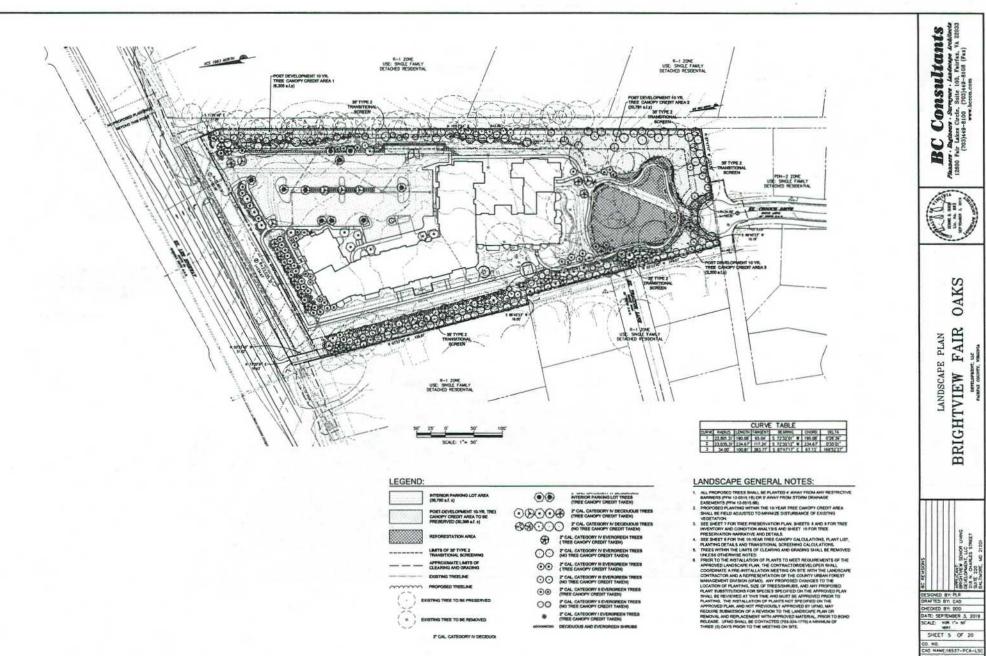
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focar. Strenger: Landense Lettlice
ites Grels. Suite 100, Pairta. VA 2003
H49-5100 (TVD144-5100 (Fax)
Wave Accounces Architects VA 22033 BC

B

SHEET 3 OF 20 CAD NAME: 18537-PCA-HOTES

FR F NO 16537 1





LAYOUT: LSC-1 FRE NO. 16537

TREE PRESERVATION TARGET AND STATEMENT (10-YEAR TREE CANOPY CALCULATIONS)

	TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT	SHOW N.T.
AT.	Pre-directorment Area of Evening Tree Canopy	142.55
A2"	Percentage of Gross files Area Covered by Estating Tree Corogo (A1/81)	58.7%
42	Parcentage of 10 year Tree Concey Required for the Site	255
44	Processage of the 1/3-Year Tree Caregy Requirement that Efficult be Met Through Tree Preservation	86.19
43	Proposed Percentage of Caroon Reculement that VIII be Mot Storage Fee Presentation (CSOS)	60 S
A&	Has the line Presentation Target Minimum Seen Marti	Yes
		-
AT	8.45 is no. Then a request to design born the Time Preservation Eaper that has provided on the plan- fram states one or more of the publications, failed in \$10,000 5 along with a remaine that principle is also-specify asystematic of why the Time Preservation Fleight control to meer. Provide values of machine values downston request in incurse. The necessive shall be preserved in proportional with \$13,0007.4.	NA.
	THE CANCEY RECARRIMENT	
8:	Libertify Groves Areas	251.55
62	Subject Areas Describe to Parks and Road Frontage	F
92.	Subsect Ave of Exemption	
204	Adverse Green Bits Area H1 (82-83)	59079
85	Mark Is 5 sets Tourism and the line	PERIA
86	Eartentage of 15 year Time Caretty Rangemo	28
18	Are of to Year Tree Carrey Respond (\$4.66)	62.8
20	Musification of 10 Years The Compay Response restained	- 10
65	# fit a Yes. Then Last Plac Shaets Where Modification Residen in Located	NA
-		-
C	THEE CANOFY PRESERVATION	
C:	Tree Preservation (larged Association (Larged Association (Larged Association))	36.5
C2	Total Canopy Area Marting Standards of \$12-0200	
Ca	G+13	97.0
CET	Total Caropy Area Maeting Standards of § 12-0200 but Does Not Outrily for Boxus Multiplier	
C2.2	C1.1+1.00	
C4	Tide Cancey Are Provided by Linguis or Valuable Forest or Viriodan's Community	
0	CALLE	
Ch	Tine Cases; And Provided by Yestage," Memory, Specimen, or Stood Sud.	_
Č.	Q1117P70	
ÇŅ.	Carroy Area of Trees Wellin Resource Protection Areas area 100 Year Planapatins	
CB	Ca + 10	_
C10	Totals of CO, CX 1. CS, C7 and C3	57,6
0.	TREE PLANTING	
04	Area of Caropy to be Met Photop flow Phinting 487-C10y	24.70
05	Area of Canopy Planted for Air Creaty Burselts	
03	Watt	
De	Ana of Carcey Planet in Energy Consensors	
65	Dig15	
CH	Avea of Carropy Plantes for Wilder Quality Sereption	_
E07	Univ 125	
Ue	Avec of Car carry "funded for VVR,NNy Secretita	12.5
De	DE 215	20.2
1576		30.5
BHY		
DHI		-
0112		_
DM		_
014		_
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tine.		-
DIA		-
DHS.		10.1
Dil		10.5
r)43	Challes of ES. Ob. DF. D11, D14, 1, D15 I will D16 1	30.5
DW	h an Office Princing Relatification	Pers
016		
016		NA
101		1
001	Banking or Tree Fund Advanced to be Deposited into the Tries Presentation and	
1421	Amount to be Deposited into the Tres Presention and Planting Flori	
-		-
	TOTAL OF ID-VENE THEY CANDEY PROVIDED	
	TOTAL OF 16 YEAR THEE CARDY PROVIDED THE OF CAMBON AND PROVIDED TO PROVIDED TO SEE FROM MICH. IC.10.	1 37.0
E 61	TOTAL OF 16 YEAR THEE CARDY PROVIDED NAME OF CONTROL AND PROVIDED THE FINANCIES (C1)	30

INTERIOR PARKING LOT LANDSCAPING CALCULATION	•
Interior Parking Let Landscaping Required:	
Todal Periong List Area:	36.750 1.5
Honor Parking Lat Landscaping Heromat (SNL of Total Arres)	1,800 61
Interior Parking Let Landscaping Provided:	
Existing interior Palaring Lift Landscapping:	1.0
Proposed Interior Fishing Lot Landscaping (18 Inters at 200 a.f. per trans	2,000 45
Tried Interior Parking Let Lawbraging Project	2.000 s.

Tree	Plant	List	1	-1	Tree	Canopy	Credit	Taken	
			П			10	Tr. Tree	Total 10 W.	,

Oty	Туре	Category	Cal.	SS TV. Tree Gampy Gredit Per Tree (s.f.)	Total 10 Vs. Free Canopy Cradit (s.1.)	Bonus Multiplier*	Caropy Credit with Militaries (a.f.)
a	Decklose Tree	N	2	200	9,400	1.5	14,100
24	Deciding Twe	N	7	250	4,900	10	4.800
12	Congress line	N		200	2.400	1.5	3,930
10	Degrantes			190	4.800	1.5	4,900
.17	Everymen fine			100	1,700	1.5	2.550
6	Exergreen Tree			100	800	10	800
	Everymen Time			50	450	1.0	450
147	Tetul					Total	30,900

Tree Plant List 2 - No Tree Canopy Credit Taken

Or.	Tree	Category	Cat.	10
72	Decidence free	N	7	-
56	European Dear	N		
13	Everymen Tree			
34	Curginen Tite			
195	Total			_

LANDSCAPE IMPLEMENTATION POLICY

EBBAN FOREST MANAGEMENT
POLICY ON LANDSCAPE IMPLEMENTATION
Lineary 1, 2007

This contribution of informal performs of the Public Faithlife Manual in Inter-dad to interments and clarify in tradection performs by the implementation of Enrich step fairs on distributions of such subject to review and interpreted to the Charalle, Table distribution of Enrich step fairs on Association are performed to the Charalle step fair of the Cha

Tire Seeden and Man.

