

Soapstone Connector

Fairfax County, Virginia

WSSI #30242.01

Supplemental Phase I Architectural Survey

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ABSTRACT

Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc., of Gainesville, Virginia conducted a Supplemental Phase I Architectural Survey of a 22.78-acre office park in Reston, Fairfax County, Virginia for HNTB of Arlington, Virginia on behalf of the Fairfax County Department of Transportation (FCDOT). The purpose of the survey was to record ten contiguous parcels on Association Drive within the supplemental Area of Potential Effect (APE) and provide a preliminary recommendation regarding eligibility for listing in the National Register of Historic Places (NRHP).

The FCDOT, in cooperation with the Virginia Department of Transportation (VDOT) and the Federal Highway Administration (FHWA), is studying the environmental consequences of construction of the Soapstone Connector (Project). The proposed roadway, approximately one half-mile long between Sunset Hills Road and Sunrise Valley Drive, will cut through the western side of the office park and require the removal of one building in the supplemental APE.

Originally known as the Reston Center for Associations and Educational Institutions, the office park contains ten Modernist and Postmodernist Movement buildings constructed between 1972 and 1991. Using Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction, the campus is recommended as potentially eligible for listing in the NRHP as a historic district with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture. All but one of the ten buildings are recommended as potentially contributing to the historic district. In addition, the earth-sheltered office at 1916 Association Drive may be individually eligible under Criterion A for association with the environmental movement and criteria C for architecture.

The project will have a direct effect on 1904 Association Drive (029-6255) and an indirect effect on the remainder of the buildings. A Phase II Architectural Evaluation is recommended to discover who designed each building, document their interiors, and determine their eligibility for listing.

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INTRODUCTION

Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc. (WSSI), of Gainesville, Virginia, conducted a Supplemental Phase I Architectural Survey of a 22.78-office park in Reston, Fairfax County, Virginia on May 1, 2018 (Exhibit 1). The study was conducted for HNTB of Arlington, Virginia on behalf of the Fairfax County Department of Transportation (FCDOT). FCDOT, in cooperation with Virginia Department of Transportation (VDOT) and the Federal Highway Administration (FHWA), is studying the environmental consequences of construction of the proposed Soapstone Connector (Project) (Exhibit 2). The supplemental Area of Potential Effect (APE) is based on consultation between the Fairfax County Architectural Review Board (ARB) Chairman, the Virginia Department of Historic Resources (DHR), and FCDOT. It consists of ten contiguous parcels bound by Association Drive (Exhibit 3 and Exhibit 4).

The Soapstone Connector is a proposed roadway, approximately one half-mile long between Sunset Hills Road and Sunrise Valley Drive, which will cut through the western side of the office park and require the removal of 1904 Association Drive. The project is located just west of the new Wiehle-Reston East Metrorail Station and includes a new crossing over Virginia Route 267 (Dulles Toll Road), the Dulles International Airport Access Highway (DIAAH), and the Silver Line of the Metrorail system. The project was recommended by the Reston Metrorail Access Group and is also included in the Reston Comprehensive Plan Amendment, which was approved by the Fairfax County Board of Supervisors (BOS) in February 2014.

An Environmental Assessment (EA) was prepared in compliance with the National Environmental Policy Act (NEPA), 23 CFR Part 771. As a part of NEPA, and in accordance with Section 106 of the National Historic Preservation Act (NHPA) and 36 CFR Part 800, a Phase IA Cultural Resources Survey and Phase IB Architectural Survey were completed to identify cultural and architectural resources listed in or eligible for listing in the National Register of Historic Places (NRHP) that could be affected by the implementation of the project. The ten contiguous parcels in the supplemental APE were not recorded during these surveys, because they have not yet met the typical age criteria of 50 years old.

On January 12, 2017, DHR concurred with recommendations that the Washington & Old Dominion Railroad Historic District, located outside of the direct APE, remains eligible for the NRHP; the Wiehle/Sunset Hills Historic District is not eligible for the NRHP; and the Soapstone Connector project would have no adverse effect on historic properties. However, on January 3, 2018, DHR contacted FCDOT and requested that the Supplemental Phase I Architectural Survey be completed and an updated Effect Determination be obtained from DHR. The supplemental architectural survey is being conducted to record the ten buildings in the office park and make a preliminary recommendation regarding eligibility for listing in the NRHP, using Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction.

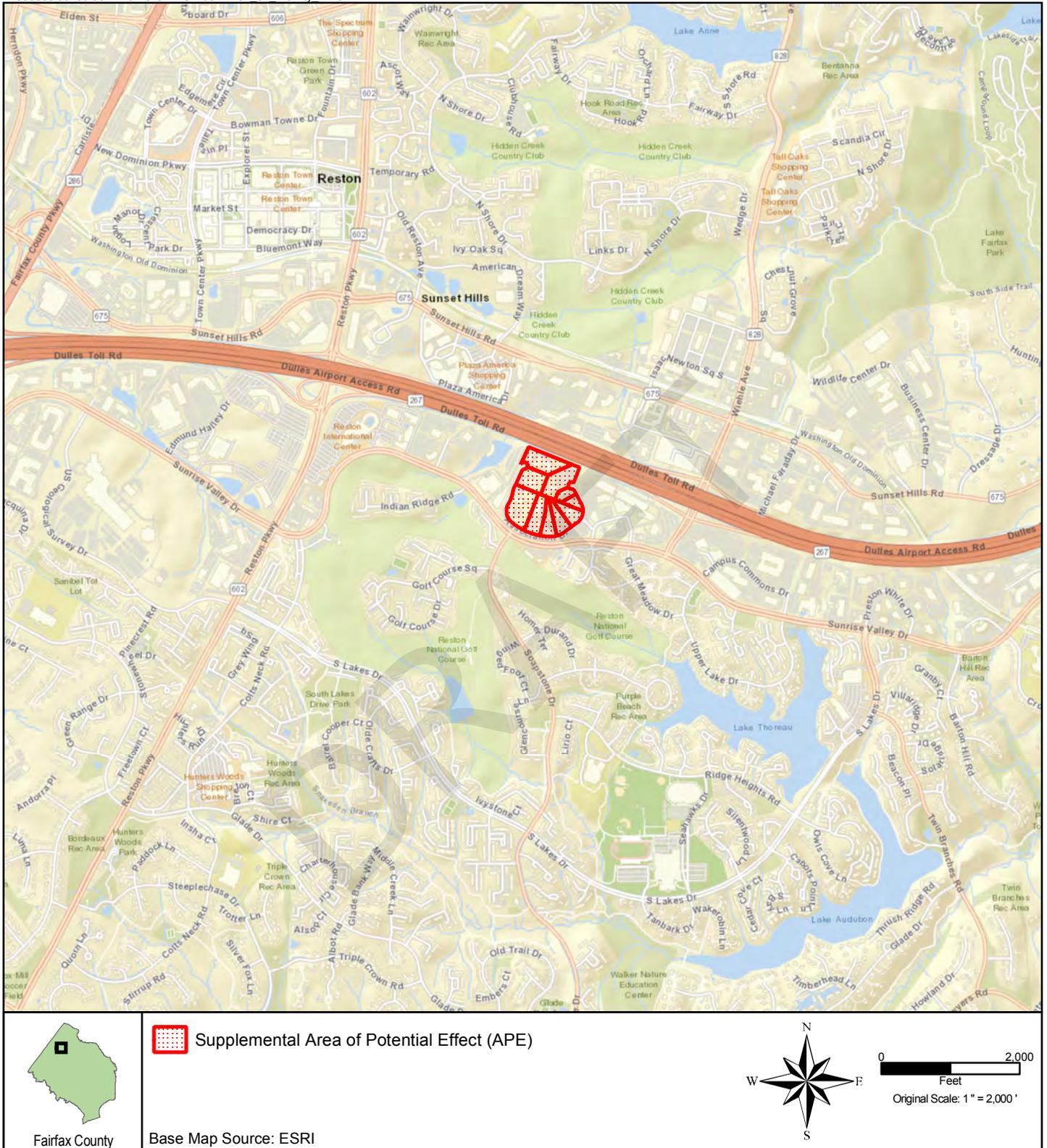
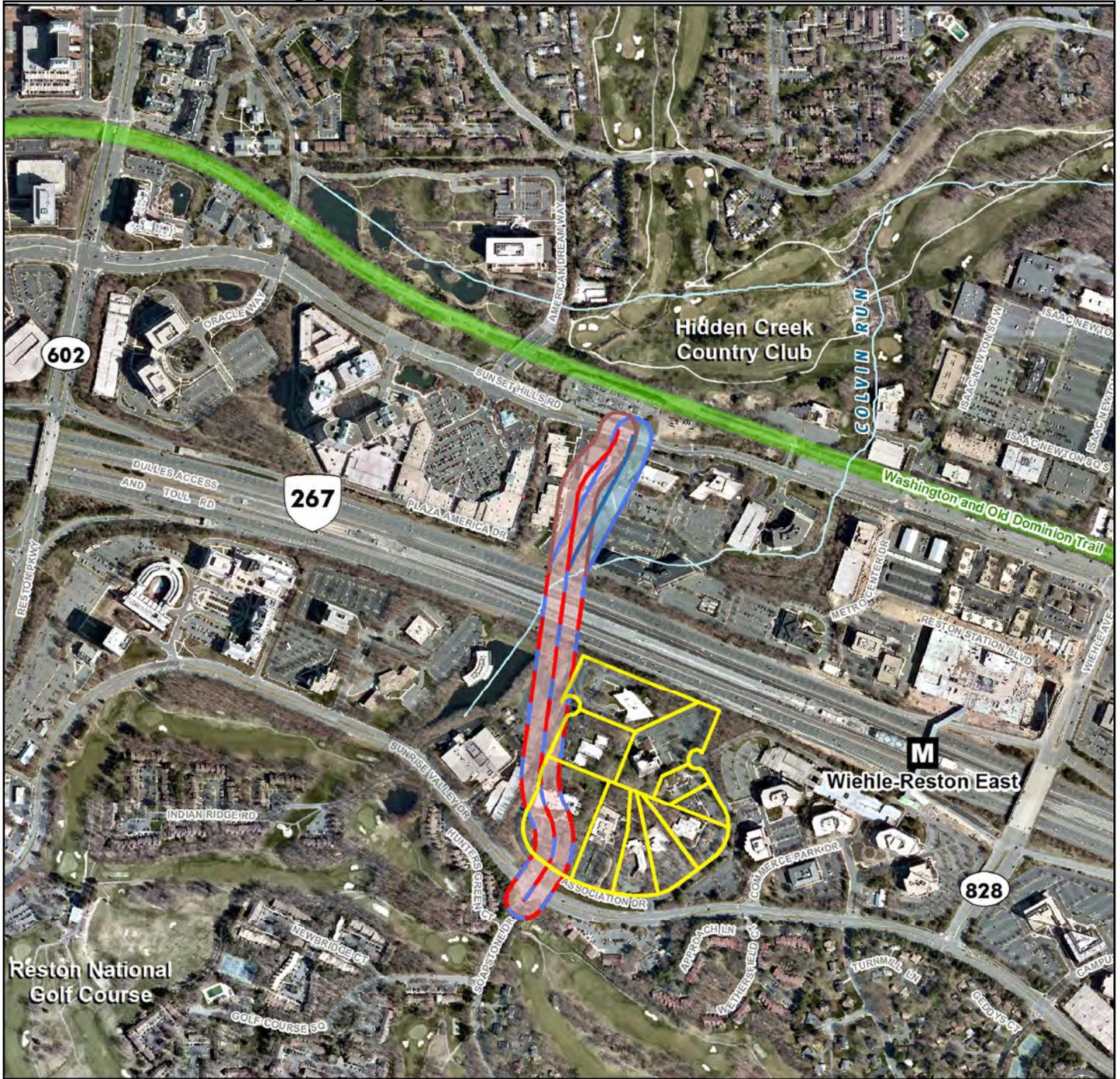
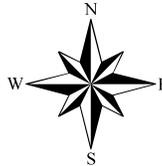
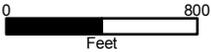


Exhibit 1: Vicinity Map



	Supplemental Area of Potential Effect (APE)		
	Alternative 1: 200' Corridor		Alternative 1: Centerline
	Alternative 2: 200' Corridor		Alternative 2: Centerline

Source: (<https://www.fairfaxcounty.gov/transportation/projects/soapstone-connector>)

Original Scale: 1" = 800'

Exhibit 2: Proposed Soapstone Connector Alternatives

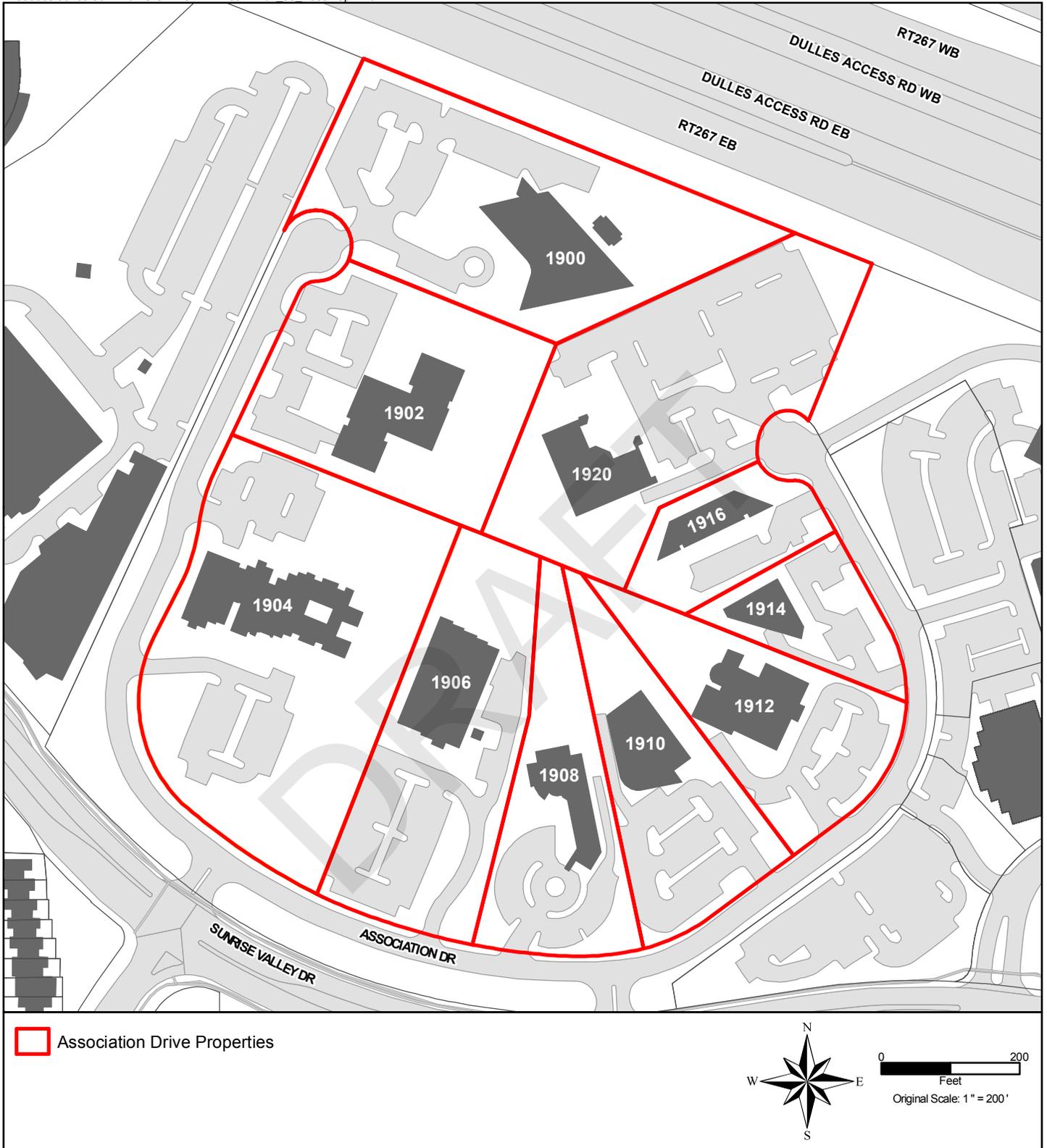
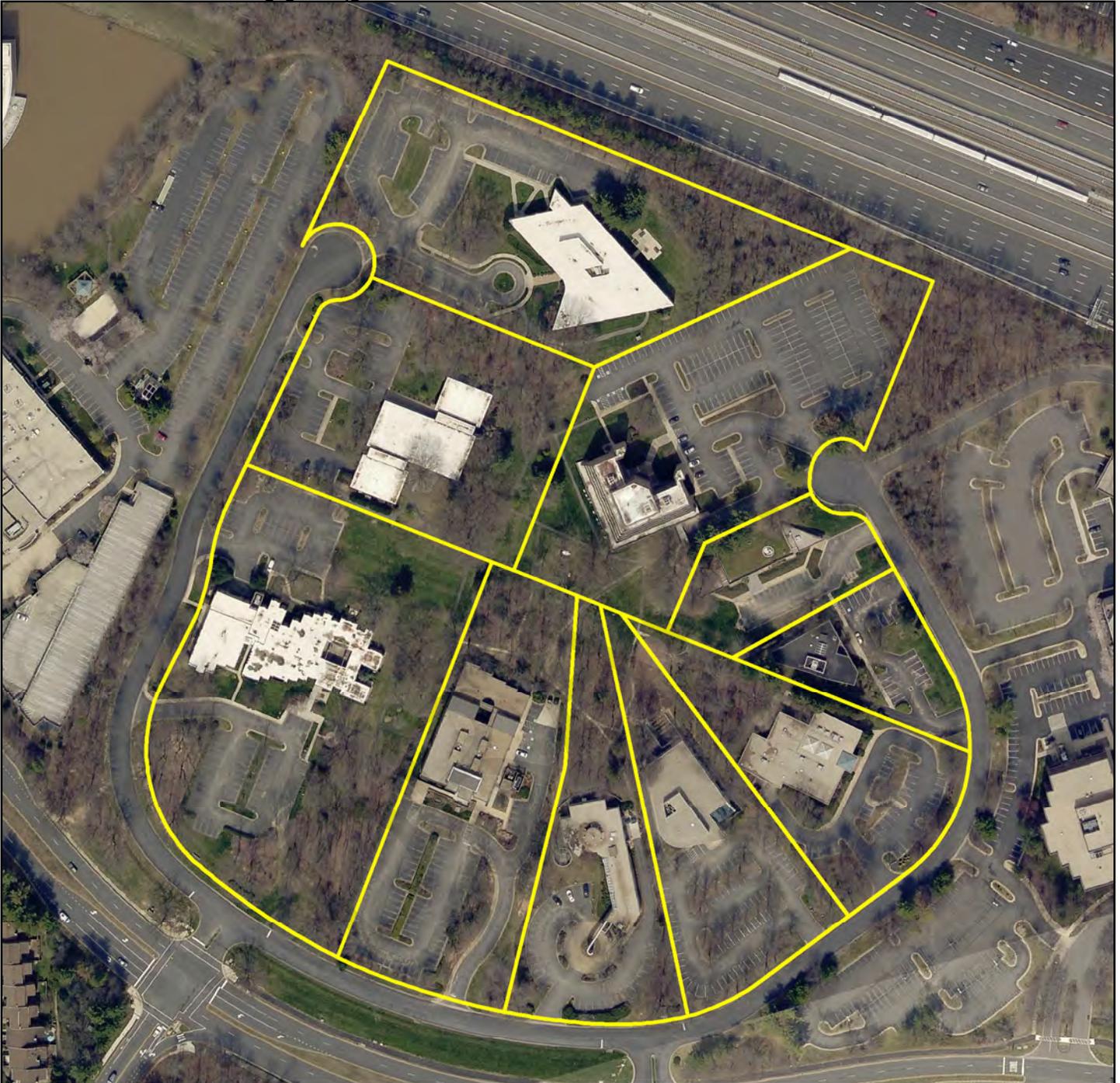


Exhibit 3: Fairfax County Parcel Map



 Supplemental APE

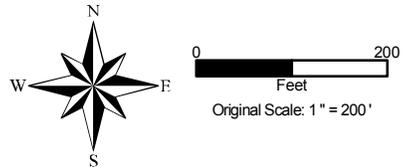


Photo Source: Pictometry®

Exhibit 4: Spring 2017 Natural Color Imagery

METHODOLOGY

WSSI conducted a literature review of material available through Fairfax County, DHR's online Virginia Cultural Resource Information System (V-CRIS), and other repositories. Historic maps and aerials were geo-referenced and reviewed, and the following inventory of previously recorded architectural resources was compiled. Six architectural resources have been recorded within a one-mile radius of the APE (Table 1 and Exhibit 5).

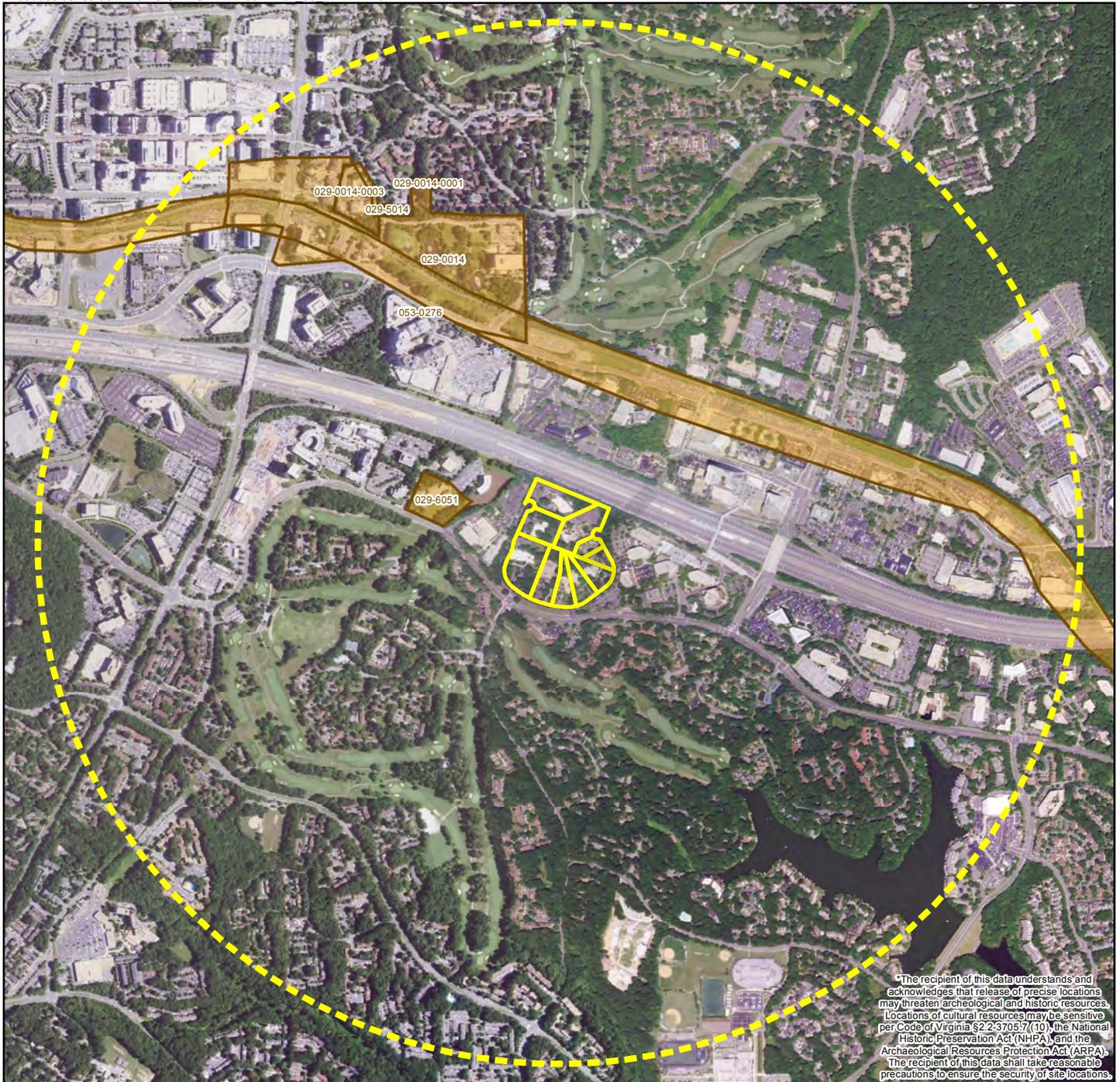
Table 1: Previously Recorded Architectural Resources within a One-Mile Radius

DHR Resource Number	Resource Name	Resource Type	Temporal Affiliation	National Register Eligibility
029-0014	Wiehle/Sunset Hills Historic District	Historic District	1890	Not Eligible
029-0014-0001	Robert Wiehle House	Single Dwelling	1890	Not Evaluated
029-0014-0003	Max Wiehle Mansion	Single Dwelling	1899	Not Eligible
029-5014	Wiehle Town Hall	Distillery/Still House	Ca 1890	VLR/NRHP Listed
029-6051	American Press Institute	Office Building	1974	Potentially Eligible
053-0276	Washington & Old Dominion Railroad Historic District	Historic District	Ca 1855	Eligible

The Wiehle Historic District (029-0014) and the associated Max Wiehle Mansion (029-0014-0002) have been determined not eligible by DHR staff. The Robert Wiehle House (029-0014-0001), also associated with the district, has not be evaluated. Listed in the NRHP, Wiehle Town Hall (029-5014) was constructed in 1890 and is a two-story Greek Revival building, which has served as a community center and a liquor distillery after the repeal of alcohol prohibition.

Determined potentially eligible, using Criterion Consideration g, the American Press Institute (API) Building (029-6051), formerly at 11690 Sunrise Valley Drive, was designed by the internationally renowned Marcel Breuer in the Brutalist style and constructed from November 1972 to October 1974. A Breuer-designed wing was added in 1980, and a wing by another architect was added in 1990. The building was demolished in 2016 and replaced by townhouses and condos.

Determined eligible for the NRHP and located on the opposite side of the Dulles Toll Road, the Washington & Old Dominion Railroad (W&OD) Regional Park (053-0276) was originally known as the Alexandria, Loudoun and Hampshire Railroad. The regional park features a 45-mile, hard-surfaced bicycle and pedestrian trail and an adjacent bluestone-surface bridle path between Shirlington and Purcellville.



*The recipient of this data understands and acknowledges that release of precise locations may threaten archeological and historic resources. Locations of cultural resources may be sensitive per Code of Virginia §2.2-370517 (10), the National Historic Preservation Act (NHPA), and the Archaeological Resources Protection Act (ARPA). The recipient of this data shall take reasonable precautions to ensure the security of site locations.

- VDHR Architectural Resource*
- Supplemental APE
- 1 Mile Radius From Center of Supplemental Area of Potential Effect (APE)

Virginia Department of Historic Resources (VDHR) data: February 2018
 Photo Source: National Agriculture Imagery Program (NAIP) - 2016 Natural Color Imagery

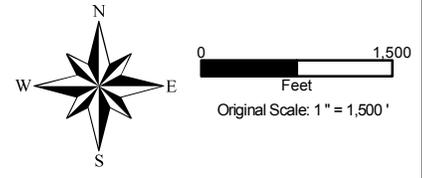


Exhibit 5: Previously Surveyed Architectural Resources

The purpose of a Phase I survey is to record architectural resources within the APE that are 50 years of age or older and/or are of exceptional merit, regardless of age, and to provide a preliminary assessment of their eligibility for listing in the NRHP, either individually or as part of a historic district. Following literature review, WSSI architectural historians photo-document and prepare a full description of the exterior of each accessible resource. Following fieldwork, a preliminary summary statement of significance, including recommendations for additional work or potential NRHP eligibility, is prepared. Survey forms are accompanied by a site plan identifying primary and secondary resources and the location and limits of the property.

As codified in Code of Federal Regulation Title 36, Part 60, the four criteria applied in the evaluation of cultural resources for listing in the NRHP, include the following:

- A. Association with events that have made a significant contribution to the broad patterns of our history; or
- B. Association with the lives of significant persons in or past; or
- C. Representative of a type, period, or method of construction, or that represent the work of a master; or
- D. Have yielded or may be likely to yield information important in history or prehistory.

Typically, architectural resources recorded at the Phase I level are evaluated using Criterion C only; evaluation under Criteria A, B, and/or D will be considered if necessitated by specific site conditions, characteristics, and/or contexts.

Seven types of properties are ordinarily not considered for listing; however, they may qualify if part of a district or if they meet one of the following criteria considerations:

- a. a religious property deriving primary significance from architectural or artistic distinction or historical importance; or
- b. a building or structure removed from its original location but which is significant primarily for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or
- c. a birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building directly associated with his or her productive life; or
- d. a cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, from association with historic events; or
- e. a reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or
- f. a property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or,
- g. a property achieving significance within the past 50 years if it is of exceptional importance.

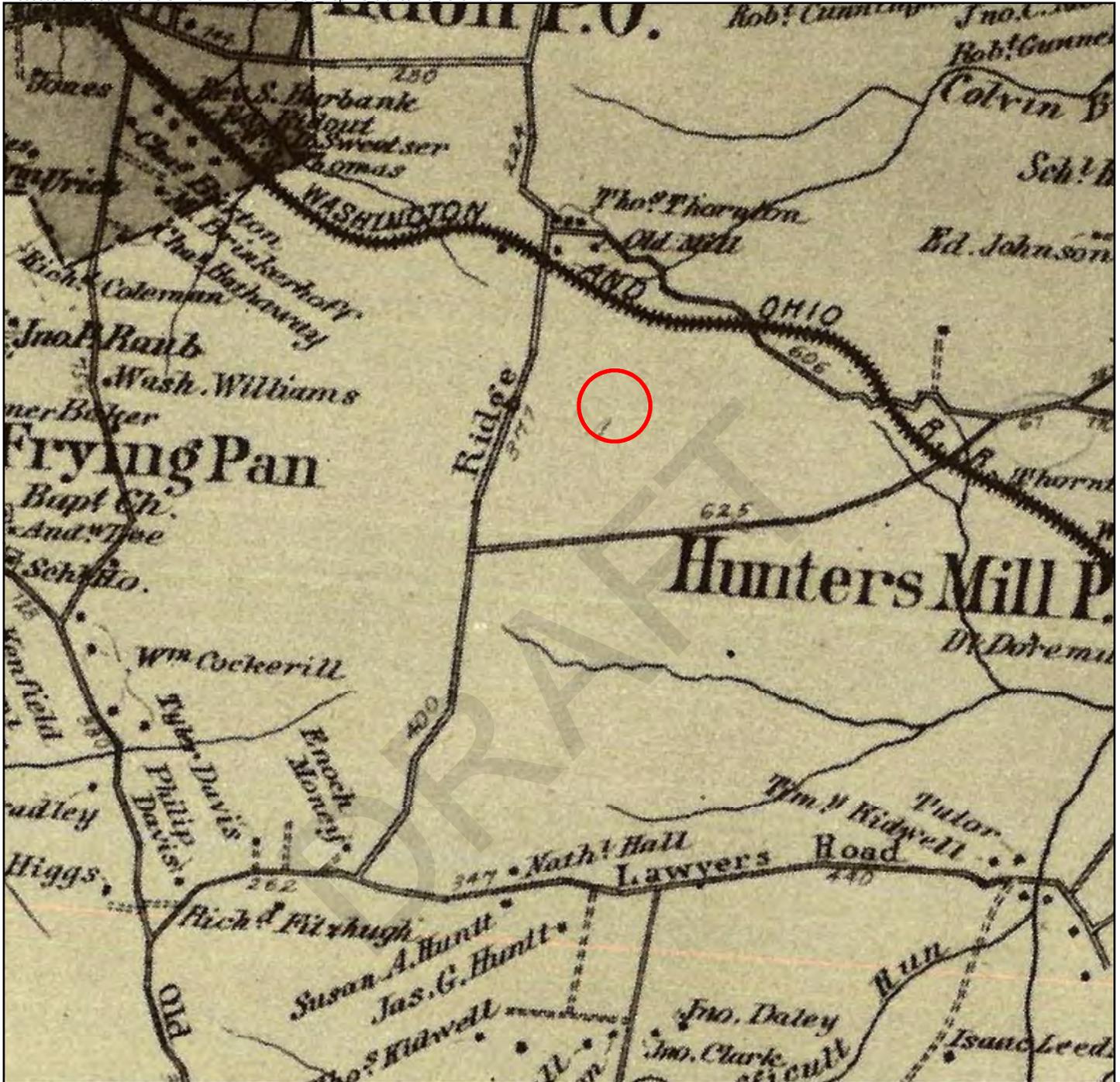
HISTORIC CONTEXT

Originally part of the Northern Neck Proprietary, present-day Reston remained in the Fairfax family until 1852 when Reginald Fairfax, son of Thomas Fairfax, the Ninth Baron Cameron, sold 8,000 acres to Benjamin Thornton for \$5.00 an acre. Over the next five years, the predecessor of the W&OD was completed through the property, connecting Alexandria to Leesburg, and Thornton Station was established. Progress on building the railroad farther west stalled during the Civil War as it was overtaken by the Union Army, who camped along its corridor and used it for moving supplies. After the war, the line was improved and expanded, making the area a viable vacation destination for residents of Washington, D.C (Gulf Reston, Inc. 1970:3).

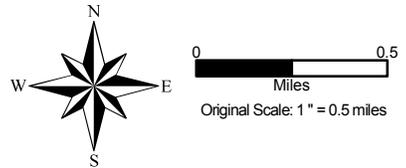
By 1886, after much speculation on the development potential of Thornton's tract, the land was put up for auction to pay back taxes. Retired doctor, Carl Adolph Max Wiehle, and developer, William Dunn, purchased 6,449 acres of the land for \$20,000 and eventually divided it with Wiehle taking the 3,228 acres north of the W&OD tracks (Exhibit 6). Wiehle had practiced medicine in Philadelphia before moving with his wife and children to Washington, D.C. in 1881 and turning his interest towards town planning. In addition to acquiring the Thornton tract, he purchased a neighboring 300 acres and hired a planner from Germany to develop a self-sufficient town that would accommodate 800 houses, a hotel, industry, community buildings, and pocket parks within a modified gridiron pattern. In 1887, the Wiehle Post Office (later Sunset Hills), a church, and a town hall were constructed. In 1888, he built a Victorian summer house, which is no longer extant, and a surviving gazebo. Early industry included a brick kiln, saw mill, and mill established by the Maryland and Virginia Serpentine and Talc Company of Baltimore. Three lakes, the largest of which survives, were hand-dug near the W&OD and Louis Avenue and an ice house constructed on the bank of one of the lakes (Gulf Reston, Inc. 1970:5-6).

Despite these amenities, records indicate only six or seven of the 800 planned frame houses were built. The town's failure may be attributed to several factors. In the 1960s, planners of Reston theorized it was too advanced for its era. In addition, in the 1890s, the United States entered an economic depression related to the mechanization of farming, extensive silver mining, and a housing bubble after a boom of building string towns along new railroad corridors. Before his death in 1901, Wiehle began construction on a 25-room brick house to replace his frame summer house. It was not completed until 1902 and thus never occupied by him. His demise at a relatively young age and the lack of interest in the endeavor by his son were the final factor in the lack of progress on the project (Gulf Reston, Inc. 1970:6-7).

Beginning in 1908, Wiehle's heirs began selling large portions of the undeveloped land. After multiple sales, in 1923, A. Smith Bowman purchased some of the older buildings, moved into Wiehle's mansion, opened the Virginia Gentleman bourbon distillery in the modified town hall, and located the Internal Revenue agents in the old ice house. "In 1947, the Bowman's purchased the former Dunn tract south of the railroad, bringing their total



 Vicinity of Supplemental APE



Map Source: "Dranesville District No. 6, Fairfax Co".
 From G.M.Hopkins' Atlas of Fifteen Miles Around
 Washington, D.C., 1878". Library of Congress,
 Geography and Mapping Department.

Exhibit 6: 1879 Hopkins Map Dranesville District No. 6, Fairfax County, Va

holdings to well over 7,000 acres” (Gulf Reston, Inc. 1970:8). Though by 1954, the project area remained undeveloped, while other sections of Fairfax County, were rapidly subdivided (Exhibit 7).

In the 1950s and 1960s, Fairfax County’s population exploded due to the completion of the Capital Beltway around Washington D.C. and Dulles Airport. Air travel expanded rapidly due to major technical advancements in flight in World War II and an abundance of trained pilots returning from war. In 1948, the Civil Aeronautics Administration (CAA) (predecessor of the Federal Aviation Administration) began to analyze hundreds of sites and narrowed in on three alternatives in Loudoun and Fairfax counties for a new airport to complement Washington D.C.’s National Airport, which was completed in 1941. In 1951, the community of Burke was selected, but white residents protested, and the exponential population growth of the area prompted the search to continue. In January 1958, the CAA selected the alternative that they referred to as Chantilly, which was locally known as Willard. The protests of the largely African-American community were ignored, in contrast to the successful protests of the white community in Burke. In September 1958, during an era that lacked requirements for public hearings and environmental reviews, the federal government condemned 9,800 acres belonging to 87 Willard area landowners to acquire the land it wanted for the airport (Henderson and Hussey 1965:7; Scheel 2002).

Attracted both by the rural character and the amenity of a new airport, entrepreneur and idealist, Robert E. Simon, Jr., used the proceeds of his sale of Carnegie Hall in New York City to purchase 6,750 acres at \$2,000 per acre around the bourbon distillery in 1961. With a vision for a New Town, a post-World War II utopian vision not unlike that of Dr. Wiehle, he hired the firm of Whittlesey and Conklin to prepare the Reston Master Plan. James Rossant joined the firm soon thereafter and contributed to much of the planning and design. The New Town Movement was global, and in the U.S., was a reaction to the haphazard, residential sprawl that occurred after the war. Unlike previous planning and zoning movements of the 20th century, it called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socioeconomic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act and the Civil Rights Act passed. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and above all, open space and recreation (Huxtable 1964).

The original Reston Master Plan accommodated 75,000 people in seven village centers and devoted 42% of the acreage to public space, including trails, roads, parks, and two golf courses. In the summer of 1963, a dam was built to impound Colvin Run, resulting in the 30-acre Lake Anne, and construction began on Reston North Golf Course, the first two projects undertaken. In 1964 and 1965 as well as later years, the *New York Times* architecture critic, Ada Louise Huxtable, and other reputable journalists highlighted and



 Supplemental APE

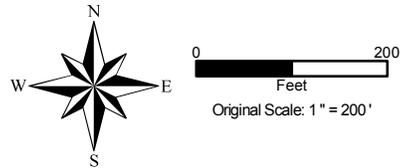


Photo Source: Fairfax County Mapping Office

Exhibit 7: 1954 Air Photo, Fairfax County, Virginia

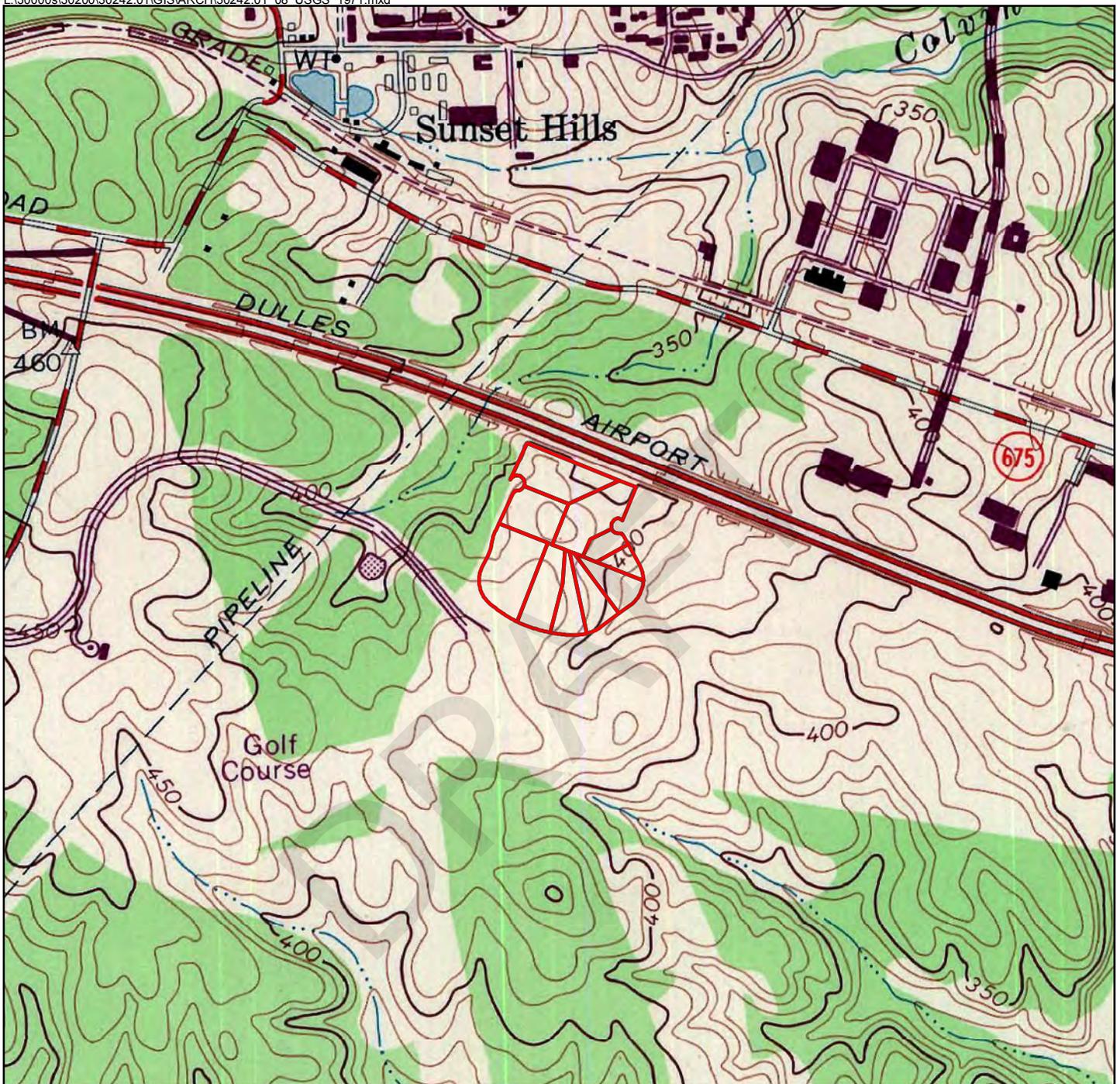
praised Reston, which with Irvine, California, and Columbia, Maryland, was one of the first “New Towns” in the United States. The successful completion of many of the planned amenities and village centers along with access to Dulles Airport attracted, as Simon had hoped, multiple businesses, non-profits, and government agencies, including the United States Geological Society (USGS) (Malcolm 1973). In 1970, the National Educational Association and ten affiliates purchased 56 acres and brought quality jobs located within architecturally interesting buildings in a park-like setting.

James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: “The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston” (Gulf Reston, Inc. 1970:26-27).

Originally known as the Reston Center for Associations and Educational Institutions, the Modernist movement campus rapidly evolved between 1972 when ground was broken on 1904 Association Drive and 1981 (Exhibit 8 - Exhibit 13). After a decade lull, the last building was constructed in the Postmodern style in 1991 (Exhibit 14).

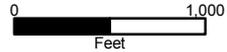
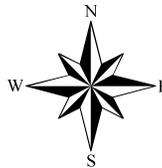
RESULTS OF INVESTIGATION

WSSI recorded ten buildings located on the circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive (Exhibit 15). Constructed between 1972 and 1991, each building in the office park was designed for the national headquarters of an educational organization with a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism (Table 2). Located in a park-like setting, all buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths (Plate 1 and Plate 2). Using Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction, the office park, originally known as the Reston Center for Associations and Educational Institutions, is recommended as potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.