1. Trees and deads the we planted that he of the openin and size upon-field on the approved plant.

There shall be no destinate from the approved areas specified except as approved by Farlin Criminy.

United Forces Strangment (LFMD), 179-16 2,0401-169.

All trees and deals shall must the standards for alreased quality specified in the American Association of Nanagy son's depolicant Special Recognition, Special (ASSE 286), 1-1993. See association of ACMS 12-0393. https://doi.org/10.1009/ 10.00093/

Note Subdividual and All Conference of the Co

Pleasing Leavaines

1. Pleasing benefits add some in the other dark to an inhumental conformance with the approved pleasing the processing of the conformal processing and the processing of the processing and their landscape perfectations required prospectal improvements that might to include many the processing of the processing and their landscape perfectations required prospectal region consons that might to include many the processing and the processing of the processing and the p

skiller and Greifer.

Mikhings and Greifer bette desided only be implemented where are constrown remote their and Platent Inspection and American States and American States are required. Confidence where a should be around a look-follow the off-states and providing and provided and an around a state of the states and a state and a state of the states and

Second Labridge Defectors

6. A Second Labridge Defector of the specific better ground, submariedly polarities

6. A Second Labridge Defector of the specific better ground, advantably polarities

8. A Second Labridge Defector of the specific better ground and specific better of the specific better of specific better of specific better of specific better ground and specific better of s

The purity exposabiles for the placement of the portermone hard and concern alone deposits for the project shall see as the Applican for the external distinct. Second Landwage Defects impair from our be children from the Territoremental and Farishine Importants Devicion or for Union Ferrit Management.

At the Lense of final improvious for release of portionnaum bond and concernation deposit, all of the plain material is superiori. Plain material previously imported, as part of the processor intense pay, forfested, alequals than may have extend, in and current from the final importation. All grant maintake must be healthy and as good condition.

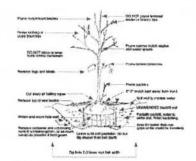
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Shrub Plant List

Oly. Type Star 222 Decisions Since 16"-24" 472 Suggest Since 16"-24"

TRANSITIONAL COREENING CALCULATIONS

RAN	SITIONAL SCREENING CALCULATIONS AT SOUTHERN BOUNDARY	
creer	ning Required:	
A1	Transitional Screening Length.	198 feet*
AZ	Transitional Screening Width:	35 feet
A3	Transitional Screening Area (A1 x A2):	6.930 af
A4	10-Yr. Trise Canopy Required (A3 x 0.75);	5.198 s.f.
A5	Minimum 10-Yr. Tree Cancoy Regulard by Large and Medium Evergreen Trees (A4 x 0 70).	3,636 s.t.
A6	Maximum 10-Yr. Tree Canopy Required by Large Decidious Trees (A4 x 0 30):	1,550 s.f.
A7	Evergreen and Decidurus Shrubs Required (5 x (A 1/10))	50 Shrube
cree	ning Provided:	
81	Existing Tree Cenopy Credit.**	4.354 s.f.
6.2	10-Yr. Tree Canopy Provided by Large and Medium Evergrown Trees:	2.200 a.f.
83	10-Vr. Tree Caregy Provided by Large Decidious Trees Total 10-Vr. Tree Caregy Provided (81+82+83)	1.000 s.f
84	Total 10-Yr. Tree Caropy Provided (61+82+83)	7.554 s.l.
B5	Evergreen Shrute Provided	13 Shubi
86	Deciduo a Shrubs Provided.	0 Shrubs
87	Total Stratas Provided (65-68): ** * Average is type.	13 Steaks
_	 Only includes entaining post development has carrapy within the required transcious acrossing area ellurated tree in Each after trees and a finish planned outside but explained to the trees cross accessing area. 	canopy usual by UFM
RAN	SITIONAL SCREENING CALCULATIONS AT WESTERH PROPERTY BOUNDARY	
	ning Required:	
AT		710 feet*
A2	Transitional Screening Width	35 tost
All	Transitional Screening Area (A1 x A2):	24.850 s.f.
AA	10-Yr, Trise Ceropy Required (A3 x 0.75).	18.638 a.f.
A5	Minimum 10-Yr Tree Canopy Required by Large and Missium Evergreen Trees (A4 x 0.70):	13.046 s.f
Att	Maximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0 30):	5.591 a.f.
A7	Evergreen and Deciduous Shrubs Required (3 = (A1/10)):	213 Shrib
	ning Provided:	
81	Existing Tree Caropy Credit **	2,586 a.f.
82	10-Yr. Tree Carropy Provided by Large and Medium Evergreen Frees	14,650 a.f.
03		6.400 n.f.
84	Total 10-Y1, Tree Canopy Provided (B1+B2+B3)	23.636 a.f.
85		88 Shrub
66		90 Shrub
13.7	Total Sirubs Provided (05-86): ***	167 Shub
_	 Among steps On problem using past development the carboy within the registed transformer accessing ones alkaded time Explodes these and shrolder planned resisted but adjacent to the time former concerning with HISTIONAL SCREENING CALCULATIONS AT EASTERIS PROPERTY BOUNDARY 	concept could by UFA
	rning Required:	
AI		837 feet*
A2		35 feet
A3		29,300 a.f.
A4		21.975 s.l.
A5		15.383 s.f.
At		6.593 s.f.
AZ	Evergreen and Deciduous Shrubs Required (2 x (A1770)).	251 Shub
_	ening Provided:	
ocre	Existing Tree Canopy Credt **	13.326 s.f.
BI		8.750 s.t.
	10-Yr. Tree Canopy Provided by Large Deciduous Trees	3.400 a.f.
81		25,476 s.f.
81 82 83		
81 82 83 84	Total 10-Yr. Tree Canopy Provided (81+62+63)	
81 83 84 84	Total 10-Yr. Tree Cancpy Provided (81+82+83) Evergmen Strule Provided	113 Sivui
81 83 84 84 86	Total 10-Yr. Tree Carcopy Provided (81+62+63) Evergreen Strutie Provided Deciditors Shrutie Provided	113 Strut 55 Strut
81 83 84 84	Total 10-11. The Canopy Powled (31+62+63) Evergnen Struke Provided Decidious Shruke Provided Total Shade Provided (93-66) ***	113 Sinul 55 Sinul 158 Sinul
81 83 84 84 86	Total 10-Yr. Tree Carcopy Provided (81+62+63) Evergreen Strutie Provided Deciditors Shrutie Provided	113 Sinu 55 Sinu 158 Sinu



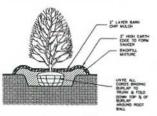








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 LOOSEN EARTH IN BOTTOM OF PIT BEFORE ADDING TILL.
SHALL BE TWICE AS MIDE AS BALL DIAMETER



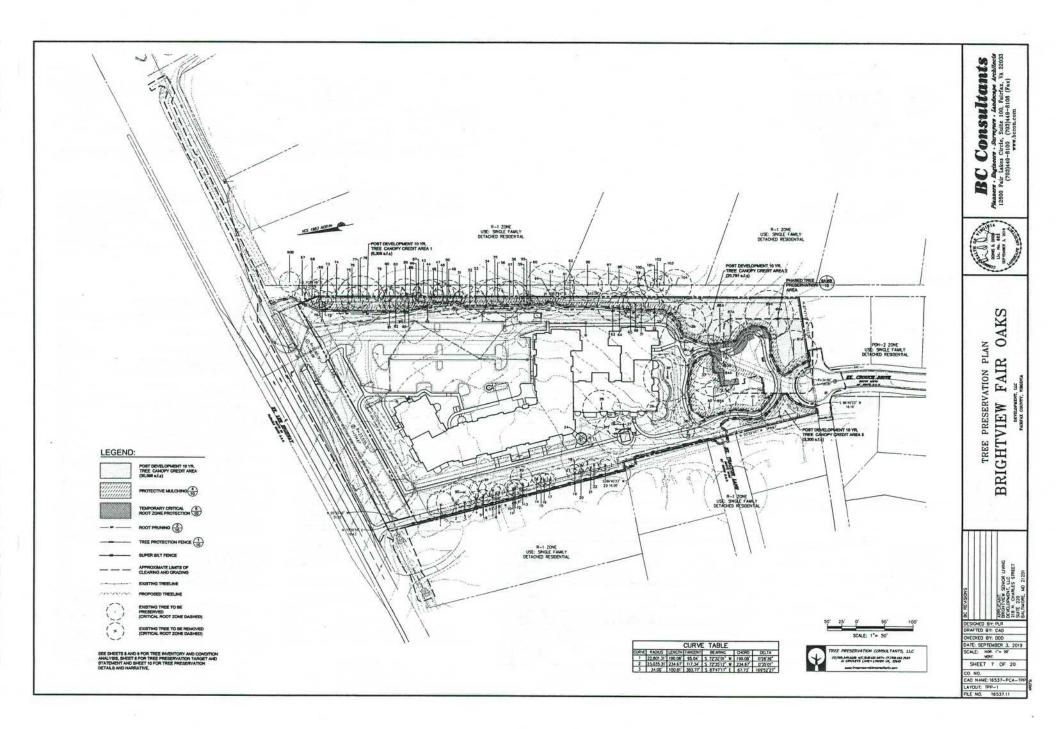
3 TYPICAL SHRUB PLANTING 6 HOT TO SCALE

DESIGNED BY: PLR DRAFTED BY: CAD DHECKED BY: 500 DATE: SEPTEMBER 1, 2019 SCALE: HOR N/A WERT. SHEET 6 OF 20 00. NO.

CAO NANE 16537-PCA-LSC AVOUT: LSC-DET

Consultants
inser. Surveyor. Lastenge Arabitect
inser. Surveyor. Lastenge Arabitect
inser. Circle. Sulte. 100. Fairfax. VA. 22033
jest-9100 (Trit), etc. (Trit), BC 011

> OAKS AIR DETAILS H LANDSCAPE RIGHTVIEW B



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TREE INVENTORY AND CONDITION ANALYSIS

BRIGHTVIEW FAIR OAKS



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TREE INVENTORY AND CONDITION ANALYSIS

BRIGHTVIEW FAIR OAKS DEVELOPMENT, LLC FAIRFAX COUNTY, VIRGINIA



BC Consultants

Flanaers - Bugineers - Surrepurs - Landreage Architects
12800 Fair Lakes Circle. Suite 100, Fairfax, VA 22033
(703)448-8100 (703)449-8108 (Faz)
www.bcont.com

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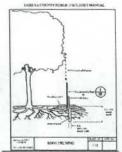
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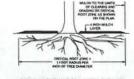
TREE PRESERVATION SIGN 10 NOT TO SCALE

SITE MONITORING SCHEDULE

LIST OF DUTIES	DATE	DESCRIPTION OF DUTIES
PRE-CONSTRUCTION MEETING IN FIELD TO WALK LIMITS OF CLEARING AND GRADING	SPECIFIED BY UNIO	PROR TO THE PRE-CONSTRUCTION MEETING AND BEYORE ANY CLEARING, GRADING OR DENOLITION ACTIVITIES HAVE OCCURED, A CERTIFED ARROWST SHALL WALK THE LIMITS OF CLEARING AND GRADING WITH A REPRESENTATIVE PROM FARENCE COUNTY'S URBAN FOREST MANAGEMENT OWNERS (MOUND) TO DESTRUCTIVE HAUPE AUGUST THE STATE OF CLEARING LIMITS CAN BE WAND. TO INCREASE THE SURVIVABILITY OF THESES TO BE PRESENTED THAT OCCUR ALONG THE EDGE OF THE LIMITS OF CLEARING AND GRADING, MANOCOM TO DEVENTE HAZARDOKEN, CAMANDO ON TO SEASON.
INSTALLATION OF THEE PROTECTION FENCE	AFTER UFNO'S APPROVAL OF LOCATION	THE INSTALLATION OF ALL TIEL PROTECTION FRINCING SHALL BE PREVIOUSED LOKED THE SUPPLYINGOID OF A CRITITIED JRIGGEST AND ACCOUNT OF THE PROTECTION THAT IS RECURSTOR THE PREVIOUS AT LAST THE THAT DOES NOT HAVE CESTIME VICENTIANCE AND AND THE PROTECTION THAT WE SHALL AND AND OTHER PROTECTION FRIENDIAL SHALL DISH AND MENTIL ON OWN THE PROTECTION FRIENDIAL SHALL DISH AND MENTIL ON WHITE DEPOSITION FROM SHALL BE MOTHER ON MENTIL AND OWN THE OPPOSITION FROM SHALL BE MOTHER ON MENTIL AND OWN THE OPPOSITION FROM SHALL BE ADDRESS OF MENTIL AND OWN THE OPPOSITION FROM SHALL BE ADDRESS OF MENTIL AND OWN THE OPPOSITION FROM SHALL BE ADDRESS OF THE PROTECTION OF THE PROTECTION FROM SHALLOW AND ALL AREAS TO BE LOT UNDISTURBED HAVE BEEN CORRECT.
CONSTRUCTION/ SITE ANALYSIS	MONTHLY ANALYSIS OF SITE OR AS SPECIFED BY UPMO	THE APPLICANT SHALL ACTIVELY WONTON THE SITE TO ENSURE THAT INAPPROPRIATE ACTIVITIES SUCH AS THE STORAGE OF CONSTRUCTION MATERIALS, DIAMPING OF CONSTRUCTION EQUIPMENT AND PERSONNEL DO NOT OCCUR. WHICH THESE AREAS

TREE PRESERVATION NARRATIVE:

- ALL MORE PERFORMED IN ASSOCIATION WITH THIS PLAN SHALL HEET OR EXCEED CURRENT ROUSTRY STANDARDS AS PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBITROLITURE (ISA), AMERICAN HARDINAL STANDARDS INSTITUTE (ANS.), OR THE TIME CAME ROUSTRY ASSOCIATION (TOLA). IN THE EVENT TREATMENTS PRESCRIBED AND ROT COVERED BY AN EXISTING STANDARD, WORK SHALL MEET OR EXCEED STANDARDS AND CONTINUE (MANY OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT OF ORIEST MANAGEDITE FUNDAMENT.
- THE DEVELOPER SHALL RETAIN A CENTRED ARROWST ("THE ARROWST") TO ENGINE THE PROPER INFLIMENTATION OF THE THEE PRESERVATION FLAN ("THES PLAN"). ALL WORK REQUIRED BY THIS PLAN SHALL BE PERFORMED UNDER THE OPERCYCLOPY OF THE ARROWST AS SPECIFED BY THE STEE MONETONING SO-CROLLE AND TO EMBLIRE THAT ALL ACTIVITIES ARE COMPLUTED IN ACCORDANCE WITH THIS PLAN ANY APPLICABLE OF CHARGO ENVIRONMENT OF CHARGO SHALL OCCUPIED AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL AND THE STEEL OF THE UNITS OF THE STEEL AND THE ST
- FROM TO MAY CONSTRUCTION ACTIVITY, ALL ROUNDLES THESE SHOW DOLDES OF THESE SHOWN TO BE PRESENTED OF THIS FLAM SHALL BE PROTECTED BY FENCING AS SPECIATED ON THIS FLAM. THE PROTECTION EXPENSES HERE INTERCEDED AND SHALL BE WASTED AND SHALL BE
- THE ARBORST SHALL WALK THE LIMITS OF CLEARING AND GRADING WITH AN URBAN FORESTER FROM USING AS HOTED IN THE SITE MONITORING SCHEDULE. ANY ADJUSTMENTS AGREED TO BY THE ARBORST I USING SHALL BE INDUCED SHALL BE INCOCED IN THE FOLIO. THESE WHITH THE CONTROL OF THE FOLIO. THESE WHITH THE CONTROL OF THE FOLIO. THE SEA WHITH THE CONTROL OF THE FOLIO OF THE FOL
- ALL TREE PRESERVATION RELATED WORK OCCURRING IN OR ADJACENT TO THEE PRESERVATION AREAS SHALL BE ACCOMPLISHED IN A MANNER THAT WINNESS DAMAGE TO VECTATION TO BE PRESERVED, INCLUDING ANY WOODY AND/OR HERBACKIOUS VECTATION OCCURRING IN THE UNDESTROY VECTATION. THE USE OF DEVELOPING ALONG THE UNITS OF DISTURBANCE SHALL BE REMOTED USING A CHARKAN SO AS TO AVIOUR DAMAGE. TO SUPPORTION OF THE USE OF POWER EQUINATION THE USE AND THE DESTROY HALL BE UNITED TO SHALL HAND-OFFRIENDE DOLINING THE USE OF POWER EQUINATION OF THE USE AND THE USE OF SHALL BE UNITED TO SHALL HAND-OFFRIEND DOLINING THE USE OF THE USE
- 6. AS PART OF THE INSTRUMENTATION OF THIS PLAN AND THE SITE PLAN, MANAGEMENT PRACTICES SHALL PROVIDE FOR THE PROTECTION OF UNDERSTORY PLANT MATERIALS, LEAF LITTER AND SOIL CONDITIONS FORM IN AREAS TO BE LEST EMUSSIONERS, SUBJECT TO DEE APPROVAL OF UNDO. THE APPLICANT SHALL ACTIVELY MORTISS THE SITE THAT INAPPROPRIATE ACTIVITIES SUCH AS THE STORAGE OF CONSTRUCTION MATERIALS, DUMBNING TO THE STORAGE OF CONSTRUCTION MATERIALS, DUMBNING THE APPLICANT SHALL ACTIVELY MORTISS THE SITE. THAT IN APPLICANT SHALL ACTIVELY MORTISS THE SITE OF THE MORTISS OF THE MATERIAL PLANT MATERIALS AND APPLICANT TO THE STORAGE BY THE APPLICANT TO THE SATISFACTION OF UPON IT THESE ARE FOUND TO BE DAMAGED, REMOVED OR ALTERED IN A MANNER NOT ALLORED IN WRITTING BY USING.
- 7. PROR TO THE SITE PRE-CONSTRUCTION MEETING AND SITE WALK WITH AN URBAN FORESTER FROM UTAD AND THE AMBORIST, THE APPLICANT SHALL HAVE THE LIMITS OF CLEARING AND GRADING MARKED WITH A CONTINUOUS LINE OF PLACESING.
- B. AT LEAST THREE DAYS PRIOR TO THE COMMERCEMENT OF ANY CLEMENC, GRADING, OR DEMOLITION ACTIMITES AND PRIOR TO THE INSTALLATION OF THEE PROTECTION FERDING, UPAD SHALL BE MOTHED AWAILED AND ALL AREAS TO BE LEFT UNDISTURBED HAVE BEEN COPRECTLY DICTARTIO. SHALL PROVIDE WISTIN HORDE TO THE APPLICANT AS TO HEREFOR OR NOT THE ARMS AND ARE ROT DICTARTIO CORRECTLY. IT IS DETERMINED BY UTAD THAT THE ARMS ARE NOT DICTARTIO CORRECTLY, NO GRADING OR CONSTRUCTION ACTIVITIES SHALL OCCUR ON THE SUBJECT PROPERTY UNTIL THE DELEVANCE OF RELL VERPED BY THE UTAD.
- 8. BOLD TRAINERS, BOOF PRIMERS SHALL BE PREFORMED MERITARE GARGES WILL BE ALTISED WHITE HE CONTICA, BOOF TONE OF A TREE TO BE PRESENTED AND SHALL BE CONSULTED WHITE SHAPE OF THE PRIMERS AS WHITE MECHANIC PRIMERS AND PRIMERS AND PRIMERS AND PRIMERS AS WELL BE ASSOCIATED AND PRIMERS OF THE PRIMERS AND THE PRIMERS AND THE PRIMERS AND THE PRIMERS AND THE PRIMERS THE PRIMERS AND THE PRIMERS THE PRIMERS AND THE PRIMERS THE PRIMERS AND THE PRIMERS THE PRIMERS THE PRIMERS AND THE PRIMERS T
- 10. MODE OFFICE OF MULCH, MODE CHP'S OF LEAF AND BRANCH MULCH SHALL BE PLACED AROUND THE LIMITS OF CLEARING AND DRADING IN AREAS WHERE TREES ARE WITHIN 20' OF THE LIMITS OF CLEARING AND DRADING AS SHOWN ON THIS PLANDS AND SHALL BE PLACED BY HAND WITHOUT THE USE OF SHOWN-OWN THIS PLANDS AND SHALL BE PLACED BY HAND WITHOUT THE USE OF SHOWN-OWN SHAMPER. CHIPS ON MULCH ARE NOT TO BE PLACED AND A DIPPH OF NO MORE THAN FOUR MODES WHOM THE PRESERVATION AREAS. OUTSIDE THE PRESERVATION AREAS, WHICH THE DISTURBED AREA), CHIPS OR LEAF AND BRANCH MULCH MAY BE PLACED AT A DEPTH HOT TO EXCEED THE NOTES.



SPREAD MULCH BY HAND TO A UNIFORM THICKNESS OF 4 PICKESS.

MULCH SHALL COVER AS MUCH OF THE ENTIRE CRITICAL ROOT ZONE AS POSSIBLE UP TO 10 FROM THE LIMITS OF CLEARING AND GRADING.

MILCH SHALL CONSIST OF A WOODY MATERIAL THAT HAS BEEN CHINNED OR SHREDDED OR OTHER APPROVED MATERIAL.

MALON SHALL NOT TOUCH THE BASE OF THE TIME.

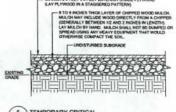
4 PROTECTIVE MULCHING 10 NOT TO SCALE 150-WW Project State

B5A

84A

6B PHASED TREE PRESERVATION AREA - PHASE TWO

85A

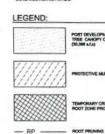


5 TEMPORARY CRITICAL 10 ROOT ZONE PROTECTION

NOT TO SCALE

PHASE ONE TREE PRESERVATION GENERAL NOTES:

- 1. ALL TREE PRESERVATION ACTIVITIES TO BE IMPLEMENTED IN
- ALL TREE PRIESERVATION ACTIVITIES SHALL BE COMPLETED PRIOR TO ANY CLEARING, GRADING AND/OR OTHER



EXCEPTING TREELINE



EXISTING THEE TO BE PRESERVED (CRITICAL ROOT JONE DASHED)

EXISTING THEE TO BE REMOVED (CRITICAL ROOT JONE DASHED)

PHASE TWO TREE PRESERVATION GENERAL NOTES:

- ALL TREE PRESERVATION ACTIVITIES TO BE IMPLEMENTED IN ACCORDANCE WITH THE GENERAL TIBLE PRESERVATION NARRATIVE SHOWN ELSEWHERE ON THIS SHEET.
- 2. REMOVE PLYMODO AND REDUCE MAJCH LADGE THE PLYMODO THO A DEPTH OF NO MOTE THAN IN HOMES AFTER ALL DEBACKTION ACTIVITIES HAVE SEEN COMPLETED. THIS WORK SHALE BE DONE MANUALLY SHAMOW NITHOUT USING ANY YEARY STUDIES HAVE BOOK THAT THAT WOULD CHIEFRINGS COMPACTIVE SOOK.
- RELOCATE TREE PROTECTION FENCE AND AIR! PROTECTIVE MILE CH BEINNO THE FENCE AS SHOWN PRIOR TO THE CONSTRUCTION OF THE TRAE AND WATERLINE.

FAIR PRESERVATION RIGHTVIEW

Consultants
free . Surper . Ladesp. Ledited
kee Creek . Suite 100, Pairlas. VA 2003
H49-8100 (703)449-8106 (Pax)

BC

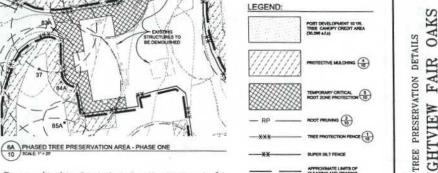
Str!

B

DESCRED BY PLR HECKED BY: 000 DATE: SEPTEMBER & 2019 SCALE: HOR AS HORED VORT.