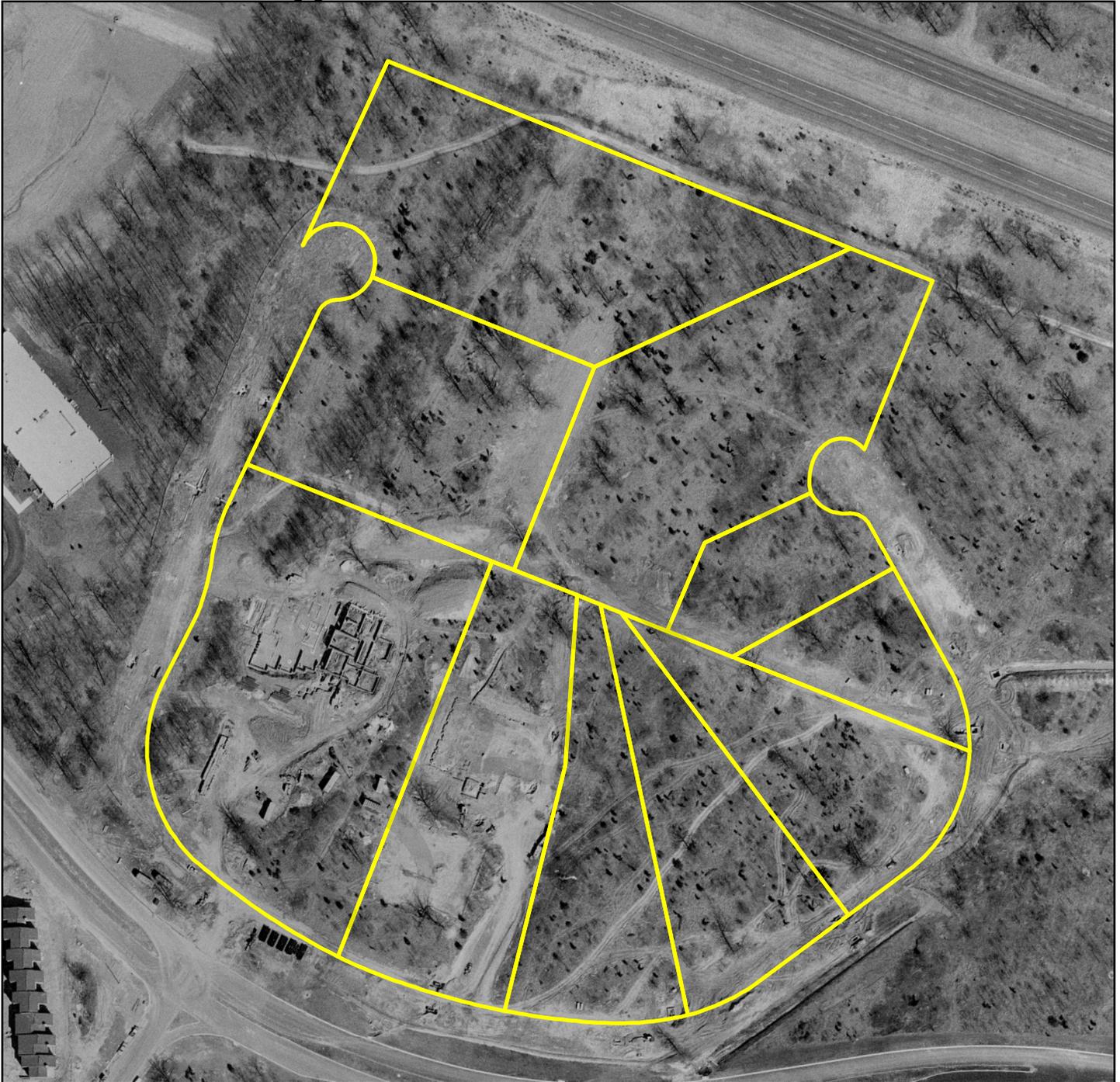
 Supplemental APE

Latitude: 38°56'48" N
Longitude: 77°20'47" W



Original Scale: 1" = 1,000'

Exhibit 8: 1971 USGS Quad Map Vienna, VA-MD



 Supplemental APE

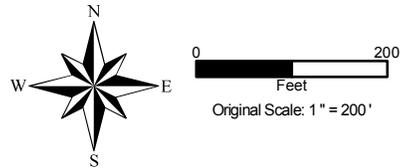


Photo Source: Fairfax County Digital Data

Exhibit 9: 1972 Black and White Imagery



 Supplemental APE

Latitude: 38°56'48" N
Longitude: 77°20'47" W

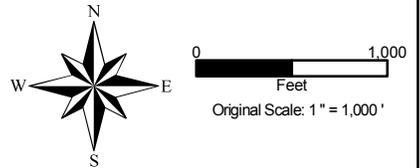


Exhibit 10: 1973 USGS Quad Map Vienna, VA-MD



 Supplemental APE

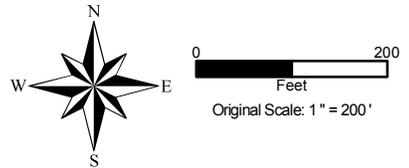
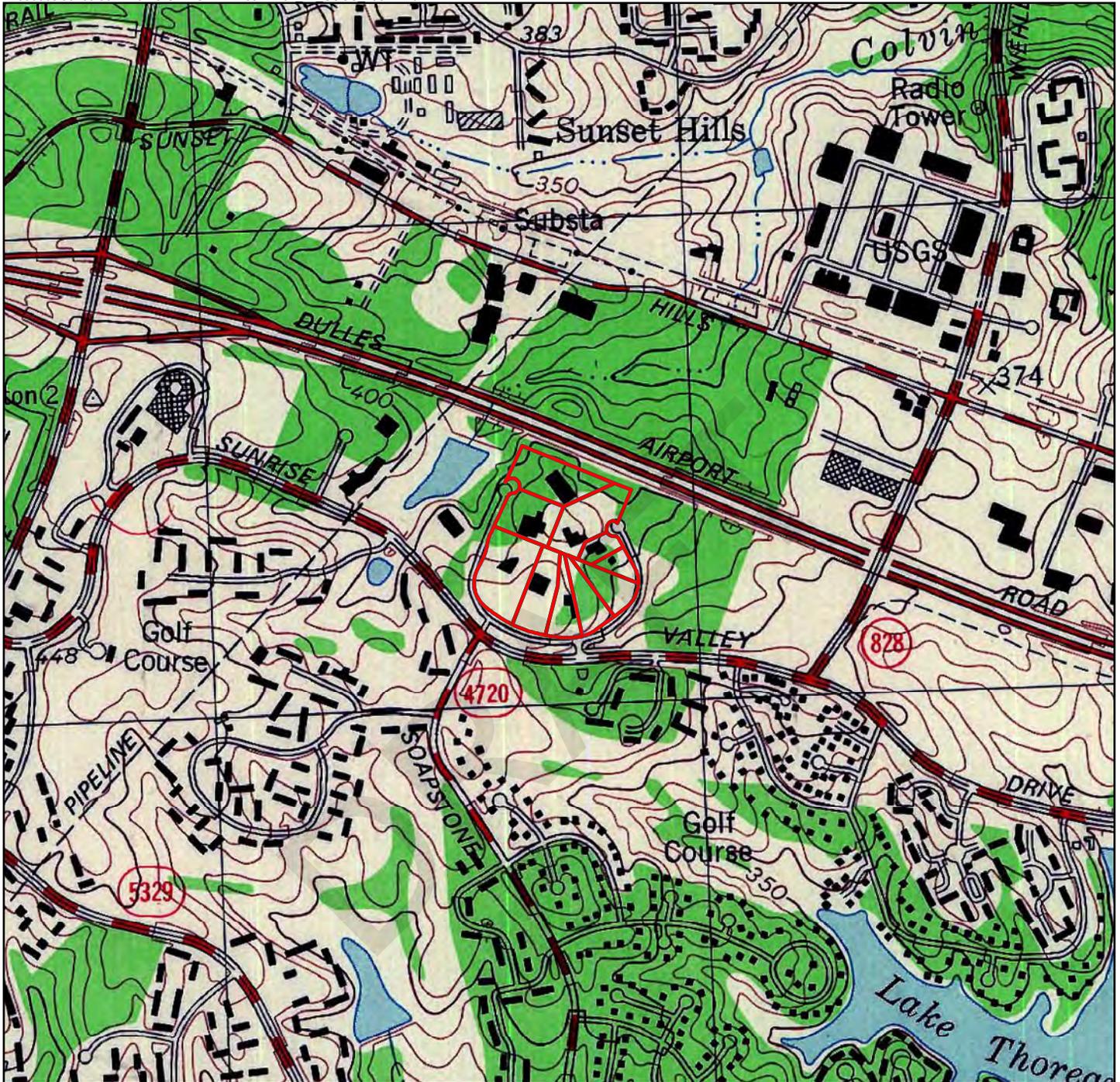


Photo Source: Fairfax County Digital Data

Exhibit 11: 1980 Black and White Imagery



 Supplemental Area of Potential Effect (APE)

Latitude: 38°56'48" N
Longitude: 77°20'47" W

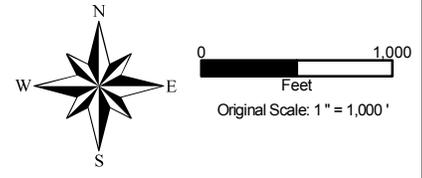
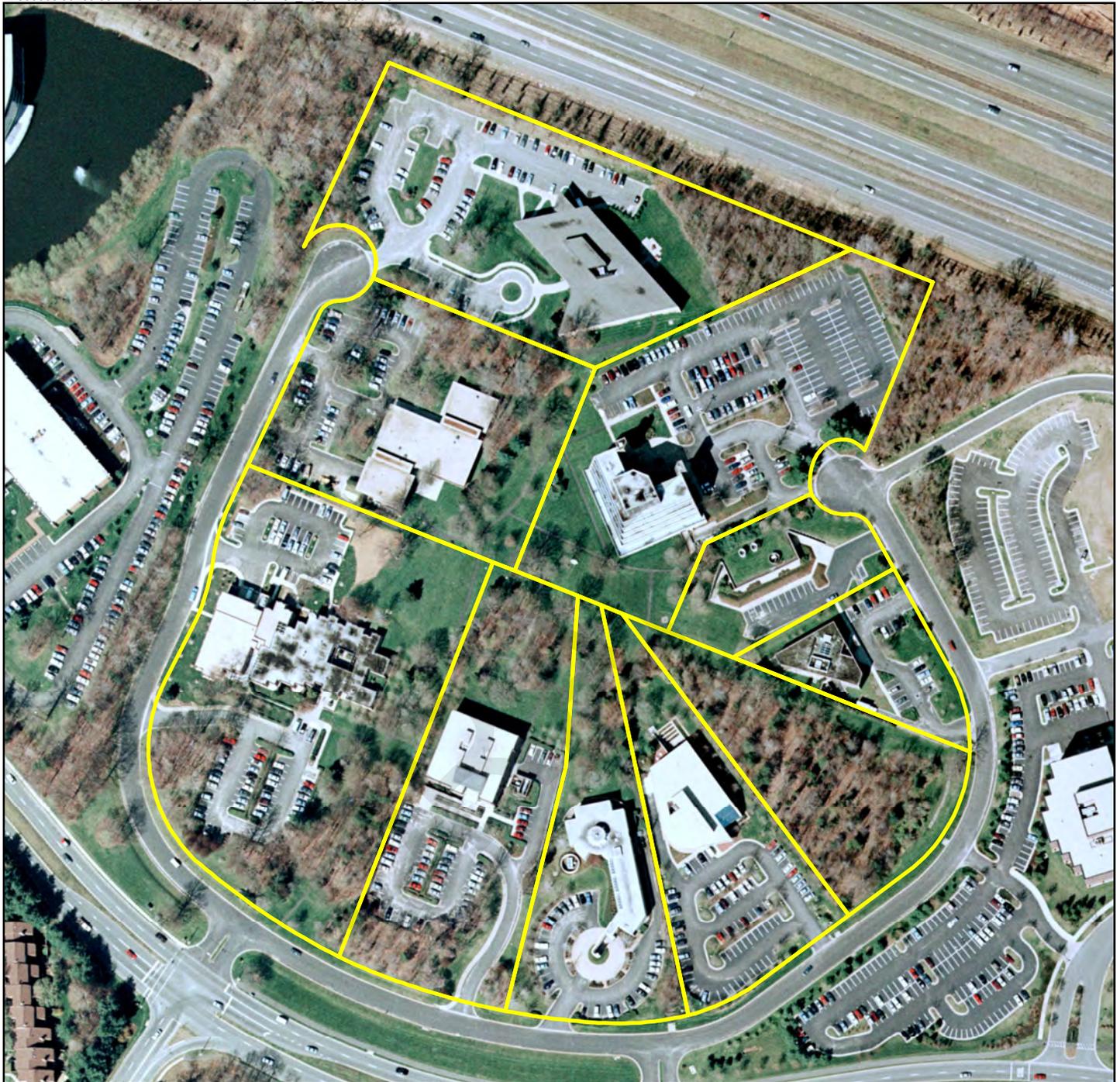


Exhibit 12: 1982 USGS Quad Map Vienna, VA-MD



 Supplemental Area of Potential Effect (APE)

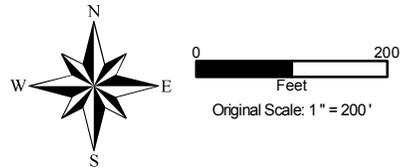
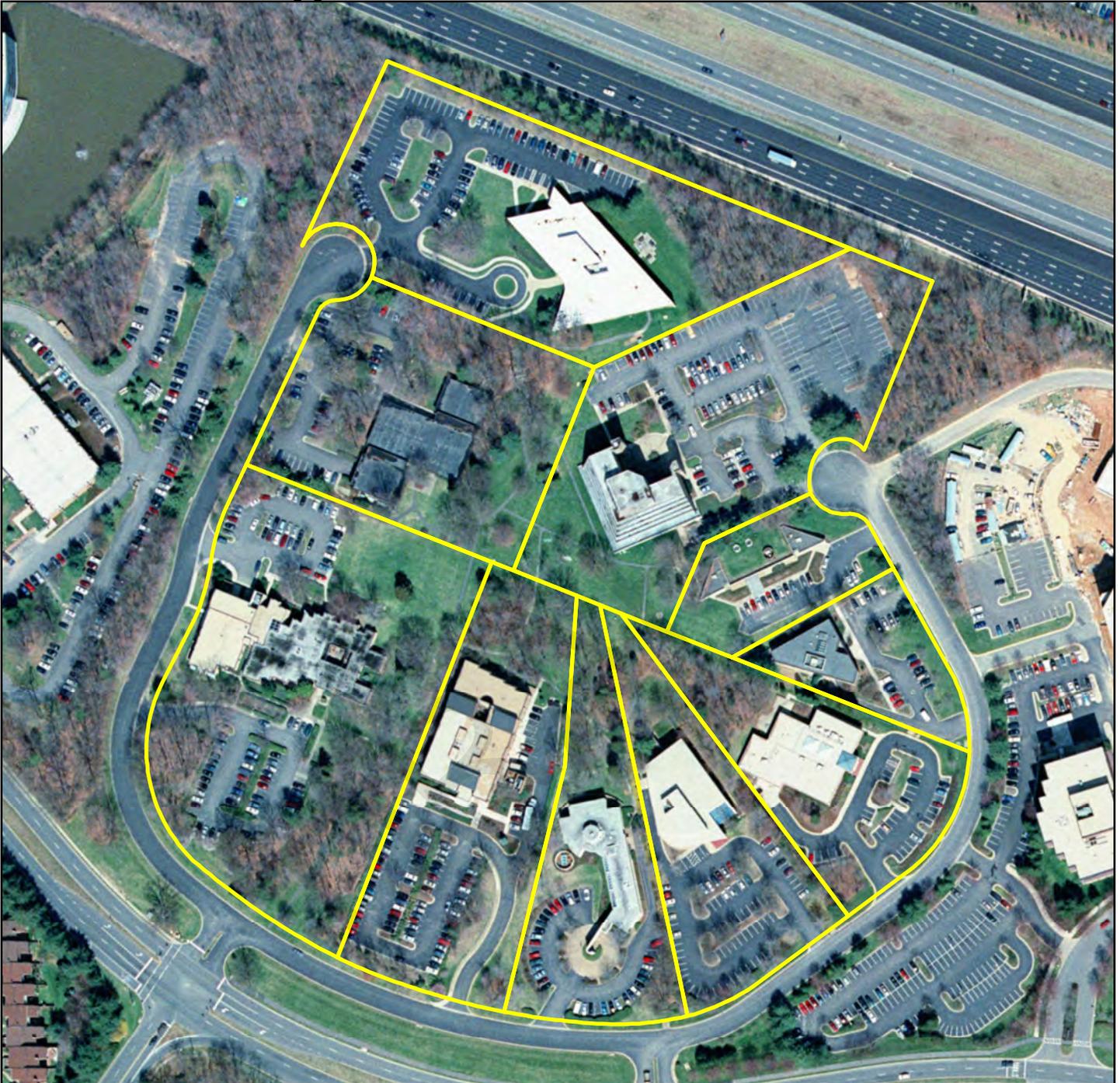
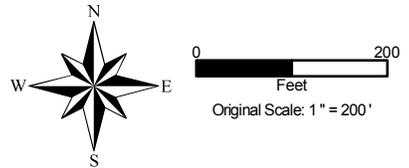


Photo Source: Fairfax County Digital Data

Exhibit 13: 1990 Natural Color Imagery

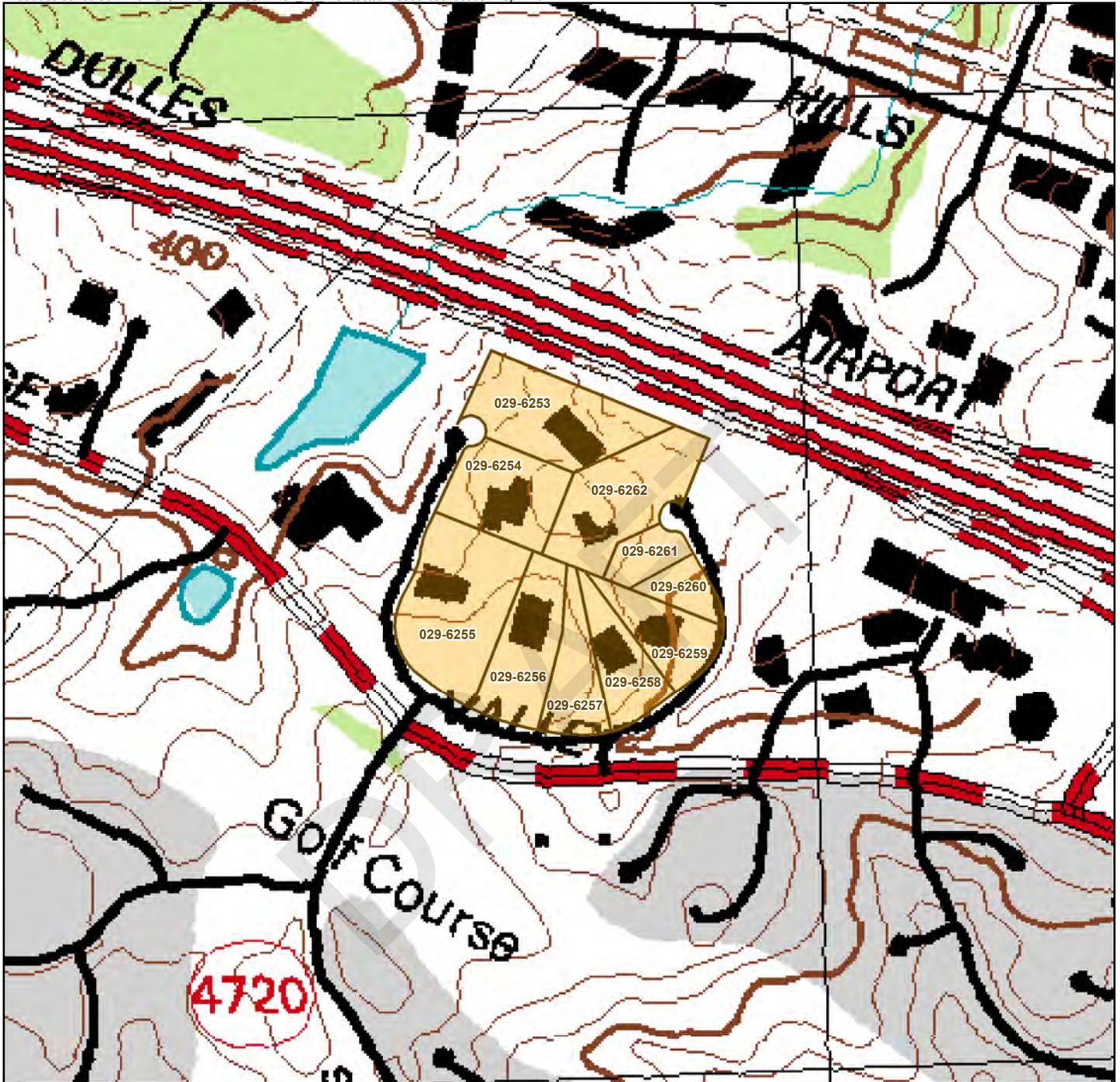


 Supplemental Area of Potential Effect (APE)



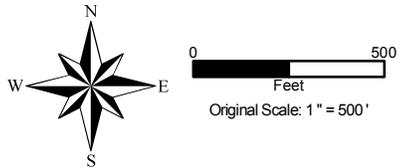
1998 imagery provided by VARGIS, LLC 1-800-834-0225

Exhibit 14: Spring 1998 Natural Color Imagery



 Architectural Resource

USGS Quad Map
Vienna, VA-MD 1994



0 500
Feet
Original Scale: 1" = 500'

Exhibit 15: Architectural Resources Recorded in APE

Table 2: Architectural Resources Recorded in the APE

DHR Resource No.	Historic Name	Location	Style	Date
029-6253	American Association for Health, Physical Education, and Recreation	1900 Association Drive	Neo-Expressionist	1980
029-6254	American Medical Student Association	1902 Association Drive	Miesian	1975
029-6255	National Association of Secondary School Principals	1904 Association Drive	Brutalist	1973
029-6256	National Council of Teachers of Mathematics	1906 Association Drive	Brutalist / Neo-Expressionist	1973
029-6257	Distributive Education Clubs of America	1908 Association Drive	International Style / Neo-Expressionist	1976
029-6258	Future Homemakers of America	1910 Association Drive	International Style / Neo-Expressionist	1982
029-6259	Future Business Leaders of America Phi Beta Lambda	1912 Association Drive	Postmodern	1991
029-6260	National Business Education Association	1914 Association Drive	Brutalist / Neo-Expressionist	1981
029-6261	National Art Education Association	1916 Association Drive	Earth-Sheltered / Brutalist	1977
029-6262	The Council for Exceptional Children	1920 Association Drive	Brutalist / Postmodern	1973

1900 Association Drive (029-6253)*Description*

1900 Association Drive is located at the northernmost section of circular Association Drive (Exhibit 16 and Plate 3 - Plate 10). It is set into a hillside with asphalt parking lots located to its north and northeast. The parklike landscape to the west, east, and south frames the building with grass slopes, open lawn, and mature regional plantings (magnolia, oak, azalea, honeysuckle) designed not to obscure building details. The circular driveway/walkway access to the building's principal entrance echoes the façade's curvilinear section. There is a poured-concrete pad located by the building's east elevation, which is used as an outdoor dining space by employees.