SHEET 10 OF 20

AD NAME 16537-PCA-TE AYOUT: TPP-DET









BRIGHTVIEW FAIR SITE AMENITIES

HECKED BY: DOD DATE SEPTEMBER 3, 2019 SCALE HOR AS SHOWN VORT

SHEET 11 OF 20 CAD NAME 16537-PCA-AMENIT LAYOUT: AMENITIES FILE NO. 16537.11







NOTE: BION WILL CONFORM TO FARFAX COUNTY SIGNAGE REGULATIONS

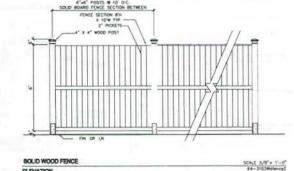
410-296-3320

AMENITY AREA PLAN

BEE REAR PATIO AMENITY AREA' THIS PAGE

SCALE: 1" - 100"

REAR PATIO AMENITY AREA



SCALE: 1" + 30"

ELEVATION



BRIGHTVIEW OUTDOOR AMENITY AREA- EXAMPLE A

PHOTO



BRIGHTVIEW OUTDOOR AMENITY AREA- EXAMPLE B

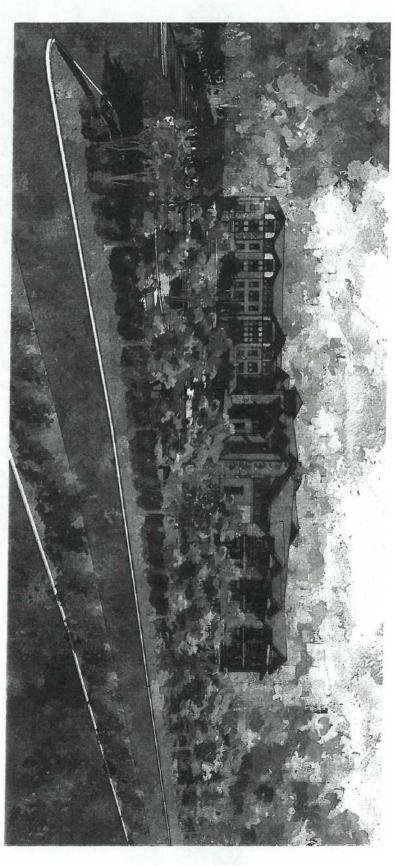
PHOTO



BRIGHTVIEW OUTDOOR AMENITY AREA- EXAMPLE C РНОТО

NOTE: DETAILS IN THIS SHEET ARE INTENDED TO DEPICT THE GENERAL QUALITY AND CHARACTER OF INTENDED PRODUCTS. FINAL SELECTIONS MAY DIFFER FROM THOSE DEPICTED.

CONCEPTUAL ARCHITECTURAL RENDERING



PERSPECTIVE

BRIGHTVIEW FAIR OAKS

DEVELOPMENT, LLC FAIRFAX COUNTY, VIRGINIA



BC Consultants

Planners - Daylineers - Surepars - Landenage Architects
12800 Fair Lakes Circle. Suite 100, Pairfax, VA 22033
(703)449-8100 (703)449-8108 (Fax)
www.bccon.com

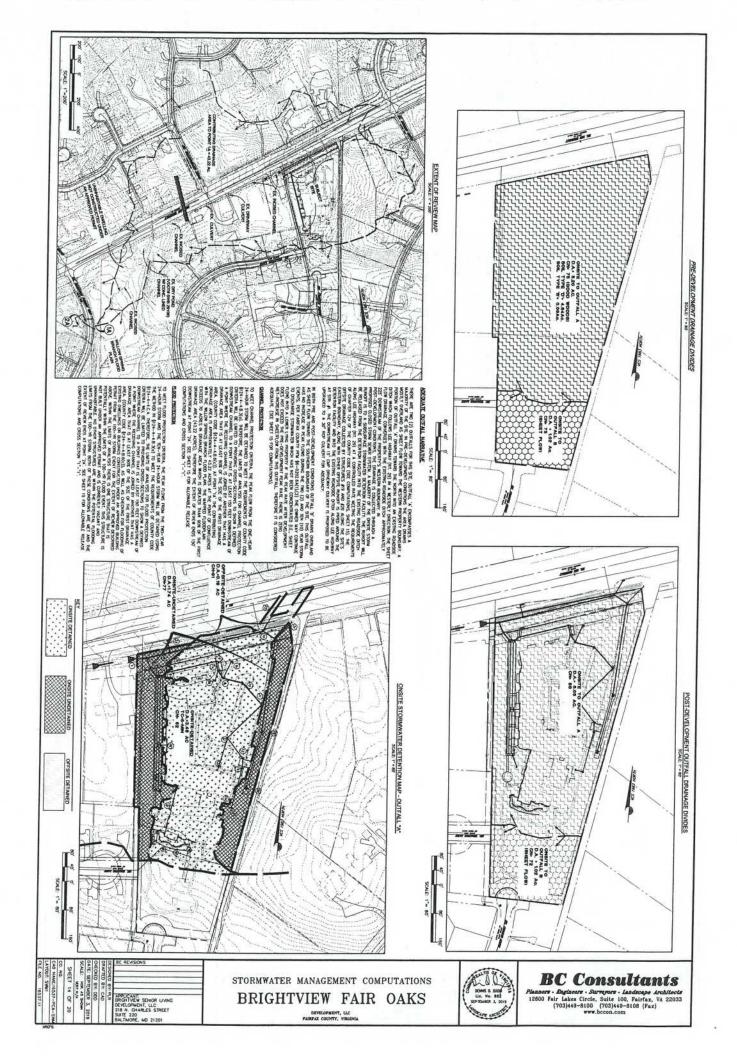
OAKS

BC Consultants
Planer - Agiour - Survey - Leadens techtical
12000 Fig. Idea Gret., Sule 100, Parity, W. 22033
(703)449-8000 (703)449-9108 (Fax)

BRIGHTVIEW FAIR SITE SECTIONS

DESIGNED BY: PLR DRAFTED BY: CAD CHECKED BY: DOD DATE: SEPTEMBER 3, 2019
SCALE: HOR. 1'=20'
WENT.
SHEET 13 OF 20

CO NO.
CAD NAME:15537-PCA-SECT
LAYOUT: SECTIONS
FILE NO. 16537.11



STORMWATER MANAGEMENT COMPUTATIONS OAKS FAIR

BRIGHTVIEW

DESIGNED BY: PLR DRAFTED BY: CAD CHECKED BY: DOD DATE: SEPTEMBER 3, 2019 SCALE: HOR AS SHOWN WEST, N/A SHEET 15 OF 20 CO. NO.

CAD NAME: 16537-PCA-S

LAYOUT: SWW2 FILE NO. 16537.11

OUTFALL A & B - POST DEVELOPMENT

Litter	Scenere	There	(B1)	Time to lease part)	550 AS
Order Dec. Cut h	Pag-besengow's :-	,	32 540 000	221.00	6.28
Oinste-DetOut A	Prof-Development T		29,134,000	727 000	10.40
Onse-Get -Gut A	Pest General to	in.	40,707,000	727.000	17.38
DHAH CHARLINGA	Potz Development L-	. 1	1,149,000	777.50X	1.52
Districtions Out A	Post-Development 2	2	7,907.009	727,000	2.04
Course-under, club A	Sou-Coversower 15-	79	15,9-2,000	727,000	6.05
CONTRACTOR AND CLEA	Post Deutlegowit 1-	- 1	1,149,000	533.00C	0.44
Differe Orleand O.4 A	Prof-Decement 1-	,	1,536-000	727,000	0.54
Offser Detarted Out A	POST CONFESCUENT SP-	10	2,657,000	7,27,100	2,97
Post Dev - B	Print Development 1-	- 1	2.562 500	777.000	1.00
Post Dev - II	Post Commonwe 7-		4,223-000	727,000	1.50
Pear Des + B	THE CONTRACT IN	10	4,279,000	727.000	144
CMR+DAR	POSE Christophene 1-	3	\$74,600	726.000	0.11
Office Cur B	Print Development 2-	2	704-001	726.600	0.23
OTHER DUE IS	FOR GOVERNMENT 10-	112	1,114.000	7/6-600	0.29

Mode Sommery Land	Suriori .	Frank Svent Green)	Hydrogrape Maurice (1977)	Time by Profit (140)	PARFOR (N.N)
O-A	Fold-Development 1:		28,575.000	727.600	24
OA .	Plus Obversorary 7		33,173,000	727.000	2.47
0.4	Para (Development 16-	10	W,F16,000	779.000	19.00
08	Post Development 1:		3,447.000	727,400	1.8
0.6	Pest Orwoodset 1-	,	4,129.000	727.000	1.00
0.0	Plot Circolograms 10- VS	16	10,112,000	127.000	3.80

Lake	Seroid	Bright Event (years)	Springs Springs Springs	Time six Prisis (1994)	(STO)	Thinks furface Director (ft)	Storage (3")
Switters (III)	Party Development I- vis	t	23,624,000	727,000	8.72	(90)	Over
Street, A. Charters (Section)	Department 1- 19	4	23,614,000	7/7 000	e.w	496.43	je-461 000
Standard Charters (Si)	Pure. Convenience 2-	:2	30,870,000	777.000	11.05	DIVA	(944)
Naments Duestiers (N/7)	Pear Obretgrant J.	- 3	30,670,160	212.010	1.40	40A NO	13,000,000
Shermech Charteen (91)	Direct grown is 100 78	10	\$2,174.600	727.000	18.22	(144)	(%3)
Surnied Chemiers (07/0)	Peut: Development 20 vit	30	50,474.000	734.000	6.01	404.16	16171.000

ALLOWABLE RELEASE CALCULATIONS	- OUTFALL A			
CHISTE-PRE-DEVE CRIMENT COOR MOORS CONDITIO	N- APPAINS 20 ACRES	Town MIN	(COMPOSITE	Oka 25

2-YR PEAK FLOW:	7.60 OFS		
10-YR PEAK FLOW:	16.79 CFS		
1-YR RUNOFF VOLUME:	13,599 OF		
2-YR RUNOFF VOLUME:	20,233 OF		
10-YR RUNOFF VOLUME:	44,189 OF		

ONSITE- POST DEVELOPMENT: AREA-5.20 ACRES, To-5 MIN., (COMPOSITE ON-87)

1-YR RUNOFF VOLUME	27,789 CF	(TOTAL OF DETAINED	AND UNDETAMED VOLUMES)
2-YR RUNOFF VOLUME:	36,641 CF		AND UNDETAINED VOLUMES)
10-YR RUNOFF VOLUME:	65,579 CF	(TOTAL OF DETAINED	AND UNDETAINED VOLUMES)

TH PEAK FLOW:	1.92 CFS
TR PEAK FLOW	2.84 CF
-YR PEAK FLOW	6.01 CFS

ALLOWABLE RELEASE FROM UNDERGROUND DETENTION

(UPOST-DEV FROM EQ. 124-4-4.8.3(a)) - UNDETAINED SHEETFLOW + OFFSITE DETAINED FLOW

1-YR PEAK FLOW	0.84 CFS < 0.95 C
2-YR PEAK FLOTE	1.82 CFS < 1.92 CF
10-YR PEAK FLOW:	E.OL OF5 < 6.23 OF

NOTE: ACTUAL RELEASES ARE LESS THAN THE ALLOWABLE RELEASES. THEREFORE, THE DETENTION REQUIREMENTS ARE SATISFIED.

Made Surrenery Land	Sursett	Friend Event (reseal)	Hydrogrape Volume (917)	Time to fruit	Print Plan (N N)
O-A	Fold-Development 1:	-	28,579.000	727.600	24
OA .	Paul Obsessorary 1	1	33,173,000	727.000	1.47
0.4	Para (Development 16-	10	W.F16.000	776.000	19.00
0.8	Post Development 1		3,442.000	727,400	1.25
0.6	Pest Orwescone 1-	,	4,129.000	727.000	1.87
69	Plant Clara Seprend 10-	10	10.152,000	/27.000	380

	The Section 1			TARREST NAMED IN	CONTRACTOR OF		
Lake	Seroid	Event (years)	SC.)	Time III Propi (rely)	(STO)	Thinks furface Develor (ft)	Storage Storage ST'1
Switten (PI)	Page: Decrytoproses I- vs		23,624,000	727,000	8.72	(90)	OVE
Shireson Charters (Srift)	Department 1-	4	23,64,650	777 000	0.84	496.43	je-461 000
Summeron Charters (24)	Rom- Cenvisioners 2- Vis	:2	30,870,000	777.000	11.05	DNA	(940
Naments Duestiers (NA)	Strengerand J.	- 3	30,670,160	293.090	1.00	400 KI	13,000.000
Shermech Chiedotra (91)	Direct grown is 100 78	10	12,174,000	727.000	18.22	D44	(44.8)
Surnied Ourses	Pout: Development 15	10	\$0,474.000	734,000	6.01	404.14	16171.000

1-YR PEAK FLOW	4.97 CFS		
2-YR PEAK FLOW	7.60 CFS		
10-YR PEAK FLOW	16.79 CFS		
1-YR RUNGET VOLUME:	13,599 OF 20,233 CF		

Ouder Carrier Date

Inial Control Data

6,913 6,900 8,409 6,500 6,000 7,

Form.J 0.5340 0.3530 0.6096 0.6000 1.570 1.211 -0.500

0.01 M

6mm

0.50 m

20,718,000

+4,189.00

2.907 000

CHAR

775.000

ma.cu

LHENG

20,711,000

44 LER 500

3.984.000

1.171.00

787,019

177.00

777.000

Pac

T74.000

734.000

744.000

131.mg

127 300

777.000

737,010 127,000

2.74

9.29

1.29

PHILIPPING.

NOTE: ORFICES #1 AND #2 ARE LOCATED IN A CONTROL WALL IN A DOWNSTREAM MANHOLE.

Crock Woods - A

Per tes - B

STORES

Umate Ox S

OFFICE DATE

OUTFALL A (GOOD WOODS) & OUTFALL B (PRE-DEV)

1-YR RUNOFF VOLUME	27,789 CF	(TOTAL OF DETAINED	AND UNDETAINED VOLUMES)
2-YR RUNOFF VOLUME:	36,641 CF	(TOTAL OF DETAINED	AND UNDETAINED VOLUMEST
10-YR RUNOFF VOLUME:	65,579 CF	CTOTAL OF DETAINED	AND UNDSTANSO VOLUMES)

POST-DEVELOPMENT ALLOWABLE FLOWS (PER METHODOLOGY IN 124-4-4.8.3(a))

ID-IN I CAR PLOW		Promesty / Republicates -	(10.73 (72) 44/03	0// 833/9 0 = 11.31 C
	Opost-ocv & (Oronest a R			
2-YR PEAK FLOW	OPOST-DEV & (OFOREST = RI	(FOREST) / RVPOST-DEV =	(2.60 OFS + 20.23) O	FI/ 36.647 OF = 4.20 OFS
I THE PERSON PLANT	CHOST-DEA & COMMENT & WA	LINESITY / WALLOI-DEA =	(431 CO 1 17333 C	1/ 21,189 0 = 243 03

OF5	K FLOW:	**
CFS.	IX PLOW:	TH
OF'S	AK FLOW	-16

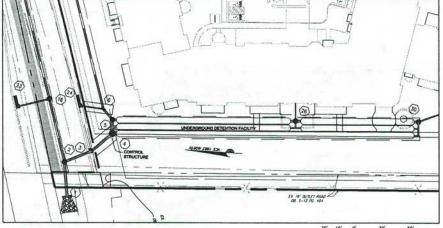
OFFSIE DETANED ILON

CANADA CA		
YH PEAK FLOW	0.44	ors
-YR PEAK FLOW	0.56	OF5
- WE SEAN DOWN	0.03	cee

1-YR PEAK FLOW	2.43 - 1.92 + 0.44 - 0.95 CF
2-YR PEAK FLOW	4.20 - 2.84 + 0.56 - 1.92 CF
10-YR PEAK FLOW	11.31 - 6.01 +0.93 - 6.23 055

ACTUAL RELEASE FROM UNCERCORDUNG DETENTION

1-YR PEAK FLOW	0.84 CFS < 0.95 CF
2-YR PEAK FLOW	1.82 CFS < 1.92 CFS
10-YR PEAK FLOW:	8.01 OFS < 6.23 OF



OUTFALL B CALCULATIONS

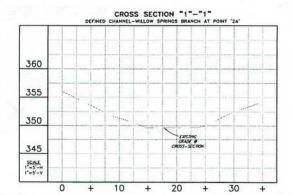
OVERT-PRE-DEVELOPMENT AREA = 1.03 ACRES, Tc=5 MIN., (COMPOSITE ON=76)

1-YE PEAK FLOR	1.06
2-YR PEAK FLO	

DWSTE- POST DEVELOPMENT: AREA-1.03 ACRES, To-5 MIN., (COMPOSITE CH-76)

-YR PEAK FLOW	1.06 (
-YR PEAK FLOW	1.59 CI
O WE DEAK ELOW	3 44 6

NOTE: THE POST-DEVELOPMENT SHEET FLOW RUNOFF IS EQUAL TO THE PRE-DEVELOPMENT SHEET FLOW RUNOFF, THEREFORE, THE OUTFALL IS ADEQUATE.