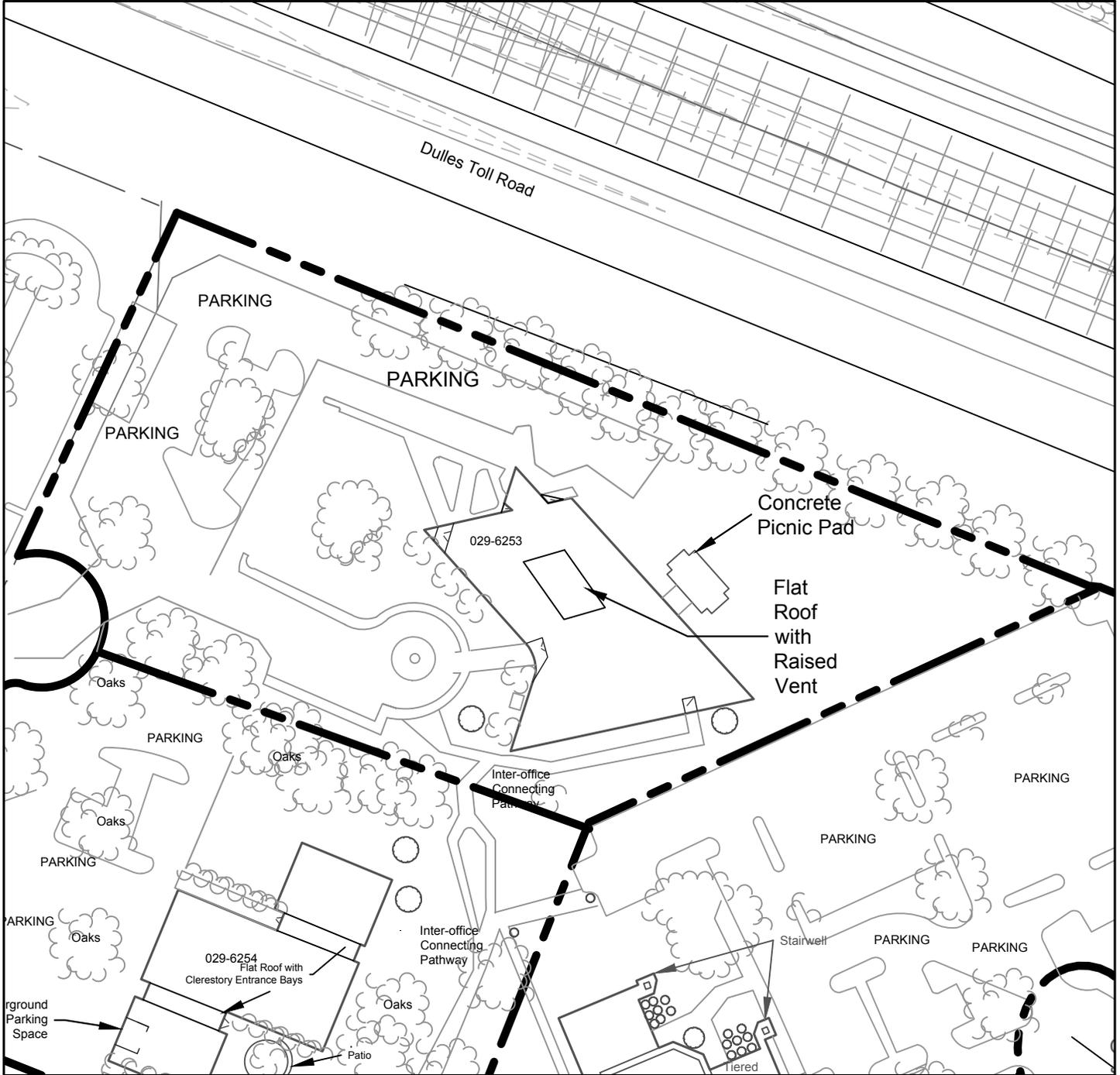
This building is a banked, multiple-bay office building designed in the Modern Movement style of Neo-Expressionism. Built into a hillside, the façade presents as one story, while the remaining elevations are two stories. The foundation is concrete. The structural system is concrete block. Exterior walls are coursed with original tan stretcher-bond brick veneer.



Plate 1. Interior of Association Drive Office Park, View NW



Plate 2. Interior of Association Drive Office Park, View SE



Reston Center for Associations and Educational Institutions
American Association for Health, Physical Education, and Recreation
1900 Association Drive
Reston
Fairfax County, Virginia

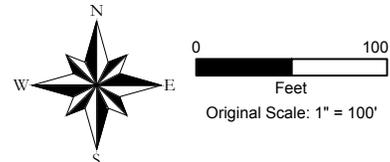


Exhibit 16: 1900 Association Drive (029-6253) Site Plan



Plate 3. 1900 Association Drive (029-6253) Parking Lot Entrance, View North



Plate 4. 1900 Association Drive (029-6253) Façade, View East



Plate 5. 1900 Association Drive (029-6253) West and SW Elevations, View NE



Plate 6. 1900 Association Drive (029-6253) SE Elevation, View NW



Plate 7. 1900 Association Drive (029-6253) SE and NE Elevations, View West



Plate 8. 1900 Association Drive (029-6253) NE and NW Elevations, View South



Plate 9. 1900 Association Drive (029-6253) North and East Elevations, View SE



Plate 10. 1900 Association Drive (029-6253) Façade Sculpture, View South

Overall, the building is plain and devoid of exterior ornament, but exercises some playfulness in its mostly polygonal footprint with open spaces for passages and upper terraces and recessed entrance bays. The building has a flat roof covered in original tar and gravel with plain metal coping along its parapet course. A raised central area on the roof, resided with vertical metal siding, is either a skylight or a screen for HVAC on roof. Windows are original insulite, one-light multipaned casements. Aligned in a parallel, ribbon-like course, units of six-light steel casement windows are on the building's façade, southeast, northeast, and north elevations. The southeast elevation has 9 bays of recessed window units on its lower level and 10 bays of windows on its upper level, filled by 6 vertical lights in each window unit. On the southeast and southwest elevations, comparable coursing of windows is sheltered by an overhanging soffit. Located on the elevation's southwestern curve, the primary entrance, accessed by a wide brick paver walkway, has a shallow platform and is recessed within a curved wall. A wood doubleleaf pull door with interior glass panels is flanked by two glass sidelight panels.

South of the primary access walkway, a bronze sculpture by Native American sculptor Gene Logan (1922-1999), consists of three nudes--a male, female, and child--interconnected, with the man holding a sphere aloft. The piece, titled "Unity," was installed on the grounds September 27, 1985, to commemorate the American Alliance Centennial.

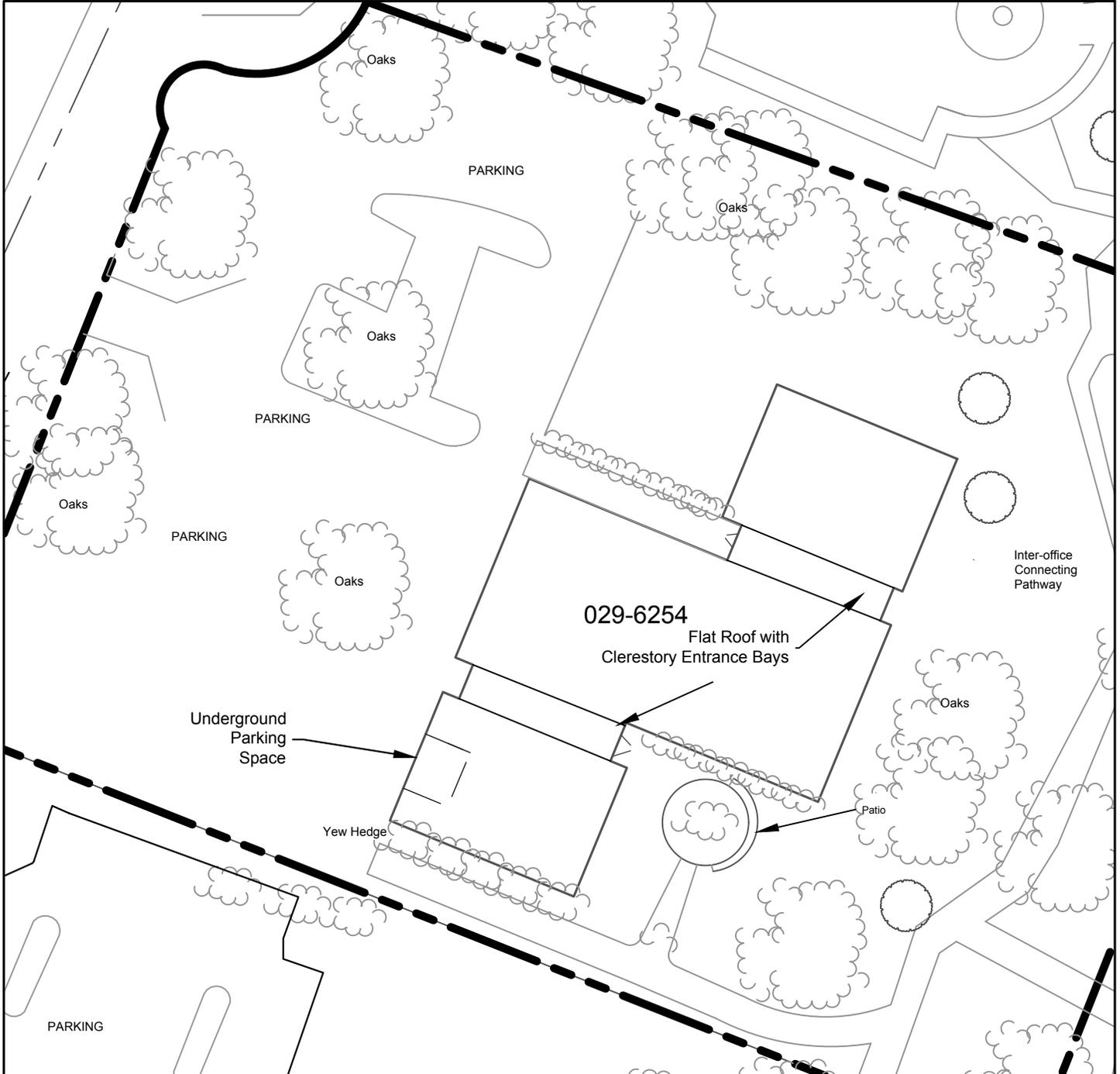
NRHP Evaluation

An affiliate of the National Education Association, the American Association for Health, Physical Education, and Recreation (now SHAPE America) purchased a lot on this campus in 1971 and constructed the building at 1900 Association Drive in 1980. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1900 Association Drive and its associated sculpture may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1902 Association Drive (029-6254)

Description

The building is located at the northwestern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston (Exhibit 17 and Plate 11 - Plate 18). It is positioned on a small hillside ridge with an asphalt parking lot located to its northeast. A parklike landscape frames 1902 Association Drive with grass slopes, a tall yew hedge along the property's southwest elevation, and an assemblage of mature oaks at the property's northeast yard. There are also hydrangea, azalea, boxwood, redbud, and dogwood in beds around the lot.



Reston Center for Associations and Educational Institutions
American Medical Student Association
1902 Association Drive
Reston
Fairfax County, Virginia

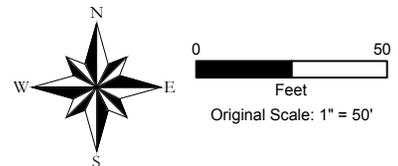


Exhibit 17: 1902 Association Drive (029-6254) Site Plan



Plate 11. 1902 Association Drive (029-6254) Parking Lot Entrance, View SE



Plate 12. 1902 Association Drive (029-6254) Façade Entrance North End, View SE



Plate 13. 1902 Association Drive (029-6254) Façade South End, View SE



Plate 14. 1902 Association Drive (029-6254) Façade Utility Entrance, View SE



Plate 15. 1902 Association Drive (029-6254) Façade and SW Elevation, View NE



Plate 16. 1902 Association Drive (029-6254) SW Elevation, View NE



Plate 17. 1902 Association Drive (029-6254) Courtyard, View North



Plate 18. 1902 Association Drive (029-6254) SE and NE Elevations, View West

A semi-curvilinear concrete walkway links the property to paved footpaths connecting other buildings within the complex. A rectilinear, poured-concrete walkway leads from the parking lot to the building's primary entrance on the north elevation.

This is a one-story, multiple-bay office building designed with Miesian influences, particularly the exterior's "skin" of glass and brick, and how the wide expanses of glass unite the building with a natural landscape. The deep overhangs also recall Neo-Formalist influences. The foundation is concrete. The structural system is steel frame. Exterior walls are original dark red and brown brick, laid below the window bands in a stretcher-bond course. The building, rectangular in format with smaller projecting rectangular sections at its northeast and southwest elevations, has a flat roof with a projecting metal cornice and deep soffit. There is a raised clerestory bay at the building's primary and secondary entrances. A continuous band of large, rectangular, double-glazed plate glass windows lines all elevations of this building. Of particular note is the ribbon of 16 windows along the north elevation's projecting section, consisting of four larger windows flanked by six smaller windows at each side. The building's primary entrance on the north elevation is a single asymmetrical bay, with bilevel glass clerestory.

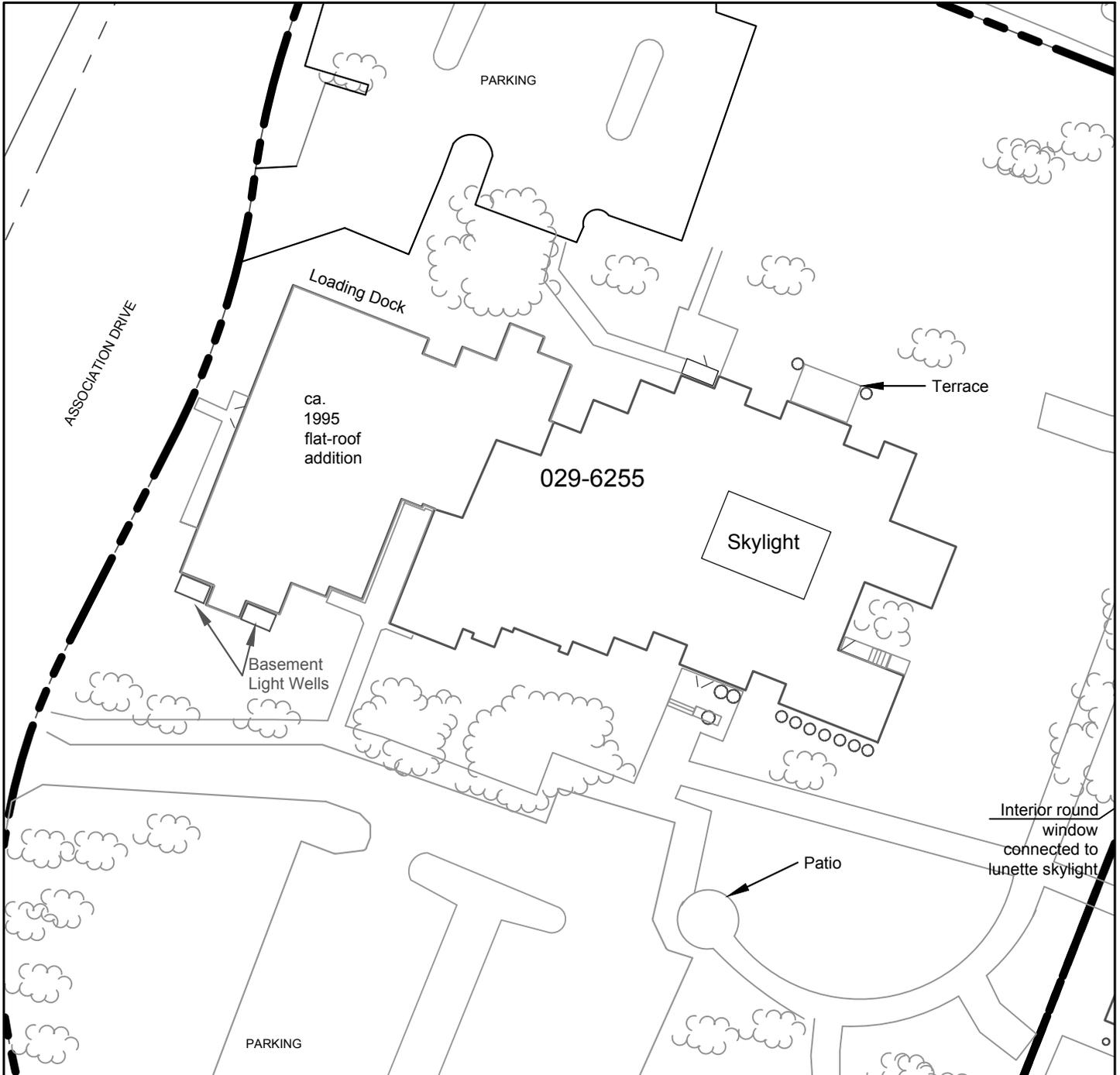
NRHP Evaluation

An affiliate of the National Education Association, the American Medical Student Association purchased a lot on this campus in 1972 and constructed the building at 1902 Association Drive in 1975. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1902 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1904 Association Drive (029-6255)

Description

The building is located at the southwestern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston (Exhibit 18 and Plate 19 - Plate 28). It is positioned on and within a small hillside ridge. Two asphalt parking lots, one to the north and one to the south, are landscaped with grass medians and mature trees. The landscape framing 1904 Association Drive consists of an open lawn and the arrangement of manicured hedges along the façade elevation and retaining walls, individual shrubs and plantings such as azalea, ivy plantings on the northeastern hillside, and mature oaks and smaller redbuds and dogwoods at a short remove from the building. All entrances are connected by a continuous



Reston Center for Associations and Educational Institutions
National Association of Secondary School Principals
1904 Association Drive
Reston
Fairfax County, Virginia

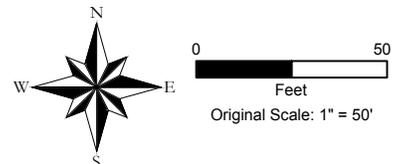


Exhibit 18: 1904 Association Drive (029-6255) Site Plan



Plate 19. 1904 Association Drive (029-6255) Parking Lot Entrance, View NE



Plate 20. 1904 Association Drive (029-6255) Façade Entrance, View NE



Plate 21. 1904 Association Drive (029-6255) Façade Center, View NE



Plate 22. 1904 Association Drive (029-6255) Façade Addition and Original, View NE



Plate 23. 1904 Association Drive (029-6255) SW and SE Elevations, View North



Plate 24. 1904 Association Drive (029-6255) SE and NE Elevations, View SW



Plate 25. 1904 Association Drive (029-6255) NE Elevation Center, View SW



Plate 26. 1904 Association Drive (029-6255) NE Elevation Entrance, View SE



Plate 27. 1904 Association Drive (029-6255) Addition NW Elevation, View SE



Plate 28. 1904 Association Drive (029-6255) Addition Façade, View East

concrete walkway along the building's northeast, west, and southwest elevations. Existing concrete walkways branching from access walkways link the property to paved footpaths connecting other buildings within the complex.

This is a banked, multiple-bay office building influenced by Brutalism. Built into a hillside, the façade and east end of the building present as one story, while the remaining elevations are two stories. The foundation is concrete. The structural system is masonry. Exterior walls are laid in tan brick stretcher-bond veneer. The building's main block retains its original irregular footprint, notable for its serial, accordion-like, corners along its northwest and southeast elevations. The building has a flat roof clad in original rubberized/asphalt composite. A narrow metal coping band encircles the roof parapet's perimeter, below which runs a three-part vertical stretcher-bond frieze delineated by a header brick stringcourse; other parts of the roofline were not visible. Window openings are recessed with a paired and single fenestration pattern. Each window opening has standing-seam metal spandrels and sloping brick paver aprons, and is filled by a narrow, single-pane Insulite mirror glass sash over a lower hopper window, also filled with Insulite. In style, the repetitive bands of recessed narrow window openings are fortress-like and recall Brutalism, although this is a brick building. Located on the east end of the south elevation, the principal entrance, accessed by an open platform/concrete-brick stoop with a small shelter, has paired, pull-through glass and steel doors, possibly replacement. Other building entrances on the north and west elevations are recessed. There is a two-story, side, brick addition off the main block's northwest elevation, constructed circa 1998 during the tenure of longtime director Scott Thompson; although its footprint is rectangular, it is contextual with the building's main block, retaining the same brick exterior materials and fenestration; one different feature is the Insulite and steel curtain wall located on the northwest elevation. The 1998 addition is accessed via three concrete walkways to the complex's west, north, and south elevations.

NRHP Evaluation

An affiliate of the National Education Association, the National Association of Secondary School Principals purchased a lot on this campus in 1971 and constructed the building at 1904 Association Drive between 1972 and 1973. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. It also has a circa-1998 two-story addition, which partly impacts the original building's integrity of setting. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1904 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1906 Association Drive (029-6256)

Description

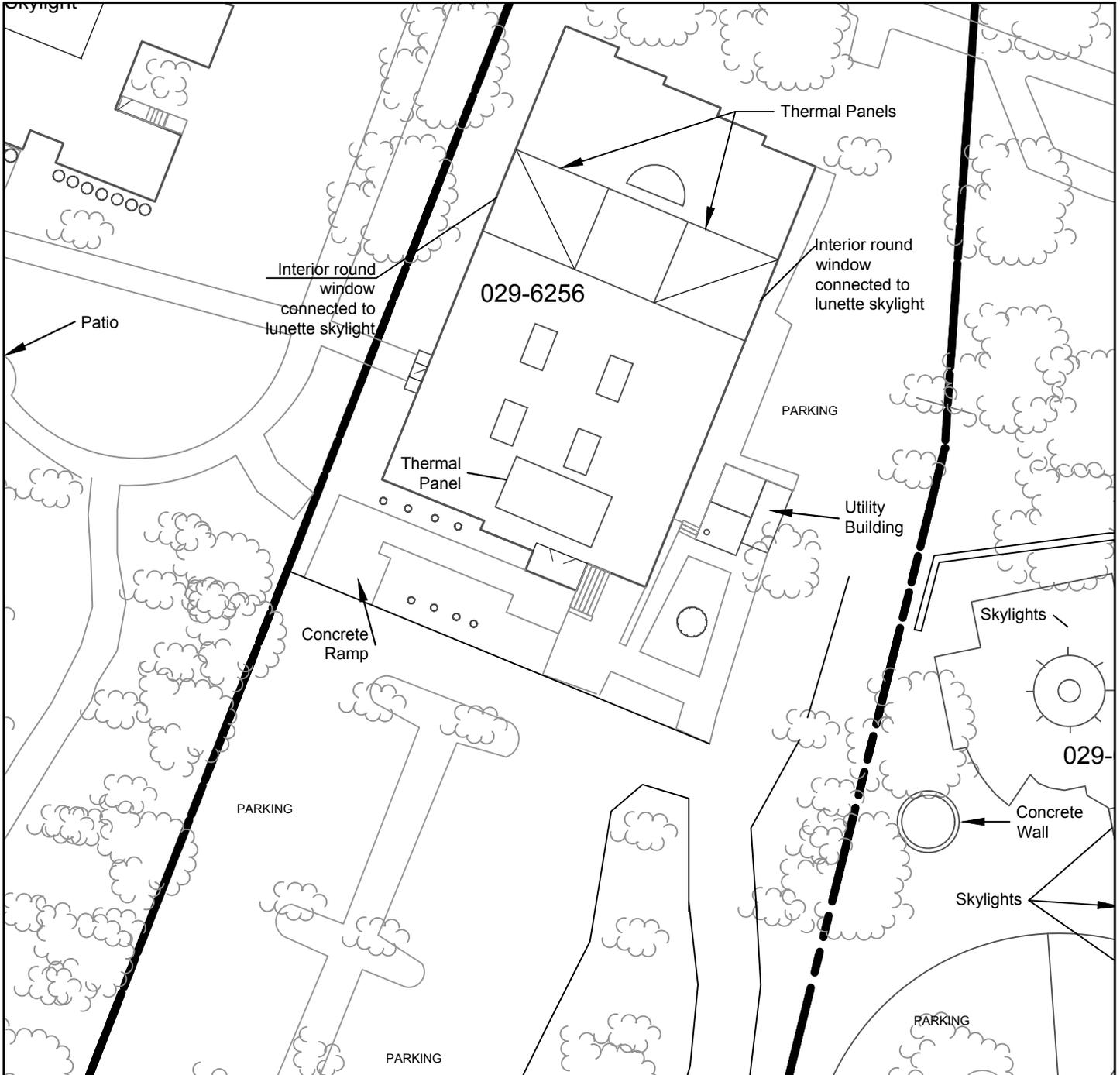
The building is located at the south section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive within the 1960s planned community of Reston (Exhibit 19 and Plate 29 - Plate 38). It is on a slight rise with asphalt parking lots located in a vertical format, with a grass median, immediately south of the building. There is also a curvilinear asphalt roadway, at the property's southeast corner, leading to a smaller side parking lot at the building's southeast elevation. Surrounded by parklike landscape, the property's immediate premises have shrubs, small flowering trees, and plantings at its front lawn and southeast elevations, with woodlands and cover plantings along its north and northwest area. The property also has some folding metal benches that appear to possibly date from the period of initial construction. Existing concrete walkways branching from access walkways links the property to paved footpaths connecting other buildings within the complex.

This is a two-story, multiple-bay office building designed with Brutalist and Neo-Expressionist features. The foundation is concrete. The structural system is concrete block. Exterior walls are original tan brick veneer, laid in a stretcher-bond course. The coursing is regularly interspersed on the southeast and northwest elevations by vertical brick pilasters and recessed fenestration. The building has a flat roof that, according to building records, is covered in tar and gravel; sections of the building, however, have single- and double-pitch rooflines sheathed with standing-seam metal. The primary entryway is on the south elevation with a large rectangular cantilevered shelter of aggregate concrete, below which are doubleleaf steel and dark glass pull doors. Window openings are filled with original dark glass, single-pane with steel surrounds, and one-light lower hoppers. Within a recessed center entrance on the southeast and northwest elevations is a round window on each second floor; the latter is stained glass. The north elevation consists of a curtain wall, divided into five vertical units, delineated by vertical brick pilasters, between which are dark glass bands of windows that cover both stories. Below the curtain wall is a low brick and concrete platform with a wavy bond of vertical stretcher bricks.

A utility building stands off the east elevation, separated from the main building by a sidewalk. It is clad in brick veneer identical to that of the main building and appears to be contemporary to the primary resource. The building consists of one room with a metal door on its west elevation.

NRHP Evaluation

An affiliate of the National Education Association, the National Council of Teachers of Mathematics purchased a lot on this campus in 1971 and constructed the building at 1906 Association Drive between 1972 and 1973. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually



Reston Center for Associations and Educational Institutions
 National Council of Teachers of Mathematics
 1906 Association Drive
 Reston
 Fairfax County, Virginia

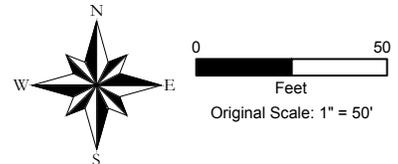


Exhibit 19: 1906 Association Drive (029-6256) Site Plan



Plate 29. 1906 Association Drive (029-6256) Parking Lot Entrance, View NW



Plate 30. 1906 Association Drive (029-6256) Façade and SE Elevation, View North



Plate 31. 1906 Association Drive (029-6256) Façade Entrance Ramp, View SE



Plate 32. 1906 Association Drive (029-6256) Façade Entrance, View NW



Plate 33. 1906 Association Drive (029-6256) Utility Building, View NE



Plate 34. 1906 Association Drive (029-6256) Utility Building, View SW



Plate 35. 1906 Association Drive (029-6256) SE Elevation Entrance, View NW



Plate 36. 1906 Association Drive (029-6256) SE and NE Elevations, View SW



Plate 37. 1906 Association Drive (029-6256) NE and NW Elevations, View South



Plate 38. 1906 Association Drive (029-6256) NW Elevation, View SE

eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1906 Association Drive and the utility building may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1908 Association Drive (029-6257)

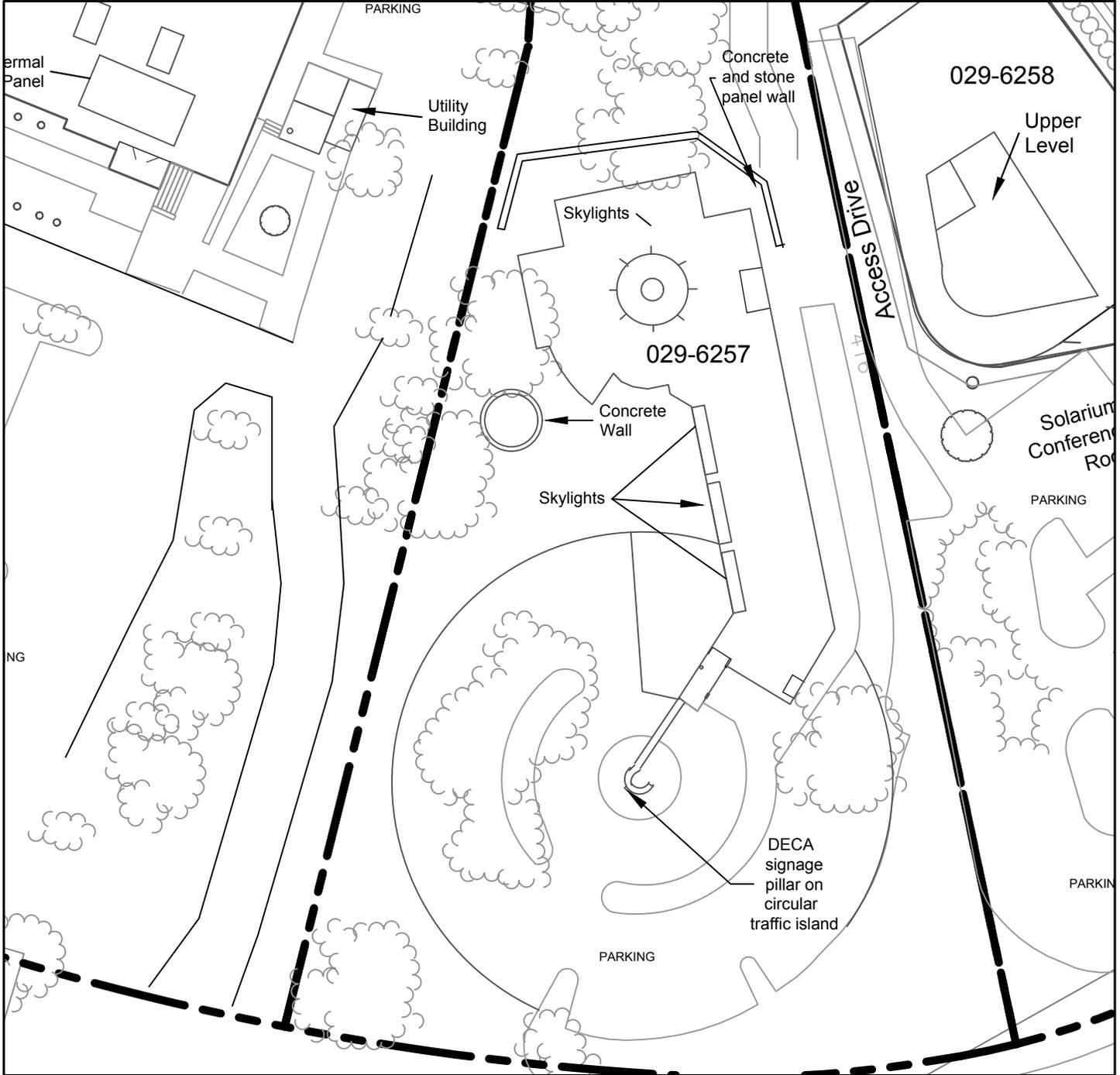
Description

The building is located at the south-southeast section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston (Exhibit 20 and Plate 39 - Plate 46). It stands at a slight elevation above the street. The property's parking lot is designed in a circular format, positioned around the building's signature circular half-pillar, and extending to the building's east elevation. Both building and parking lot are screened by flowering trees, small shrubs, lawn, and seasonal plantings.

This is a two-story, multiple-bay office building designed in the with International Style and Neo-Expressionist influences. Its footprint shows an irregularly configured building, roughly in the form of an inverted "C", with projecting sections at its north, northeast, and west elevations. A signature feature of the building is the tall, projecting curved pillar at its southwestern elevation, emblazoned with the raised letters "D E C A," the association's acronym. The foundation is concrete. The building's structural system is steel frame and concrete. Exterior paneling, from examining loose parts, consists of thin metal plates to which a coating of aggregate pebbles has been fused; these plates are rectilinear, and also curvilinear. The building has a flat roof that, according to building records, has a tar and gravel covering. Fenestration mostly consists of bands of windows, located on the building's west and east elevations; the east elevation has a two-story, parallel band of windows (26 lights at each level), and the west elevation's band of windows, located on the first story, have an overhanging shelter. Window openings are filled by dark glass panes secured by an anodized steel surround. The building's primary entrance on the southwest elevation is sheltered by an extended cantilevered section that links the entrance to the signage pillar, forming an extended shelter between pillar and entrance. Within the shelter, the primary entrance is a steel-and-glass doubleleaf pull door that may be replacement but is still very much in the spirit of the building's style. A recessed secondary entrance is on the building's east elevation and filled by a bilevel dark glass window, below which is a comparable steel-and-glass doubleleaf pull door. Outdoor picnic tables are positioned along the curved terrace at the building's northeast elevation, encased by a concrete and aggregate-pebble terrace wall.

NRHP Evaluation

An affiliate of the National Education Association, the Distributive Education Clubs of America (DECA) purchased a lot on this campus in 1971 and hired Benham-Blair-



Reston Center for Associations and Educational Institutions
 Distributive Education Clubs of America
 1908 Association Drive
 Reston
 Fairfax County, Virginia

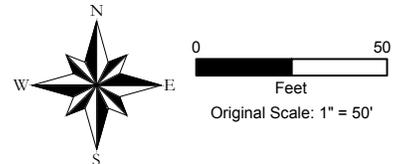


Exhibit 20: 1908 Association Drive (029-6257) Site Plan



Plate 39. 1908 Association Drive (029-6257) Parking Lot Entrance, View NE



Plate 40. 1908 Association Drive (029-6257) Façade, View NE



Plate 41. 1908 Association Drive (029-6257) Façade Entrance, View NW



Plate 42. 1908 Association Drive (029-6257) Façade Entrance, View NE



Plate 43. 1908 Association Drive (029-6257) SE and NE Elevations, View NW



Plate 44. 1908 Association Drive (029-6257) NW Elevation, View South-SE



Plate 45. 1908 Association Drive (029-6257) NW and SW Elevations, View SE



Plate 46. 1908 Association Drive (029-6257) Utility Structure, View SE

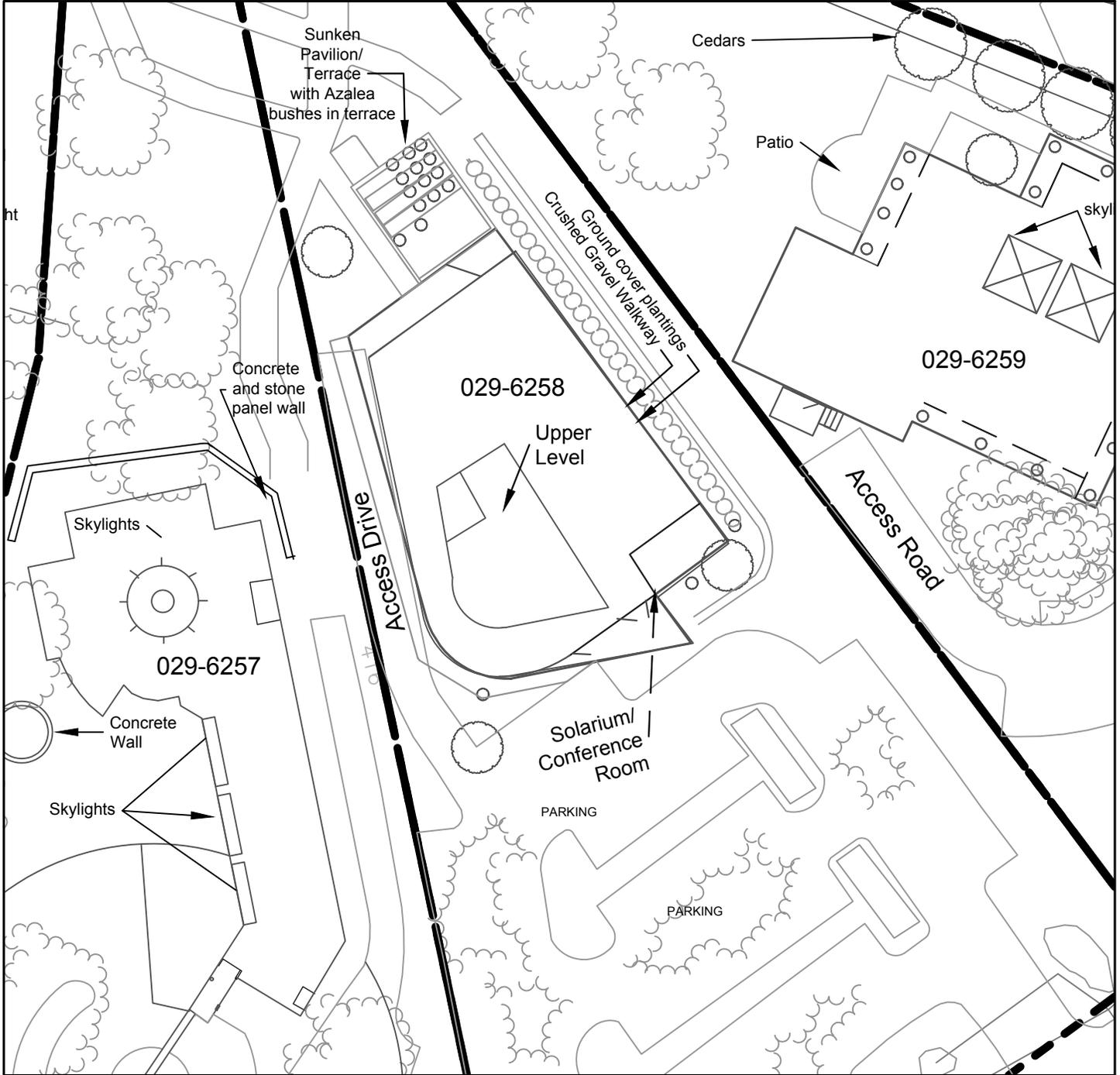
Winesett-Duke of Falls Church to construct the building at 1908 Association Drive in 1976. At the time of construction, DECA's members, which included chapters in Guam, Puerto Rico, and the USVI, were consulted as to how the building's style could reflect the association's overall membership. The building was dedicated on September 29, 1976 (Reston 1976). It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1908 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1910 Association Drive (029-6258)

Description

The building is located at the southeastern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston (Exhibit 21 and Plate 47 - Plate 54). It stands on a slight rise, with an asphalt parking lots located directly between the building and the street. Landscaping on the property includes trees planted in parking lot medians, and mature shrubs, ornamental trees, and mature oaks sited along the building's elevations. There is also a sunken Garden at the rear elevation with concrete steps, forming terraces. The terraces are planted with azalea bushes. This property is linked to graded footpaths connecting other buildings within the complex.

This is a two-story, multiple-bay office building designed with International Style and Neo-Expressionist influences. The building's footprint combines a polygonal and curvilinear outline, as the building's west, southwest, and south elevations form parts of a curve; at the façade, the curve is more pronounced by that the second floor is cantilevered over the first floor. The foundation is concrete, and the building's structural system is steel frame. The building retains its original exterior wall covering, composed of vertical vitreous enamel steel panels that, with close vertical seams, present a unified exterior shell. The vitreous enamel panels are presently covered by peeling latex paint. Along the east elevation, visible exterior cladding below the building's main exterior wall consists of terra-cotta tiles. The building has a flat roof with a windowless monitor visible from the façade; according to building records, the roof's surface is composed of tar and gravel. Fenestration is uniform and not altered. Windows are original steel, one-light multi-pane casements, arranged as a ribbon on the façade and in parallel paired bands on the west and east elevations. On the façade, there are 23 window openings on the first floor, and 36 on the second floor. Every third window on the façade is a hinged casement window, and the others are fixed. At the east elevation, the building's lower level is visible, with three-part window openings filled by dark glass and steel windows. The building's principal entrance is sheltered beneath



Reston Center for Associations and Educational Institutions
 Future Homemakers of America
 1910 Association Drive
 Reston
 Fairfax County, Virginia

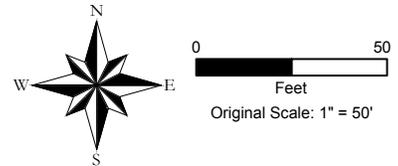


Exhibit 21: 1910 Association Drive (029-6258) Site Plan



Plate 47. 1910 Association Drive (029-6258) Parking Lot Entrance, View West



Plate 48. 1910 Association Drive (029-6258) Façade, View North



Plate 49. 1910 Association Drive (029-6258) Façade, View NW



Plate 50. 1910 Association Drive (029-6258) Façade and NE Elevation, View NW



Plate 51. 1910 Association Drive (029-6258) NE and NW Elevations, View South



Plate 52. 1910 Association Drive (029-6258) NW Sunken Patio, View South



Plate 53. 1910 Association Drive (029-6258) NE and NW Elevations, View SE



Plate 54. 1910 Association Drive (029-6258) West Elevation, View North

triangular cantilevered extension of the second floor. There are three doors on this elevation; the primary entrance is a doubleleaf steel and glass pull door, with a comparable singleleaf secondary entrance located at the facade's west end. Immediately east of the principal entrance and incorporated into the building's footprint is a solarium that appears to be used for conference rooms and meeting rooms. Its roofline is gabled with skylights composed of fixed glass panels secured by steel frames. The north elevation is roughly three bays with the first bay containing only one steel door on the lower level and one casement window on the upper level. The second bay has a band of eight windows and a double door on the lower level and a band of ten windows on the upper. The third bay has a band of five windows on each floor. A patio runs the length of the lower level and overlooks a sunken patio, accessed by the basement level. It is roughly square and runs half the width of the building, featuring a four-tiered concrete garden beds of azaleas and stairs to the ground level. The basement elevation consists of a band of ten floor-to-ceiling, single-light casement windows and two glass double doors. The sunken area is surrounded by steel horizontal round bar railings on three sides.