DAD DAE AMAGNO 0.00 0.00 0.00 0.00 INPERIMOUS COVER TREATED (M 2.87 0.00 0.00 0.00 OK. MANAGED TURF AREA (III.) 0.00 0.00 0.00 0.00 0.00 0.00 MANAGED TUNF AREA TREATED (mc) 0.89 0.00 AREA CHECK OK. OK. Site Treatment Volume (ft³) Runoff Reduction Volume and TP By Drainage Area

DAA DAB DAC BUNDER REDUCTION VOLUME ACHIEVED (R) 524 524 7.73 TP LOAD REDUCTION ACHIEVED (IN/WY 3.96 0.00 0.00 0.00 0.00 3.94 TP LOAD REMAINING (5/W) 1.76 0.00 MITROGEN LOAD REDUCTION ACHIEVED (Ib/w) 3.76 0.00 0.00 0.00 0.00 0.00 X76

Total Phosphorus FINAL POST-DEVELOPMENT TP LOAD (Th/yr) TP LOAD REDUCTION REQUIRED (B/W)
TP LOAD REDUCTION REQUIRED (B/W) TP LOAD REMAINING (Ib/w) 3.81

Total Nitrogen (For Information Purposes POST-DEVILOPMENT LOAD (IN/VI) WITHOUGH LIDED DETRUITION ADDRESS TO FINA

Drainage Area A

	Land Cover	

	A Soils	8 Seds.	C Softs	D Solls	Totals	Land Cover Rv
Forest/Open Space (acres)	BOOK OF STREET	0.00		0.41	0.41	0.05
Managed Turf (acres)		0.28	SATEL OF	7,31	2.59	0.24
Impervious Cover (scres)	B 40 (5 st	0,04	TOTAL PROPERTY.	2.86	2.90	0,95
				22.00	100000	

				Total	5.90								
Practice	Runoff Reduction Credit (%)		Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ²)	Runoff Reduction (ft*)	Remaining Runoff Volume (ft ²)	Total BMP Treatment Volume (ft³)	Removal	Phosphorus Load from Upstream Practices (lb)	Load to	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Loed (lb)	
6. Migretentian (R9)													
6.a. Blandention #1 or Micro-Blandention #1 or Urban Blandention (Spec #9)	40	0.31	0.30	0	134	786	1,310	25	0.00	0.82	0.45	0,37	14.5 MID Finance
6.b. Bloretention 82 or Micro-Staratention 82 (Spec #9)	80	22.1911		0	0	0	0	50	0.00	0.60	0.00	0.00	ALC: NO.
14 Manufactured Treatment Devices (ne NR)												
14.s. Manufactured Treatment Device- Hydrodynamic	0	0.57	174	0	0	6,285	6,285	50	0.00	3.54	1.97	L97	SAIL MTD - Hillaring
14.b. Manufactured Treatment Device-Filtering		0.26	0.83	7,070	0	9,674	9,474	82	234	151	1.54	2.11	Mare
14.c. Manufactured Treatment Device-Generic	0	0.00	0.00	0		0	0	0	9.00	0.00	0.00	0.00	TO BE A STATE OF

WATER QUALITY MAP STACHED STREET AREA'AZ DA= 0.61 Ac. AREA'A1' DA= 2.08 Ac.

WATER QUALITY LEGEND A1 - AREA THEATED BY BAYFLTEN CANTRIDGE SYSTEM (2.06-TOTAL ACRES, 1.24-IMPERVIOUS ACRES) AZ - AREA TREATED BY BIORETENTION FILTER LVL. 1

AS - AREA TREATED BY ISOLATOR ROW (2.67-ACHES FROM AT & A2 + A4 ADD'L 0.89-ACHES; 0.63 IMPERIOUS ACRES) UNTREATED STORWWATER MANAGEMENT SITE AREA

WATER QUALITY NARRATIVE

THIS STE IS LOCATED MITTEN THE LITTLE ROOKY FUN WATERSHED AND IS LOCATED WITTEN THE BOUNDARIES OF THE WATER SUPPLY PROTECTION OVERLAY DISTRICT (WIPOD). THEREFORE, WATER QUALITY DESIGN IS SUBJECT TO THE REQUIREMENTS OF \$124-4-28.

THE STILL CONDITIONS AS NOW DEVILOPMENT FOR CHAPTER 124 FOR \$124-4-2.3.1 OF THE FABFAN COUR COOK. THE TOTAL REPOSSIBILITY CONTINUES AND ADDRESS AND AD

MINIMUM STORMWATER INFORMATION FOR REZONING SPECIAL EXCEPTION. SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

Special Permits (Sect. 8-011 2J & 2L) Cluster Subdivision (Sect. 9-615 1G & 1M) Special Exceptions (Sect. 9-011 2J & 2L) Commercial Revitalization Districts (Sect. 9-622 2A (12) & (14) PRC Plan (Sect. 16-303 1E & 1 O) Development Plans PRC District (Sect. 16-302 3 & 4L) FDP P Districts (Sect. 16-502 1 A (6) & (17)) Amendments (Sect. 18-202 10F & 10t)

Plat is at a minimum scale of 1"+50" (Liniess it is decicted on one sheet with a minimum scale of 1"+100")

8 2. A graphic depicting the stammenter management habitytical and limits of cleaning and grading accommodate the stomester management inclinifyings, down dishinage plus systems and coded protection, cord spithwyst, occess made, also underlike, energy dissipation devices, and stemen indicatation measures as relicion on the silven or Diversity 3, 18 intilization is proposed the stills should be based for substitibility prior to submission of the divergement plan and results of the Infilization test provided appet of the Sackity.

Facility Name/						
Type & No.		Off-site area served (scree)	Drainage area (acres)	Footprint area (ut)	Storage volume (cf)	if pond, dam height (ft.)
SOLATOR ROW	2.67	0	2.67	NA	NA	
BAYFLTER	2.00	0	2.06	NA	NIA	

Type & No.		Off-site area served (acres)	Oralnege area (acres)	Footprint area (st)	Storage volume (cf)	if pond, dam height (t.)
SOLATOR ROW	2.67	0	2.67	NA	NA	
BAYFLTER	2.00	0	2.06	NA	N/A	
DO-FETTH TOWN LISTS. 1	0.61	0	0.61	808	1,351	-
Totals:	5.34		6.34	808	1,361	-

 Oreite drainage channels, outlids and pipe systems are shown on Shert(s) 14-15 outlid pipe systems are shown on Shert(s) 14-15. Pond inlet and

Maintenance access (met) to stormwater management bolity(es) are shown on Sheet(s) 14-16.

Type of maintenance access road surface noted on the plat is <u>Grass Paye</u> (asphat, geoblock, gravel, etc.) g 5

@ 7.