NRHP Evaluation

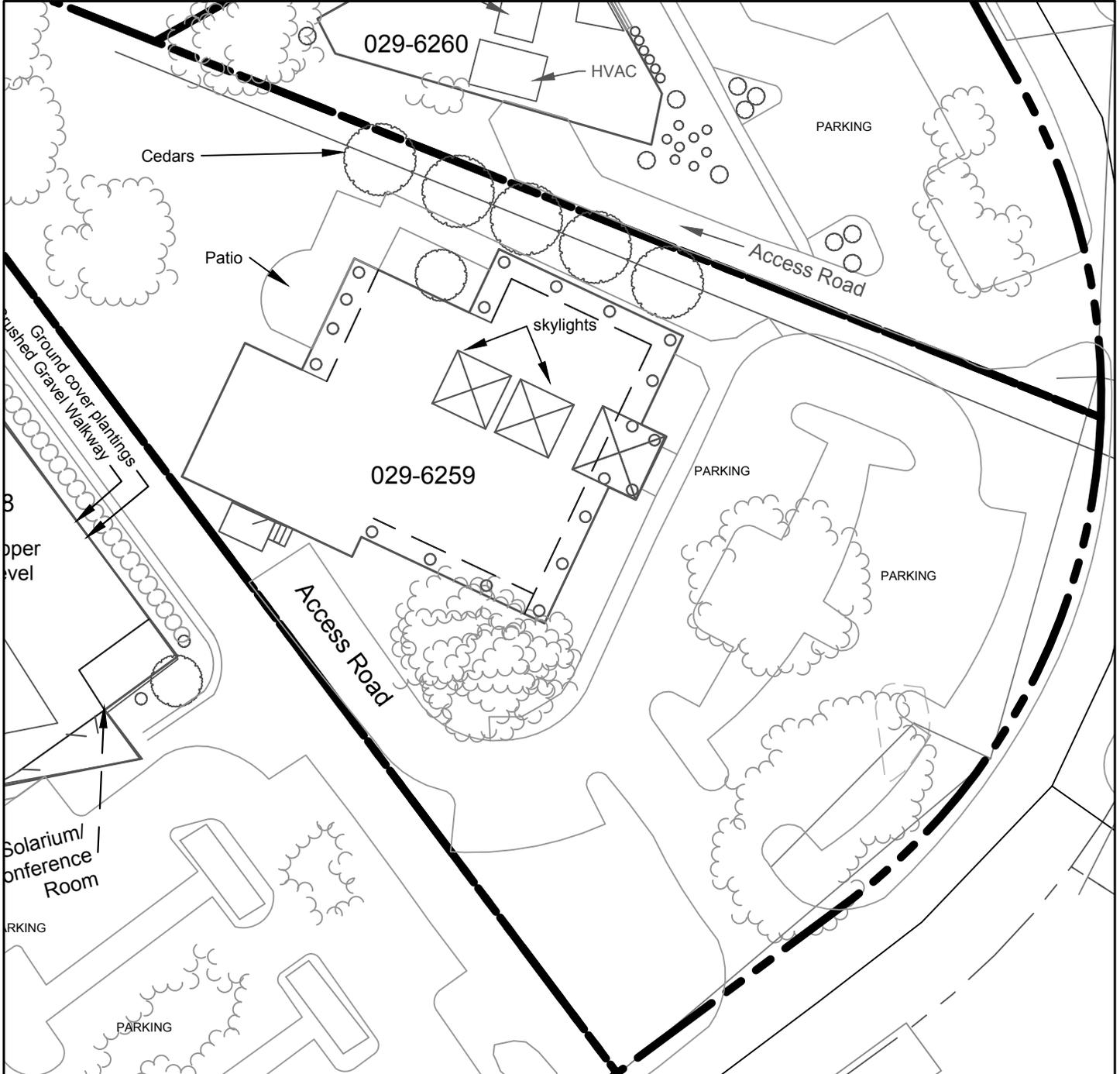
An affiliate of the National Education Association, the Future Homemakers of America hired the internationally renowned firm of HOK, then known as Hellmuth, Obata + Kassabaum, to design the building at 1910 Association Drive. It was completed in 1982 and is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1910 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1912 Association Drive (029-6259)

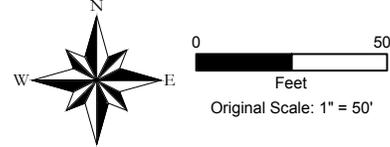
Description

The building is located at the southeast section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It stands on a slight rise above the street (Exhibit 22 and Plate 55 - Plate 60). An asphalt parking lots located between the building and street, is screened by small trees and shrubs, with a serpentine poured-concrete walkway leading to the building. Around the building are mature evergreen shrubbery, small flowering trees, ground cover, and mature trees. At the building's rear elevation is an open courtyard area paved with gravel and sand and used by employees on break.

This is a banked, one-story, six-bay-by-six-bay Postmodern office building with a nearly square footprint. The foundation is concrete with a brick veneer. The structural system is



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Future Business Leaders of America Phi Beta Lambda
1912 Association Drive
Reston
Fairfax County, Virginia



A north arrow is located to the right of the address, pointing upwards. Below it is a scale bar labeled "Feet" with markings at 0 and 50. Below the scale bar, the text "Original Scale: 1" = 50'" is printed.

Exhibit 22: 1912 Association Drive (029-6259) Site Plan



Plate 55. 1912 Association Drive (029-6259) Parking Entrance (029-6259), View NE



Plate 56. 1912 Association Drive (029-6259) SW and SE Elevations, View NW



Plate 57. 1912 Association Drive (029-6259) Façade Entrance, View NW



Plate 58. 1912 Association Drive (029-6259) Façade and NE Elevation, View West



Plate 59. 1912 Association Drive (029-6259) NE Patio, View South



Plate 60. 1912 Association Drive (029-6259) NW and SW Elevations, View East

steel frame and cinder block sheathed in plate glass on four bays of the southwest elevation, all bays of the facade, and wrapping around to the northeast and part of the northwest elevation. It transitions to brick veneer on the rear elevations facing the patio and the section of the northwest elevation, which is largely banked by earth. The bays of the plate-glass walls are defined by simple round precast concrete columns, while the bays of the primarily windowless brick sections are defined by brick pilasters. A precast concrete fascia wraps around the building. The building has a flat roof clad in original rubberized/asphalt composite. Located within the fourth bay of the façade, the square portico consists of concrete steps flanked by precast concretes and a brick platform/stoop sheltered by a hipped standing-seam metal roof. The doors are doubleleaf swinging glass doors with an affixed brass horizontal handrail. Each window on the southwest, southeast, and northeast elevations is in three parts with an upper, smaller spandrel band followed by a large vertical rectangular panel, and then the lower area, which has hopper panels in intervals. A double steel door is located in the first bay at the rear of the southwest elevation, while steel and glass doors are located on the rear façade for access to the patio. The patio is partially surrounded by a low brick wall laid in stretcher bond.

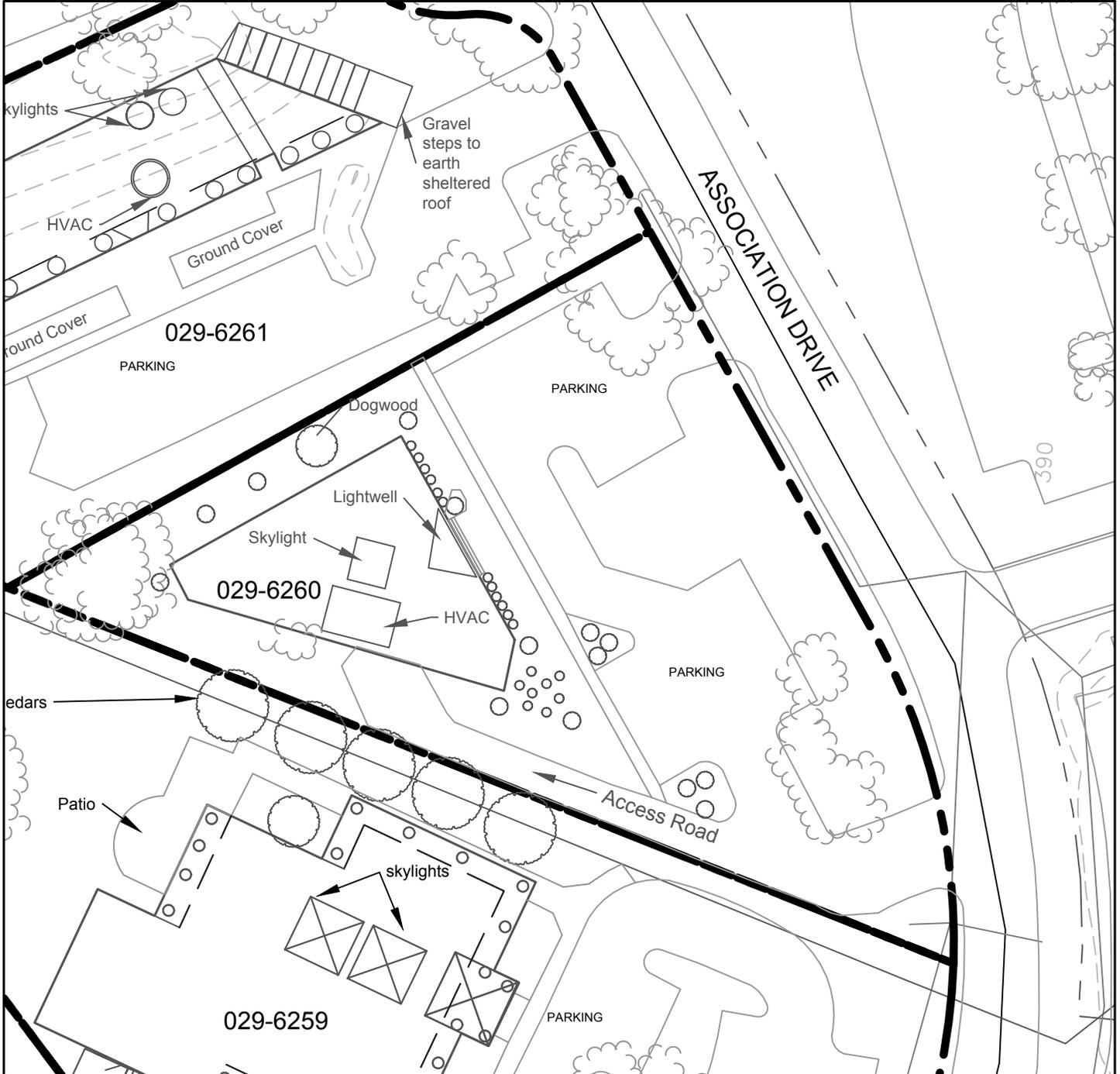
NRHP Evaluation

An affiliate of the National Education Association, the Future Business Leaders Association purchased a lot on this campus in 1981 and constructed the building at 1912 Association Drive in 1991. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 30 years old and does not possess sufficient exceptional individual significance under any NRHP criteria to be considered eligible for listing in the NRHP under Criteria Consideration g, which addresses resources that have achieved significance within 50 years of their initial construction. Because it was built almost ten years after the other buildings in the Postmodern style rather than a Modernist Movement style, it likely would not be considered as a contributing resource to a potential Association Drive Historic District; though, it may attain this status with the passage of time.

1914 Association Drive (029-6260)

Description

The building is located at the east-southeast section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston (Exhibit 23 and Plate 61 - Plate 68). It stands on a level site adjacent to a rectangular, asphalt parking lot between the building and street. A north-south poured-concrete walkway alongside the building's façade is the property ground's primary walkway, with a secondary, smaller walkway sited along the northwest elevation. The building's entrance features the most actualized landscaping on site, particularly a small retaining wall extending from the primary entrance steps that contains a mature Japanese maple tree. Manicured azalea and evergreen shrubs are planted along the façade elevation;



Reston Center for Associations and Educational Institutions
 National Business Education Association
 1914 Association Drive
 Reston
 Fairfax County, Virginia

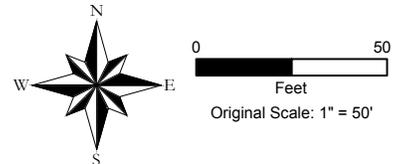


Exhibit 23: 1914 Association Drive (029-6260) Site Plan



Plate 61. 1914 Association Drive (029-6260) Parking Lot Entrance, View NW



Plate 62. 1914 Association Drive (029-6260) SW Elevation and Façade, View West



Plate 63. 1914 Association Drive (029-6260) Façade Entrance. View West



Plate 64. 1914 Association Drive (029-6260) Façade and NW Elevation, View SW



Plate 65. 1914 Association Drive (029-6260) NE Elevation Entrance, View East



Plate 66. 1914 Association Drive (029-6260) NW and NE Elevations, View East



Plate 67. 1914 Association Drive (029-6260) West and SW Elevations, View SE



Plate 68. 1914 Association Drive (029-6260) SW Elevation and Façade, View NW

the property at the southwest elevation is wooded. Medians at the parking lot are landscaped with grass lawns, and a few trees.

This is a two-story, multiple-bay office building designed in the with Brutalist and Neo-Expressionist influences, seen with the building's unique pentagonal footprint. The structural system is steel frame. Exterior walls are original dark tan brick, laid in a stretcher-bond veneer. The building has a flat roof clad in original tar and gravel. Above the principal entrance bay, and incorporated into the roofline, is an open triangular lightwell. Fenestration is uniform, with a band of parallel, regularly-spaced windows on the truncated southeast and west-southwest elevations. On the northwest and southwest elevations, the windows are recessed, and set within regular, angled niches. Window openings are filled by original Insulite, one-light sash. On the façade is a single-story, two-bay recessed entrance, accessed by brick steps. The primary entrance on this engaged entry's northeastern wall is filled by a doubleleaf wood-and-glass pull door, and a large Insulite glass panel window. Above the door and panel is a fixed spandrel pane.

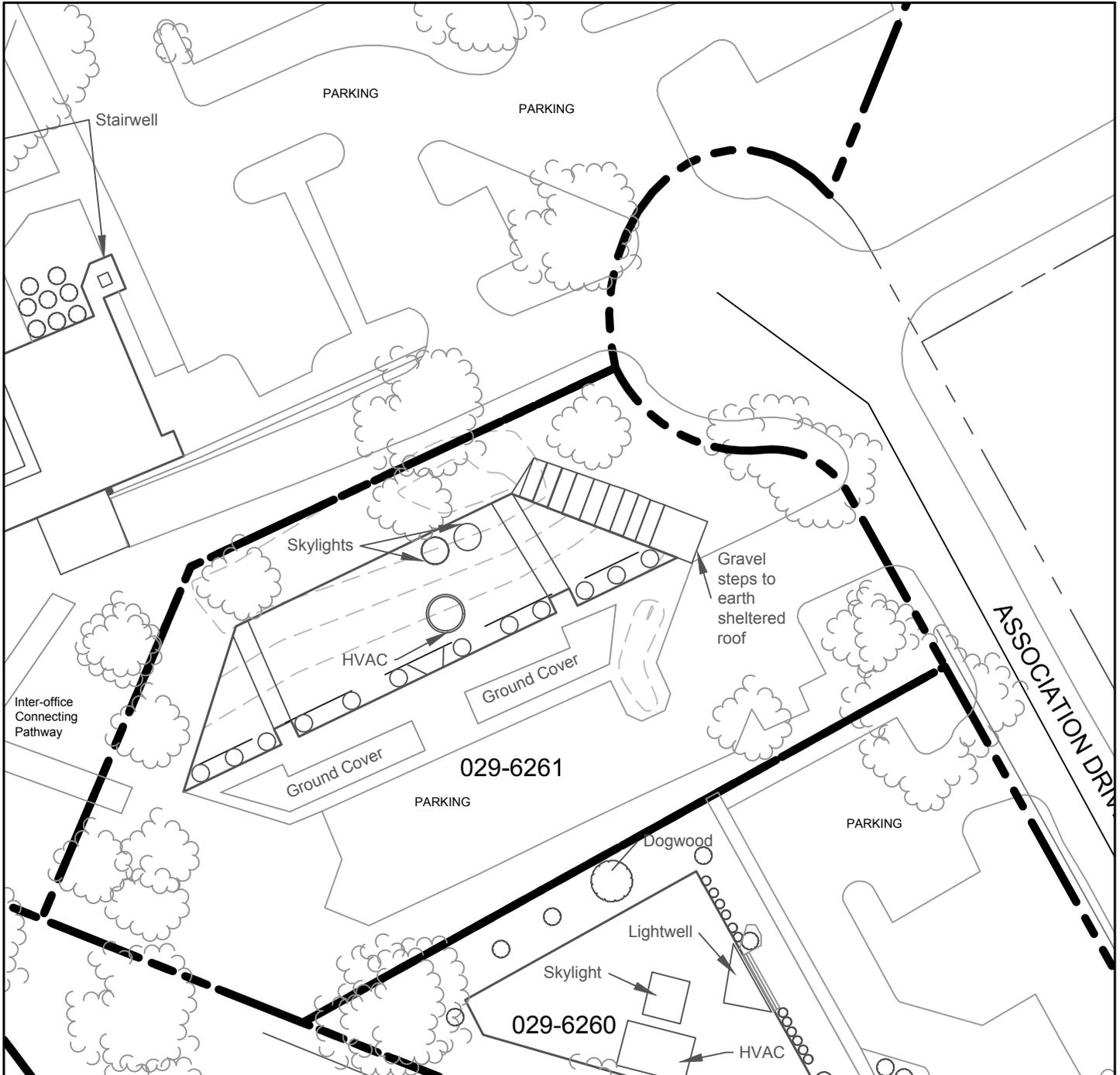
NRHP Evaluation

An affiliate of the National Education Association, the National Business Education Association purchased a lot on this campus in 1971 and constructed the building at 1914 Association Drive in 1981. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1914 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1916 Association Drive (029-6261)

Description

The building is located at the east section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston (Exhibit 24 and Plate 69 - Plate 76). It is partly subterranean and situated within a slope. An asphalt parking lot is sited immediately adjacent to the building's façade, separated from the concrete walkway by raised berms planted with ground cover. As the parcel footprint is small, 1916 Association Drive has little lawn, other than its roof garden, but is nonetheless framed by the tree cover and open lawn of adjoining parcels. Existing concrete walkways branching from access walkways link the property to paved footpaths connecting other buildings within the complex.



Reston Center for Associations and Educational Institutions
National Art Education Association
1916 Association Drive
Reston
Fairfax County, Virginia

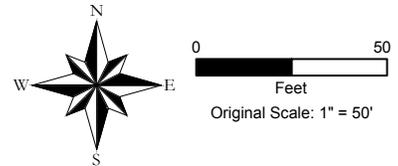


Exhibit 24: 1916 Association Drive (029-6261) Site Plan



Plate 69. 1916 Association Drive (029-6261) Parking Lot Entrance, View West



Plate 70. 1916 Association Drive (029-6261) Façade, View West



Plate 71. 1916 Association Drive (029-6261) NE Elevation and Berm, View SW



Plate 72. 1916 Association Drive (029-6261) NE End of Roof, View SE



Plate 73. 1916 Association Drive (029-6261) Utilities on Earthen Roof, View North



Plate 74. 1916 Association Drive (029-6261) Skylights, View NE



Plate 75. 1916 Association Drive (029-6261) Earthen Roof, View East



Plate 76. 1916 Association Drive (029-6261) Façade, View NE

This is a bermed, one-story, earth-sheltered office building, designed in the Brutalist style with a trapezoidal footprint. The foundation is concrete. The structural system is masonry. It is surrounded on three sides by what appears to be a natural hillside to the southwest and two artificial berms to the northwest and northeast. The building is long and shallow with the façade facing southeast to maximize access to natural light; it is in three parts – two bays articulated by three precast concrete plain round columns, five bays articulated by six precast round pilasters, and two bays also articulated by three concrete columns. These support a wide precast concrete cornice fascia/parapet that has a decorative channeled line to define the bottom third of it and three lines of evenly spaced punctuation. Within the shelter, the soffit is cast-concrete coffering, comparable to other Brutalist-style interior spaces, such as the D.C. Metro. The flat roof is three parts with the two ends covered in a traditional membrane and the larger center portion topped by a membrane and up to a few feet of earth and grass, creating a rooftop lawn that merges with the northwest berm. Two large concrete stacks resembling ocean liner smokestacks enclose two plastic bubble skylights. Windows are original steel, one-light casements. The southwest end of the façade contains a band of floor-to-ceiling, vertical windows secured by steel surrounds, a single glass door, and a windowless section of square slate tiles with a gray concrete grout. The center part of the façade contains another band of windows, a doubleleaf hollow-core steel door with burnished metal pull handles in the second bay, another band of windows, and then a windowless section of gray tiles in the fifth bay. The northeast end of the façade continues with gray square tiles flanked by a single steel door and single floor-to-ceiling glass window. A set of low stairs hugs the building and leads from the concrete walk in front of the façade up the northeast berm to the green roof.

NRHP Evaluation

An affiliate of the National Education Association, the National Art Educational Association purchased a lot on this campus in 1971 and constructed the earth-sheltered building at 1916 Association Drive in 1977. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. Earth-sheltered buildings and other energy saving techniques rose in popularity in the 1970s in response to the Saudi oil embargo and energy crisis (UMN 1979). Designed and constructed between 1974 and 1977, the much larger Terraset Elementary School in Reston is likely the first earth-sheltered building not associated with the military completed in Virginia. Constructed the same year, 1916 Association Drive is not yet 50 years old but may have already attained exceptional individual significance to be eligible for listing in the NRHP under Criterion A for association with the environmental movement and Criterion C for architecture, using Criteria Consideration g, which addresses resources that have achieved significance within 50 years of their initial construction. Additionally, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1916 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

1920 Association Drive (029-6262)

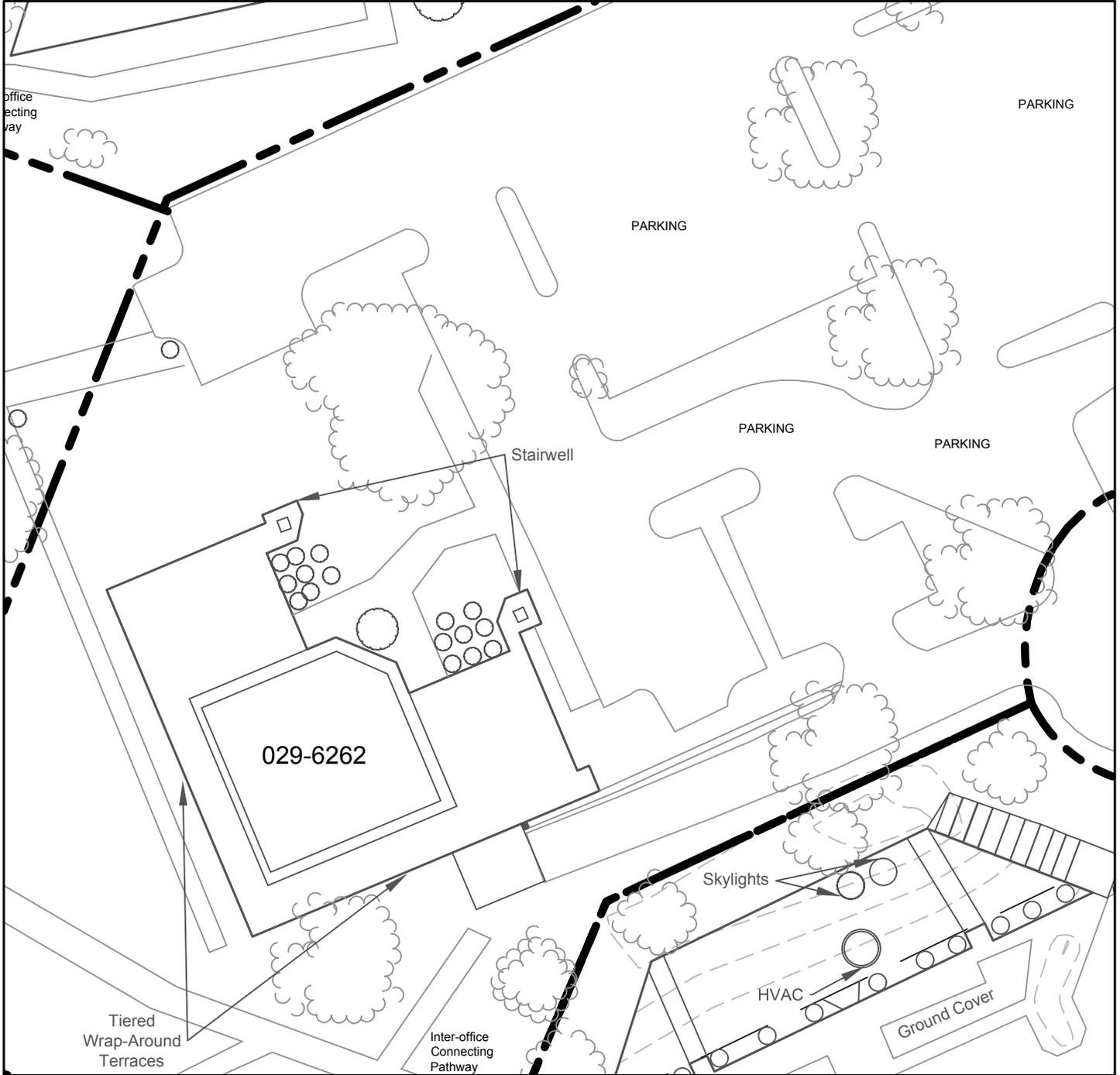
Description

The building is located at the northeastern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston (Exhibit 25 and Plate 77 - Plate 86). The building is accessed by the cul-de-sac termination of Association Drive, leading to a large, rectangular parking lot screened by mature oaks, and with small grass medians within the lot. The parklike landscape to the west, north, and south frames 1920 Association Drive with open lawns, a few mature trees dotted here and there, and manicured hedges and plantings around the building's perimeter. Existing concrete walkways branching from access walkways link the property to paved footpaths connecting other buildings within the complex.

This building is a five-story, multiple-bay office building designed in the Brutalist style with a Postmodern reference to ancient ziggurats. The structural system is steel frame. The foundation is cast concrete and is partly visible. Exterior walls are original cast concrete and original brick veneer. The building's south and west elevations, or "outer" elevations, are a series of terraced, precast concrete balconies with beveled edges and metal rails that rise to the fifth floor. The outer east and north elevations, which are short, are mostly brick with a vertical line of windows between the building's main block and the attached stairwell. The "inner" elevations east and north, forming the inner outline of the "L" footprint, have a center projecting brick bay. The building's principal entrances are located on either side of the projecting brick bay. The building has a flat roof with a prominent, upper middle compartment of the roof that appears to be part of the HVAC or, since it is aligned with the projecting brick bay, possibly the location of the elevator wells. Windows are original steel, 1/1 fixed. All fenestration is basically the same, with each floor level from the main floor having bands of ribbon windows. The primary entryway on the "inner" north elevation is a recessed entrance beneath a series of parallel concrete fascia bands. The entrance bay is filled by doubleleaf steel and glass doors, with the address stenciled in the overhead spandrel.

NRHP Evaluation

An affiliate of the National Education Association, the Council for Exceptional Children constructed the building at 1920 Association Drive in 1973. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1920 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.



Reston Center for Associations and Educational Institutions
The Council for Exceptional Children
1920 Association Drive
Reston
Fairfax County, Virginia



Exhibit 25: 1920 Association Drive (029-6262) Site Plan



Plate 77. 1920 Association Drive (029-6262) Parking Lot Entrance, View North



Plate 78. 1920 Association Drive (029-6262) Façade Entrance, View West



Plate 79. 1920 Association Drive (029-6262) NE Elevation, View SW



Plate 80. 1920 Association Drive (029-6262) NW Elevation, View SW



Plate 81. 1920 Association Drive (029-6262) NW and SW Elevations, View East



Plate 82. 1920 Association Drive (029-6262) SW Elevation, View NE



Plate 83. 1920 Association Drive (029-6262) Balcony Rail Detail, View SW



Plate 84. 1920 Association Drive (029-6262) Wrap-Around Balconies, View SE



Plate 85. 1920 Association Drive (029-6262) SE Elevation, View West



Plate 86. 1920 Association Drive (029-6262) SW and SE Elevations, View NE

SUMMARY AND RECOMMENDATIONS

WSSI conducted a Supplemental Phase I Architectural Survey of a 22.78-acre office park in Fairfax County, Virginia in May 2018. The study was conducted on behalf of FCDOT, which in cooperation with VDOT, and the FHWA, is studying the environmental consequences of construction of the Soapstone Connector. The proposed roadway, approximately one half-mile long between Sunset Hills Road and Sunrise Valley Drive, will cut through the western side of the office park and require the removal of 1904 Association Drive. The supplemental APE, defined in consultation with the DHR and the Fairfax County ARB, consists of ten contiguous parcels bound by Association Drive in Reston, which with Irvine, California, and Columbia, Maryland, was one of the first “New Towns” in the United States.

Originally known as the Reston Center for Associations and Educational Institutions, the office park contains ten Modernist and Postmodernist Movement buildings constructed between 1972 and 1991. Using Criteria Consideration g, which addresses exceptional resources that have achieved significance within 50 years of construction, the campus is recommended as potentially eligible for listing in the NRHP as a historic district with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture. All but one of the ten buildings are recommended as potentially contributing to the historic district. In addition, the earth-sheltered office at 1916 Association Drive may be individually eligible under Criterion A for association with the environmental movement and criteria C for architecture.

The project will have a direct effect on the 1904 Association Drive and an indirect effect on the remainder of the buildings (Table 3). A Phase II Architectural Evaluation is recommended to discover who designed each building, document their interiors, and determine their eligibility for listing as a district.

Table 3: Summary and Recommendations for Architectural Resources in the APE

DHR Resource No.	Historic Name	Location	Potential Significance	Potential Effect	Recommendation
029-6253	American Association for Health, Physical Education, and Recreation	1900 Association Drive	Yes	Indirect	Evaluation
029-6254	American Medical Student Association	1902 Association Drive	Yes	Indirect	Evaluation
029-6255	National Association of Secondary School Principals	1904 Association Drive	Yes	Direct	Evaluation
029-6256	National Council of Teachers of Mathematics	1906 Association Drive	Yes	Indirect	Evaluation
029-6257	Distributive Education Clubs of America	1908 Association Drive	Yes	Indirect	Evaluation
029-6258	Future Homemakers of America	1910 Association Drive	Yes	Indirect	Evaluation
029-6259	Future Business Leaders of America Phi Beta Lambda	1912 Association Drive	No	N/A	No Evaluation
029-6260	National Business Education Association	1914 Association Drive	Yes	Indirect	Evaluation
029-6261	National Art Education Association	1916 Association Drive	Yes	Indirect	Evaluation
029-6262	The Council for Exceptional Children	1920 Association Drive	Yes	Indirect	Evaluation

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The Washington Post, Times Herald

1971 Educational Groups Have Center in Reston. 24 July:D3.

1970 Education Association Buys Tract in Reston. 24 September:H12.

APPENDIX I
Staff Qualifications

Firm Association

Wetland Studies and Solutions, Inc. (WSSI)

Project Assignment Principal Architectural Historian

Years of Experience

With this firm: 3

With other firms: 12

Education

MUEP/Master of Urban and Environmental Planning/University of Virginia

Certificate/Historic Preservation/University of Virginia

BAH/Bachelor of Architectural History/University of Virginia

Minor/Architecture/University of Virginia

Registrations & Certifications

2012/Section 106 Training (Ohio Office of Environmental Services)/OH/Ohio Department of Transportation

2012/Section 4(f) Training (Ohio Office of Environmental Services)/OH/Ohio Department of Transportation

2014/Certified Zoning Official/Virginia Association of Zoning Officials

2015/Section 106 Agreement Documents/NPI

2017/HAZWOPER 8hr//2017013034

Associations

American Planning Association

Southeast Chapter of the Society of Architectural Historians

Vernacular Architecture Forum

Ms. Maas has volunteered and worked as an architectural historian and planner, researching, documenting, and interpreting cultural resources for over 18 years. In addition to serving as WSSI's Principal Architectural Historian, she served on the Warrenton, Virginia Architectural Review Board (ARB) and currently serves on the Warrenton Planning Commission.

Ms. Maas's relevant experience includes:

Phase I and II Cultural Resource Investigation; Floris Historic District National Register of Historic Places (NRHP) Nomination Amendment; Master Redevelopment Plan Contribution; Indirect Effects Assessment, Proposed Scimores Academy, Fairfax County, VA. Ms. Maas participated on a multi-disciplinary team to assist with U.S. Army Corps of Engineers permitting and Rezoning Application RZ 2016-HM-010 and Special Exception Application SE 2016-HM-007, which were approved by the County Planning Commission and Board of Supervisor in 2017.

Documentary Study, HABS Documentation, and Section 106 Coordination, Ramsey Homes, City of Alexandria, VA. Ms. Maas and associate archeologist developed an illustrated history of land use and occupants based on primary document research and coordinated with a large-format photographer and Encore Sustainable Design to prepare measured drawings. The Ramsey Homes were designed and built during the New Deal era between 1941 and 1942 as public housing for African-American defense workers and were dramatically altered in the late 20th century. Ms. Maas and Boyd Sipe are coordinated Section 106 consulting on behalf of HUD and ARHA. Prepared for ARHA 2015-2018.

Phase I Cultural Resources Investigation, Architectural Documentation, and Interpretive Signage, the Knolls on Main, City of Fairfax, VA. Ms. Maas researched and documented Oak Knoll Apartments, designed and built 1960-1962 by a local firm. It represented a significant example of a mid-century Modern Garden Apartment complex because of its progressive planning in conservation of natural resources, the promotion of indoor-outdoor living, and the provision of attractive affordable housing for the influx of middle-class commuters in the 1960s. Prepared in preparation for redevelopment into 64 condos and 38 townhomes. Prepared for Capital Investment Advisors, Alexandria, VA.

Reconnaissance Architectural Survey & Multiple Property Documentation (MPD), African-American Resources – Arlington County, VA. With Arlington County staff assistance, Ms. Maas conducted research and compiled a list of 600 historic properties, which were surveyed by sub-consultants. She served as the lead author on the MPD, which contains historic contexts from Settlement to the Civil Rights Movement. GIS staff assisted with identifying which properties to survey by geo-referencing historic maps. The draft MPD was approved by DHR in December 2017. Preparing for Arlington County Historic Preservation Office.

Historic Structures Survey and Determination of Eligibility Report, Pageton, McDowell County, WV. PI for survey of 1907 coal mining camp, which included well maintained miners' houses, the company store designed by Alexander B. Mahood, school, post office, supervisor's house as well as rail bridges. Conducted interviews with residents and located original documents and photographs from the town's establishment through the 1930s. Prepared for Jackson Environmental, Richmond, KY and Evergreen Consulting, Elkview, WV.

Cultural Historic Survey, Meldahl Locks and Dam Project, Bracken County, KY and Clermont County, OH. PI of resources within one-mile viewshed of proposed hydroelectric plant at NRHP-eligible Corps of Engineers locks and dam. Developed interstate APE based on GIS viewshed analysis and coordinated joint technical reports between Kentucky and Ohio SHPOs. Prepared for EA Engineering, Science, and Technology, Inc.

Multiple Section 106 Investigations and Master Plan Contributions, Louisville, KY. Contributed to archeological investigations related to the reuse of the Big Four Railroad Bridge over the Ohio River into a multi-use trail to connect the 110-mile Louisville Loop to parks in Indiana; PI on reconnaissance survey of 902 resources on three NRHP-listed parkways undergoing improvements within a parks system designed by Frederick Law Olmsted and successors; intensive surveys of nine historic bridges in Olmsted's Cherokee Park; and PI on 4,319-acre APE along Floyds Fork for a multi-use recreational area within the Louisville Loop. Gresham Smith Partners, Louisville, KY; Wallace, Roberts & Todd, Philadelphia, PA; 21st Century Parks, Louisville, KY; Louisville Metro Parks; and KYTC/FHWA, Frankfort, KY.

Firm Association
Wetland Studies and Solutions, Inc. (WSSI)

Project Assignment
Architectural Historian

Years of Experience
With this firm: <1
With other firms: 13

Education
MA/Art History/University of Delaware

BA/Studio Art/University of North Carolina at Chapel Hill

Associations
Vernacular Architecture Forum
Southeast Chapter of the Society of Architectural Historians (SESAH)

Ms. Sandbeck has 23 years of experience as an architectural historian and researcher. Early projects include a historic structures report for an 1850s house in Manteo, NC, research for The Whalehead Club in Corolla, NC, and one Phase I-II survey for the Dare and Currituck Counties' Outer Banks. She has prepared several National Register nominations and written and/or researched manuscripts for four publications focused on North Carolina's historic architectural heritage. Ms. Sandbeck was an architectural historian for the NC Department of Transportation 2003–2010 and served as the Educational Programs Researcher and Editor for Tryon Palace (North Carolina state historic site and museum) 2010-2014. She has since worked independently and with firms in cultural resources management. Ms. Sandbeck exceeds the qualifications for architectural historian under 36 CFR 61.

Ms. Sandbeck's relevant experience includes:

Architectural Reconnaissance Survey—Aldie, Loudoun County, VA. Ms. Sandbeck conducted Phase I-level survey fieldwork and VCRIS data entry for five rural properties outside the Aldie Mill NRHP Historic District in August 2017. In February 2018, Ms. Sandbeck conducted a Phase II-level examination of the former Aldie Tavern, one of the five properties surveyed in August 2017.

Architectural Reconnaissance Survey & African-American Multiple Property Documentation (MPD) – Arlington County, VA. As a sub-consultant for HPC working for Thunderbird Archeology/Wetland Studies and Solutions, Inc. (WSSI), Ms. Sandbeck conducted Phase I-level survey reconnaissance, fieldwork, and research for 600 historic properties between June 2016 and February 2017. These resources are related to the county's African-American heritage and include individual landmarks and potential historic districts in the neighborhoods of Nauck and Arlington View. Ms. Sandbeck also contributed context sections and was part of the team co-writing and editing the MPD for Arlington County's Department of Community Planning, Housing, and Development/Historic Preservation Program.

Addendum, Meredith College Historic District Boundary Expansion—Raleigh, Wake County, NC. In 2017, Ms. Sandbeck participated as a researcher and as part of a multi-disciplinary team to investigate Meredith College's designed historic landscape, supplementing the findings of a 2015 DOE report for NCDOT (TIP U-2719). The addendum focused upon the development of Meredith College's designed historic landscape features, especially the contributions of landscape architects Charles F. Gillette (1950-1961) and Richard C. Bell (1962-1980), and the campus master plan devised by Bell in 1966, which is still in use today. Draft was reviewed by the North Carolina State Historic Preservation Office (NC-HPO), and the proposed boundary was approved and extended in August 2017.

Historic District Reconnaissance Survey and NRHP Nomination Co-Author—Saxis, Accomack County, VA. As a sub-consultant for HPC working for William & Mary Center for Archaeological Research (WMCAR), Ms. Sandbeck conducted Phase I-level survey reconnaissance, fieldwork, and research for 200 historic properties between October 2015 and May 2016. Besides residences, resources included maritime-related buildings and structures as well as documentation of Saxis' several cemeteries within town boundaries. WMCAR and HPC requested Ms. Sandbeck's assistance with the nomination, so that Ms. Sandbeck prepared the Section 7 draft.

NRHP Nomination, Locustville Academy—Accomack County, VA. Between January and June 2016, Ms. Sandbeck documented and prepared a nomination for the circa-1859 Locustville Academy, a two-room antebellum rural academy that is the only one extant on the Eastern Shore of Virginia. It was listed to the Virginia Landmarks Register (VLR) in October 2016, and listed to the NRHP in November 2016.

Phase I, Reconnaissance Survey and MD Short Forms, Purple Line--Prince George's County, MD. Between December 2014 and February 2015, as part of a 3-person survey team at Dovetail CRG, Ms. Sandbeck conducted a reconnaissance survey for commercial, public, and residential resources in Prince George's Palmer Park and Kent Village subdivisions. Resources were primarily postwar housing constructed between 1950 and 1960. Ms. Sandbeck also worked with the project's Principal Investigator to evaluate 126 resources in Kent Village as part of a Short Form, and evaluated three additional commercial buildings.

APPENDIX II
Architectural Survey Forms

Property Information

Property Names

Name Explanation	Name
Current Name	SHAPE America
Function/Location	Office, 1900 Association Drive
Historic	American Association for Health

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1900 Association Drive

County/Independent City(s): Fairfax (County)
Incorporated Town(s): Reston
Zip Code(s): 20191
Magisterial District(s): *No Data*
Tax Parcel(s): *No Data*
USGS Quad(s): VIENNA

Additional Property Information

Architecture Setting: Suburban
Acreage: *No Data*

Site Description:

May 2018: The building is located at the northernmost section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It is set into a hillside with asphalt parking lots located to its north and northeast. The parklike landscape to the west, east, and south frames 1900 Association Drive with grass slopes, open lawn, and mature regional plantings (magnolia, oak, azalea, honeysuckle) designed not to obscure building details. The circular driveway/walkway access to the building's principal entrance echoes the façade's curvilinear section. There is a poured-concrete pad located by the building's east elevation, which is used as an outdoor dining space by employees.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the American Association for Health, Physical Education, and Recreation (now SHAPE America) purchased a lot on this campus in 1971 and constructed the building at 1900 Association Drive in 1980. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1900 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Private	<i>No Data</i>

Primary Resource Information

Resource Category: Commerce/Trade
Resource Type: Office/Office Building
Date of Construction: 1980
Historic Time Period: The New Dominion (1946 - 1991)
Historic Context(s): Architecture/Community Planning, Education
Architectural Style: Modernist
Form: *No Data*
Number of Stories: 2.0
Condition: Excellent
Interior Plan: Irregular
Threats to Resource: Transportation Expansion

Architectural Description:

May 2018: This building is a banked, multiple-bay office building designed in the Modern Movement style of Neo-Expressionism. Built into a hillside, the façade presents as one story, while the remaining elevations are two stories. The foundation is concrete. The structural system is concrete block. Exterior walls are coursed with original tan stretcher-bond brick veneer. Overall, the building is plain and devoid of exterior ornament, but exercises some playfulness in its mostly polygonal footprint with open spaces for passages and upper terraces and recessed entrance bays. The building has a flat roof covered in original tar and gravel with plain metal coping along its parapet course. A raised central area on the roof, resided with vertical metal siding, is either a skylight or a screen for HVAC on roof. Windows are original insulite, one-light multipaned casements. Aligned in a parallel, ribbon-like course, units of six-light steel casement windows are on the building's façade, southeast, northeast, and north elevations. The southeast elevation has 9 bays of recessed window units on its lower level and 10 bays of windows on its upper level, filled by 6 vertical lights in each window unit. On the southeast and southwest elevations, comparable coursing of windows is sheltered by an overhanging soffit. Located on the elevation's southwestern curve, the primary entrance, accessed by a wide brick paver walkway, has a shallow platform and is recessed within a curved wall. A wood doubleleaf pull door with interior glass panels is flanked by two glass sidelight panels.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Unknown	No Data
Windows	Fixed	Steel	No Data
Structural System and Exterior Treatment	Masonry	Concrete	Block

Secondary Resource Information

Secondary Resource #1

Resource Category:	Other
Resource Type:	Work of Art
Architectural Style:	Contemporary
Form:	No Data
Date of Construction:	1985
Condition:	Good
Threats to Resource:	Transportation Expansion

Architectural Description:

May 2018: South of the primary access walkway, a bronze sculpture by Native American sculptor Gene Logan (1922-1999), consists of three nudes—a male, female, and child--interconnected, with the man holding a sphere aloft. The piece, titled "Unity," was installed on the grounds September 27, 1985, to commemorate the American Alliance Centennial.

Historic District Information

Historic District Name:	Association Drive Historic District
Local Historic District Name:	No Data
Historic District Significance:	<p>May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.</p> <p>In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: "The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community</p>

facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston” (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a “27-acre campus,” known in the community as the “Center for Educational Associations” (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia
Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.
<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	Geneva
Function/Location	Office, 1902 Association Drive
Historic	American Medical Student Association

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1902 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	<i>No Data</i>
Tax Parcel(s):	<i>No Data</i>
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting: Suburban

Acreage: *No Data*

Site Description:

May 2018: The building is located at the northwestern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It is positioned on a small hillside ridge with an asphalt parking lot located to its northeast. A parklike landscape frames 1902 Association Drive with grass slopes, a tall yew hedge along the property's southwest elevation, and an assemblage of mature oaks at the property's northeast yard. There are also hydrangea, azalea, boxwood, redbud, and dogwood in beds around the lot. A semi-curvilinear concrete walkway links the property to paved footpaths connecting other buildings within the complex. A rectilinear, poured-concrete walkway leads from the parking lot to the building's primary entrance on the north elevation.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the American Medical Student Association purchased a lot on this campus in 1972 and constructed the building at 1902 Association Drive in 1975. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1902 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Private	<i>No Data</i>

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1975
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	<i>No Data</i>
Number of Stories:	1.0
Condition:	Excellent
Interior Plan:	Irregular
Threats to Resource:	Transportation Expansion

Architectural Description:

May 2018: This is a one-story, multiple-bay office building designed with Miesian influences, particularly the exterior's "skin" of glass and brick, and how the wide expanses of glass unite the building with a natural landscape. The deep overhangs also recall Neo-Formalist influences. The foundation is concrete. The structural system is steel frame. Exterior walls are original dark red and brown brick, laid below the window bands in a stretcher-bond course. The building, rectangular in format with smaller projecting rectangular sections at its northeast and southwest elevations, has a flat roof with a projecting metal cornice and deep soffit. There is a raised clerestory bay at the building's primary and secondary entrances. A continuous band of large, rectangular, double-glazed plate glass windows lines all elevations of this building. Of particular note is the ribbon of 16 windows along the north elevation's projecting section, consisting of four larger windows flanked by six smaller windows at each side. The building's primary entrance on the north elevation is a single asymmetrical bay, with bilevel glass clerestory.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Unknown	No Data
Structural System and Exterior Treatment	Steel Frame	Unknown	Panels
Windows	Fixed	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category:	No Data
Resource Type:	No Data
Architectural Style:	No Data
Form:	No Data
Date of Construction:	No Data
Condition:	No Data
Threats to Resource:	No Data
Architectural Description:	No Data

Historic District Information

Historic District Name:	Association Drive Historic District
Local Historic District Name:	No Data

Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: 'The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston'" (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a "27-acre campus," known in the community as the "Center for Educational Associations" (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

May 2018: An employee who came outside to speak with us mentioned that the building had recently been restored, but exterior remains intact.