 11. A submission waker is required for ______ Stormwater management is not required because. N/A

Revised: 8/4/2015

STORMWATER

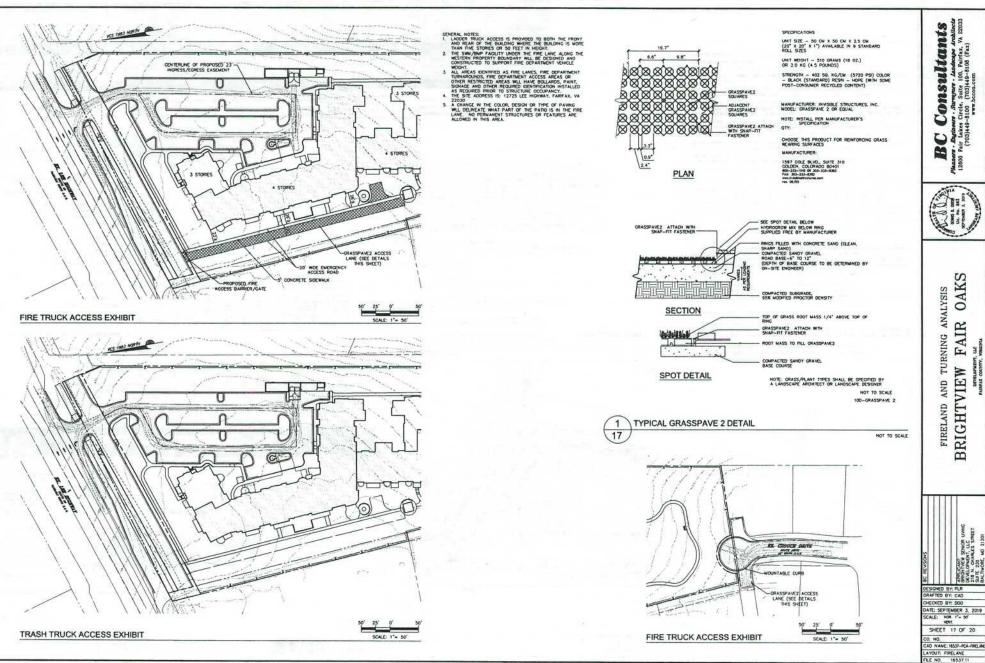
AFTED BY: CAD HECKED BY: DOD ATE: SEPTEMBER J. 2019

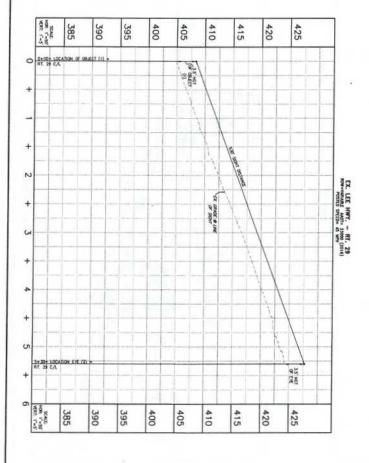
SHEET 16 OF 20 CAD NAME 16537-PCA-BM FILE NO. 16537

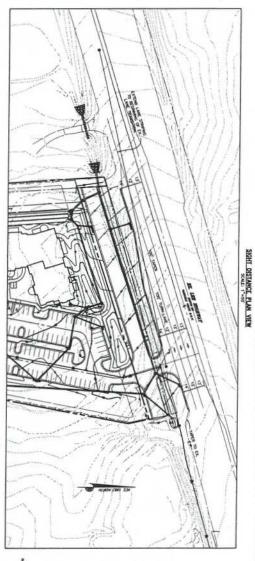
S COMPUTATIONS AK 0 AIR

H

QUALITY BRIGHTVIEW







2	7	Ç	8		8	0.4	2	8	8	BC REVISIONS
N NO	TOOT	DNA	700	3HK	6	F 9	903	15	90%	
E NO. 16537.11	HOIS	HE 18		18	100	Mald	875	987	2 81	
537.1	-	537-PCA	d	8	45 NO	909	8	8	B. P.	APPLICANT: BRIGHTVEW SENIOR LIVING DEVELOPMENT, LLC
		CA-ROBS		20	88	2019				218 N. CHARLES STREET SUITE 220 BALTMORE, MD 21201

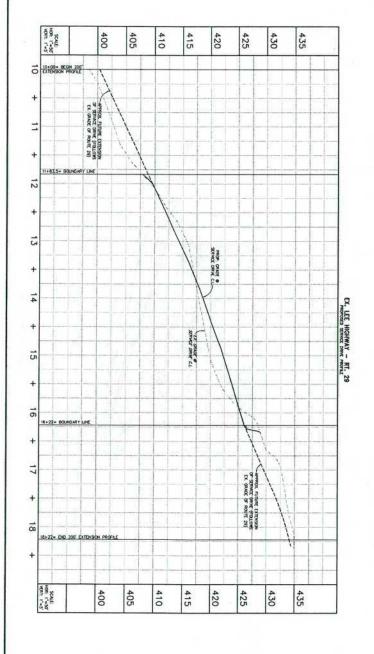
FRONTAGE IMPROVEMENTS AND SIGHT DISTANCE

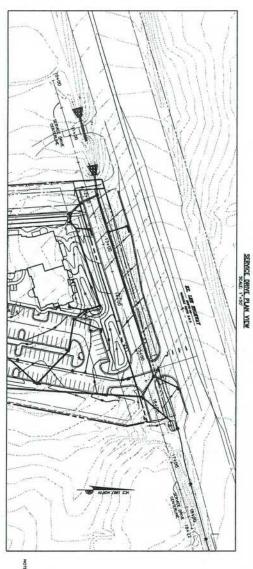
BRIGHTVIEW FAIR OAKS



BC Consultants

Planers - Engineers - Surmyurs - Landscape Architects
12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703)449-8100 (703)449-8108 (Fax)
****N-bcon.com





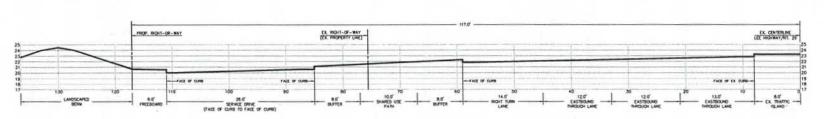
SERVICE DRIVE PLAN AND PROFILE BRIGHTVIEW FAIR OAKS

DEVELOPMENT, LLC PAIRFAX COUNTY, VIRGINIA

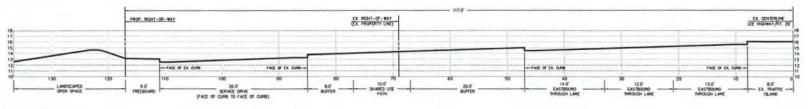


BC Consultants

Flanners - Angineers - Surreywar - Landecape Architects
12800 Fair Lakes Circle, Suite 100, Fairfax, VA 22033
(703)449-6100 (703)449-6108 (Fax)
www.bcon.com



CROSS SECTION 1 (WITH RIGHT TURN LANE)



CROSS SECTION 2 (WITHOUT RIGHT TURN LANE)

BC Consultants
Passer - Briger - Laddesp trailier
12000 Pair Lakes Circle, Sulte 100, Pairtes, N. 22023
(702)444-1010 (703)440-1019 (Pax)

LEE HIGHWAY CROSS SECTIONS
BRIGHTVIEW FAIR OAKS

DESIGNED BY PLR CHECKED BY: CAD

DATE: SEPTEMBER 3, 2019

SCALE: MOR. I'-NO'
VOIT. I'-S'

SHEET 20 OF 20 CO. NO.
CAD NAME BUT POLATE SCHO
LAYOUT: SCCTIONS
FILE NO. 16537,11

REZONING AFFIDAVIT

DATE: AUG 2 1 2019

(enter date affidavit is notarized)

Et to Toller
alasta
9/27/19

DELATIONSHID(S)

I, Scott E. Adan	ns	, do hereby state that I am an
(enter nar	me of appli	cant or authorized agent)
(check one)	[v]	applicant's authorized agent listed in Par. 1(a) below
in Application N	o.(s):	(enter County-assigned application number(s), e.g. RZ 88-V-001)
and that, to the be	est of my k	nowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES of the land described in the application,* and, if any of the foregoing is a TRUSTEE,** each BENEFICIARY of such trust, and all ATTORNEYS and REAL ESTATE BROKERS, and all AGENTS who have acted on behalf of any of the foregoing with respect to the application:

(<u>NOTE</u>: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent**, **Contract Purchaser/Lessee**, **Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

(enter first name, middle initial, and last name)	(enter number, street, city, state, and zip code)	(enter applicable relationships listed in BOLD above)
Brightview Senior Living Development, LLC Agent: David D. Carliner Maria E. Miller	218 N. Charles Street, Suite 220 Baltimore, MD 21201	Applicant/Agent for Title Owner for Tax Map 55-4 ((1)) 36B
Brightview Fair Oaks Outlet Road, LLC Agent: David D. Carliner Maria E. Miller	218 N. Charles Street, Suite 220 Baltimore, MD 21201	Title Owner of Tax Map 55-4 ((1)) 36B
The BC Consultants, Inc. Agent: Dennis D. Dixon Dennis G. Casbeer	12600 Fair Lakes Circle, Suite 100 Fairfax, VA 22033	Engineer/Agent for Applicant

(check if applicable) [✓] There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

ADDRESS

- * In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
- ** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

NAME