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia
Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.
<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	National Association of Secondary School Principals
Function/Location	Office, 1904 Association Drive
Historic	National Association of Secondary School Principals

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1904 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	No Data
Tax Parcel(s):	No Data
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting:	Suburban
Acreage:	No Data

Site Description:

May 2018: The building is located at the southwestern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It is positioned on and within a small hillside ridge. Two asphalt parking lots, one to the north and one to the south, are landscaped with grass medians and mature trees. The landscape framing 1904 Association Drive consists of an open lawn and the arrangement of manicured hedges along the façade elevation and retaining walls, individual shrubs and plantings such as azalea, ivy plantings on the northeastern hillside, and mature oaks and smaller redbuds and dogwoods at a short remove from the building. All entrances are connected by a continuous concrete walkway along the building's northeast, west, and southwest elevations. Existing concrete walkways branching from access walkways link the property to paved footpaths connecting other buildings within the complex.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the National Association of Secondary School Principals purchased a lot on this campus in 1971 and constructed the building at 1904 Association Drive between 1972 and 1973. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. It also has a circa-1998 two-story addition, which partly impacts the original building's integrity of setting. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1904 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Private	No Data

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1972
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	No Data
Number of Stories:	2.0

Condition: Excellent
Interior Plan: Irregular
Threats to Resource: Transportation Expansion

Architectural Description:

May 2018: This is a banked, multiple-bay office building influenced by Brutalism. Built into a hillside, the façade and east end of the building present as one story, while the remaining elevations are two stories. The foundation is concrete. The structural system is masonry. Exterior walls are laid in tan brick stretcher-bond veneer. The building’s main block retains its original irregular footprint, notable for its serial, accordion-like, corners along its northwest and southeast elevations. The building has a flat roof clad in original rubberized/asphalt composite. A narrow metal coping band encircles the roof parapet’s perimeter, below which runs a three-part vertical stretcher-bond frieze delineated by a header brick stringcourse; other parts of the roofline were not visible. Window openings are recessed with a paired and single fenestration pattern. Each window opening has standing-seam metal spandrels and sloping brick paver aprons, and is filled by a narrow, single-pane Insulite mirror glass sash over a lower hopper window, also filled with Insulite. In style, the repetitive bands of recessed narrow window openings are fortress-like and recall Brutalism, although this is a brick building. Located on the east end of the south elevation, the principal entrance, accessed by an open platform/concrete-brick stoop with a small shelter, has paired, pull-through glass and steel doors, possibly replacement. Other building entrances on the north and west elevations are recessed. There is a two-story, side, brick addition off the main block’s northwest elevation, constructed circa 1998 during the tenure of longtime director Scott Thompson; although its footprint is rectangular, it is contextual with the building’s main block, retaining the same brick exterior materials and fenestration; one different feature is the Insulite and steel curtain wall located on the northwest elevation. The 1998 addition is accessed via three concrete walkways to the complex’s west, north, and south elevations.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Parapet	Asphalt	No Data
Structural System and Exterior Treatment	Steel Frame	Brick	Veneer
Windows	Fixed	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category: No Data
Resource Type: No Data
Architectural Style: No Data
Form: No Data
Date of Construction: No Data
Condition: No Data
Threats to Resource: No Data
Architectural Description:
 No Data

Historic District Information

Historic District Name: Association Drive Historic District
Local Historic District Name: No Data

Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first “New Towns” in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. “James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to

Reston: "The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston" (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a "27-acre campus," known in the community as the "Center for Educational Associations" (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

May 2018: The building maintenance supervisor came out and spoke with us--they have blueprints for the original building and a 1998 addition.

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia
Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.
<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	National Council of Teachers of Mathematics
Function/Location	Office, 1906 Association Drive
Historic	National Council of Teachers of Mathematics

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1906 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	No Data
Tax Parcel(s):	No Data
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting:	Suburban
Acreage:	No Data

Site Description:

May 2018: The building is located at the south section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive within the 1960s planned community of Reston. It is on a slight rise with asphalt parking lots located in a vertical format, with a grass median, immediately south of the building. There is also a curvilinear asphalt roadway, at the property's southeast corner, leading to a smaller side parking lot at the building's southeast elevation. Surrounded by parklike landscape, the property's immediate premises have shrubs, small flowering trees, and plantings at its front lawn and southeast elevations, with woodlands and cover plantings along its north and northwest area. The property also has some folding metal benches that appear to possibly date from the period of initial construction. Existing concrete walkways branching from access walkways links the property to paved footpaths connecting other buildings within the complex.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the National Council of Teachers of Mathematics purchased a lot on this campus in 1971 and constructed the building at 1906 Association Drive between 1972 and 1973. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1906 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Private	No Data

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1973
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	Rectangular
Number of Stories:	1.0
Condition:	Excellent
Interior Plan:	No Data

Threats to Resource: Transportation Expansion

Architectural Description:

May 2018: This is a two-story, multiple-bay office building designed with Brutalist and Neo-Expressionist features. The foundation is concrete. The structural system is concrete block. Exterior walls are original tan brick veneer, laid in a stretcher-bond course. The coursing is regularly interspersed on the southeast and northwest elevations by vertical brick pilasters and recessed fenestration. The building has a flat roof that, according to building records, is covered in tar and gravel; sections of the building, however, have single- and double-pitch rooflines sheathed with standing-seam metal. The primary entryway is on the south elevation with a large rectangular cantilevered shelter of aggregate concrete, below which are doubleleaf steel and dark glass pull doors. Window openings are filled with original dark glass, single-pane with steel surrounds, and one-light lower hoppers. Within a recessed center entrance on the southeast and northwest elevations is a round window on each second floor; the latter is stained glass. The north elevation consists of a curtain wall, divided into five vertical units, delineated by vertical brick pilasters, between which are dark glass bands of windows that cover both stories. Below the curtain wall is a low brick and concrete platform with a wavy bond of vertical stretcher bricks.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Other	No Data
Structural System and Exterior Treatment	Masonry	Brick	Stretcher Bond
Windows	Casement	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category: Commerce/Trade
Resource Type: Shed
Architectural Style: Modernist
Form: Rectangular
Date of Construction: 1973
Condition: Excellent
Threats to Resource: Transportation Expansion

Architectural Description:

May 2018: A utility building stands off the east elevation, separated from the main building by a sidewalk. It is clad in brick veneer identical to that of the main building and appears to be contemporary to the primary resource. The building consists of one room with a metal door on its west elevation.

Number of Stories: 1

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Unknown	No Data
Structural System and Exterior Treatment	Masonry	Concrete	Block

Historic District Information

Historic District Name: Association Drive Historic District

Local Historic District Name: No Data

Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the

goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: "The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston" (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a "27-acre campus," known in the community as the "Center for Educational Associations" (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia
Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.
<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	Distributive Education Clubs of America
Function/Location	Office, 1908 Association Drive
Historic	Distributive Education Clubs of America

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1908 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	No Data
Tax Parcel(s):	No Data
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting:	Suburban
Acreage:	No Data

Site Description:

May 2018: The building is located at the south-southeast section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It stands at a slight elevation above the street. The property's parking lot is designed in a circular format, positioned around the building's signature circular half-pillar, and extending to the building's east elevation. Both building and parking lot are screened by flowering trees, small shrubs, lawn, and seasonal plantings.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the Distributive Education Clubs of America (DECA) purchased a lot on this campus in 1971 and hired Benham-Blair-Winesett-Duke of Falls Church to construct the building at 1908 Association Drive in 1976. At the time of construction, DECA's members, which included chapters in Guam, Puerto Rico, and the USVI, were consulted as to how the building's style could reflect the association's overall membership. The building was dedicated on September 29, 1976 (Reston 1976). It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1908 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation:	Recommended Not Eligible
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Ownership

Ownership Category	Ownership Entity
Private	No Data

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1976
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	No Data
Number of Stories:	2.0
Condition:	Good
Interior Plan:	No Data
Threats to Resource:	Transportation Expansion

Architectural Description:

May 2018: This is a two-story, multiple-bay office building designed in the with International Style and Neo-Expressionist influences. Its footprint shows an irregularly configured building, roughly in the form of an inverted "C", with projecting sections at its north, northeast, and west elevations. A signature feature of the building is the tall, projecting curved pillar at its southwestern elevation, emblazoned with the raised letters "D E C A," the association's acronym. The foundation is concrete. The building's structural system is steel frame and concrete. Exterior paneling, from examining loose parts, consists of thin metal plates to which a coating of aggregate pebbles has been fused; these plates are rectilinear, and also curvilinear. The building has a flat roof that, according to building records, has a tar and gravel covering. Fenestration mostly consists of bands of windows, located on the building's west and east elevations; the east elevation has a two-story, parallel band of windows (26 lights at each level), and the west elevation's band of windows, located on the first story, have an overhanging shelter. Window openings are filled by dark glass panes secured by an anodized steel surround. The building's primary entrance on the southwest elevation is sheltered by an extended cantilevered section that links the entrance to the signage pillar, forming an extended shelter between pillar and entrance. Within the shelter, the primary entrance is a steel-and-glass doubleleaf pull door that may be replacement but is still very much in the spirit of the building's style. A recessed secondary entrance is on the building's east elevation and filled by a bilevel dark glass window, below which is a comparable steel-and-glass doubleleaf pull door. Outdoor picnic tables are positioned along the curved terrace at the building's northeast elevation, encased by a concrete and aggregate-pebble terrace wall.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Other	No Data
Structural System and Exterior Treatment	Steel Frame	Concrete	Panels
Windows	Casement	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category: Commerce/Trade
Resource Type: Shed
Architectural Style: Modernist
Form: No Data
Date of Construction: 1976
Condition: Good
Threats to Resource: Transportation Expansion

Architectural Description:

May 2018: Located northwest of the building's entrance is a circular concrete wall with no shelter. This circular concrete structure, sided with a pebble finish like the exterior of the main building, shelters the building's HVAC. Given the curvilinear planes of said building, and the structure's comparable finish, the circular wall fits in with the overall layout and landscape.

Number of Stories: 1

Historic District Information

Historic District Name: Association Drive Historic District
Local Historic District Name: No Data

Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: 'The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles

International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston” (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a “27-acre campus,” known in the community as the “Center for Educational Associations” (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia

Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.

<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	Family, Career and Community Leaders of America
Function/Location	Office, 1910 Association Drive
Historic	Future Homemakers of America

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1910 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	<i>No Data</i>
Tax Parcel(s):	<i>No Data</i>
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting: Suburban

Acreage: *No Data*

Site Description:

May 2018: The building is located at the southeastern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It stands on a slight rise, with an asphalt parking lots located directly between the building and the street. Landscaping on the property includes trees planted in parking lot medians, and mature shrubs, ornamental trees, and mature oaks sited along the building's elevations. There is also a sunken Garden at the rear elevation with concrete steps, forming terraces. The terraces are planted with azalea bushes. This property is linked to graded footpaths connecting other buildings within the complex.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the Future Homemakers of America hired the internationally renowned firm of HOK, then known as Hellmuth, Obata + Kassabaum, to design the building at 1910 Association Drive. It was completed in 1982 and is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1910 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Private	<i>No Data</i>

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1982
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	Rectangular
Number of Stories:	2.0
Condition:	Fair
Interior Plan:	<i>No Data</i>

Threats to Resource: Transportation Expansion

Architectural Description:

May 2018: This is a two-story, multiple-bay office building designed with International Style and Neo-Expressionist influences. The building's footprint combines a polygonal and curvilinear outline, as the building's west, southwest, and south elevations form parts of a curve; at the façade, the curve is more pronounced by that the second floor is cantilevered over the first floor. The foundation is concrete, and the building's structural system is steel frame. The building retains its original exterior wall covering, composed of vertical vitreous enamel steel panels that, with close vertical seams, present a unified exterior shell. The vitreous enamel panels are presently covered by peeling latex paint. Along the east elevation, visible exterior cladding below the building's main exterior wall consists of terra-cotta tiles. The building has a flat roof with a windowless monitor visible from the façade; according to building records, the roof's surface is composed of tar and gravel. Fenestration is uniform and not altered. Windows are original steel, one-light multi-pane casements, arranged as a ribbon on the façade and in parallel paired bands on the west and east elevations. On the façade, there are 23 window openings on the first floor, and 36 on the second floor. Every third window on the façade is a hinged casement window, and the others are fixed. At the east elevation, the building's lower level is visible, with three-part window openings filled by dark glass and steel windows. The building's principal entrance is sheltered beneath triangular cantilevered extension of the second floor. There are three doors on this elevation; the primary entrance is a doubleleaf steel and glass pull door, with a comparable singleleaf secondary entrance located at the facade's west end. Immediately east of the principal entrance and incorporated into the building's footprint is a solarium that appears to be used for conference rooms and meeting rooms. Its roofline is gabled with skylights composed of fixed glass panels secured by steel frames. The north elevation is roughly three bays with the first bay containing only one steel door on the lower level and one casement window on the upper level. The second bay has a band of eight windows and a double door on the lower level and a band of ten windows on the upper. The third bay has a band of five windows on each floor. A patio runs the length of the lower level and overlooks a sunken patio, accessed by the basement level. It is roughly square and runs half the width of the building, featuring a four-tiered concrete garden beds of azaleas and stairs to the ground level. The basement elevation consists of a band of ten floor-to-ceiling, single-light casement windows and two glass double doors. The sunken area is surrounded by steel horizontal round bar railings on three sides.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Solid/Continuous	Concrete	Block
Roof	Flat	Other	No Data
Structural System and Exterior Treatment	Steel Frame	Steel	Panels
Windows	Casement	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category: No Data
Resource Type: No Data
Architectural Style: No Data
Form: No Data
Date of Construction: No Data
Condition: No Data
Threats to Resource: No Data
Architectural Description:

No Data

Historic District Information

Historic District Name: Association Drive Historic District

Local Historic District Name: No Data

Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the

goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: "The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston" (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a "27-acre campus," known in the community as the "Center for Educational Associations" (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia
Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.
<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	Future Business Leaders of America Phi Beta Lambda
Function/Location	Office, 1912 Association Drive
Historic	Future Business Leaders of America Phi Beta Lambda

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1912 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	<i>No Data</i>
Tax Parcel(s):	<i>No Data</i>
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting:	Suburban
Acreage:	<i>No Data</i>

Site Description:

May 2018: The building is located at the southeast section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It stands on a slight rise above the street. An asphalt parking lots located between the building and street, is screened by small trees and shrubs, with a serpentine poured-concrete walkway leading to the building. Around the building are mature evergreen shrubbery, small flowering trees, ground cover, and mature trees. At the building's rear elevation is an open courtyard area paved with gravel and sand and used by employees on break.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the Future Business Leaders Association purchased a lot on this campus in 1981 and constructed the building at 1912 Association Drive in 1991. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 30 years old and does not possess sufficient exceptional individual significance under any NRHP criteria to be considered eligible for listing in the NRHP under Criteria Consideration G, which addresses resources that have achieved significance within 50 years of their initial construction. Because it was built almost ten years after the other buildings in the Postmodern style rather than a Modernist Movement style, it likely would not be considered as a contributing resource to a potential Association Drive Historic District; though, it may attain this status with the passage of time.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Private	<i>No Data</i>

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1991
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Post Modern
Form:	Rectangular
Number of Stories:	1.0
Condition:	Excellent
Interior Plan:	<i>No Data</i>
Threats to Resource:	Transportation Expansion

Architectural Description:

May 2018: This is a banked, one-story, six-bay-by-six-bay Postmodern office building with a nearly square footprint. The foundation is concrete with a brick veneer. The structural system is steel frame and cinder block sheathed in plate glass on four bays of the southwest elevation, all bays of the facade, and wrapping around to the northeast and part of the northwest elevation. It transitions to brick veneer on the rear elevations facing the patio and the section of the northwest elevation, which is largely banked by earth. The bays of the plate-glass walls are defined by simple round precast concrete columns, while the bays of the primarily windowless brick sections are defined by brick pilasters. A precast concrete fascia wraps around the building. The building has a flat roof clad in original rubberized/asphalt composite. Located within the fourth bay of the facade, the square portico consists of concrete steps flanked by precast concretes and a brick platform/stoop sheltered by a hipped standing-seam metal roof. The doors are doubleleaf swinging glass doors with an affixed brass horizontal handrail. Each window on the southwest, southeast, and northeast elevations is in three parts with an upper, smaller spandrel band followed by a large vertical rectangular panel, and then the lower area, which has hopper panels in intervals. A double steel door is located in the first bay at the rear of the southwest elevation, while steel and glass doors are located on the rear facade for access to the patio. The patio is partially surrounded by a low brick wall laid in stretcher bond.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Rubber	No Data
Roof	Parapet	Other	No Data
Structural System and Exterior Treatment	Steel Frame	Concrete	Block
Structural System and Exterior Treatment	Masonry	Stone	Block
Windows	Fixed	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category: No Data
Resource Type: No Data
Architectural Style: No Data
Form: No Data
Date of Construction: No Data
Condition: No Data
Threats to Resource: No Data
Architectural Description:
 No Data

Historic District Information

Historic District Name: Association Drive Historic District
Local Historic District Name: No Data
Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: 'The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning

for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment—in an area of planned development — such as Reston” (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a “27-acre campus,” known in the community as the “Center for Educational Associations” (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia

Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.

<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	National Business Education Association
Function/Location	Office, 1914 Association Drive
Historic	National Business Education Association

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1914 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	No Data
Tax Parcel(s):	No Data
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting:	Suburban
Acreage:	No Data

Site Description:

May 2018: The building is located at the east-southeast section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It stands on a level site adjacent to a rectangular, asphalt parking lot between the building and street. A north-south poured-concrete walkway alongside the building's façade is the property ground's primary walkway, with a secondary, smaller walkway sited along the northwest elevation. The building's entrance features the most actualized landscaping on site, particularly a small retaining wall extending from the primary entrance steps that contains a mature Japanese maple tree. Manicured azalea and evergreen shrubs are planted along the façade elevation; the property at the southwest elevation is wooded. Medians at the parking lot are landscaped with grass lawns, and a few trees.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the National Business Education Association purchased a lot on this campus in 1971 and constructed the building at 1914 Association Drive in 1981. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1914 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation: Recommended Not Eligible

Ownership

Ownership Category	Ownership Entity
Private	No Data

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1981
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	No Data
Number of Stories:	2.0
Condition:	Good
Interior Plan:	No Data
Threats to Resource:	Transportation Expansion

Architectural Description:

May 2018: This is a two-story, multiple-bay office building designed in the with Brutalist and Neo-Expressionist influences, seen with the building's unique pentagonal footprint. The structural system is steel frame. Exterior walls are original dark tan brick, laid in a stretcher-bond veneer. The building has a flat roof clad in original tar and gravel. Above the principal entrance bay, and incorporated into the roofline, is an open triangular lightwell. Fenestration is uniform, with a band of parallel, regularly-spaced windows on the truncated southeast and west-southwest elevations. On the northwest and southwest elevations, the windows are recessed, and set within regular, angled niches. Window openings are filled by original Insulite, one-light sash. On the façade is a single-story, two-bay recessed entrance, accessed by brick steps. The primary entrance on this engaged entry's northeastern wall is filled by a doubleleaf wood-and-glass pull door, and a large Insulite glass panel window. Above the door and panel is a fixed spandrel pane.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Other	No Data
Structural System and Exterior Treatment	Steel Frame	Brick	Stretcher Bond
Windows	Fixed	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category: No Data
Resource Type: No Data
Architectural Style: No Data
Form: No Data
Date of Construction: No Data
Condition: No Data
Threats to Resource: No Data
Architectural Description:
 No Data

Historic District Information

Historic District Name: Association Drive Historic District
Local Historic District Name: No Data

Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: 'The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston'" (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a "27-acre campus," known in the community as the "Center for Educational Associations" (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia

Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.

<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	KED & Associates, LLP
Function/Location	Office, 1916 Association Drive
Historic	National Art Education Association

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1916 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	No Data
Tax Parcel(s):	No Data
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting:	Suburban
Acreage:	No Data

Site Description:

May 2018: The building is located at the east section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. It is partly subterranean and situated within a slope. An asphalt parking lot is sited immediately adjacent to the building's façade, separated from the concrete walkway by raised berms planted with ground cover. As the parcel footprint is small, 1916 Association Drive has little lawn, other than its roof garden, but is nonetheless framed by the tree cover and open lawn of adjoining parcels. Existing concrete walkways branching from access walkways link the property to paved footpaths connecting other buildings within the complex.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the National Art Educational Association purchased a lot on this campus in 1971 and constructed the earth-sheltered building at 1916 Association Drive in 1977. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. Earth-sheltered buildings and other energy saving techniques rose in popularity in the 1970s in response to the Saudi oil embargo and energy crisis. Designed and constructed between 1974 and 1977, the much larger Terraset Elementary School in Reston is likely the first earth-sheltered building not associated with the military completed in Virginia. Constructed the same year, 1916 Association Drive is not yet 50 years old but may have already attained exceptional individual significance to be eligible for listing in the NRHP under Criterion A for association with the environmental movement and Criterion C for architecture, using Criteria Consideration G, which addresses resources that have achieved significance within 50 years of their initial construction. Additionally, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1916 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation:	Recommended Potentially Eligible
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Ownership

Ownership Category	Ownership Entity
Private	No Data

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1977
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	No Data
Number of Stories:	1.0
Condition:	Good

Interior Plan: *No Data*
Threats to Resource: Transportation Expansion

Architectural Description:

May 2018: This is a bermed, one-story, earth-sheltered office building, designed in the Brutalist style with a trapezoidal footprint. The foundation is concrete. The structural system is masonry. It is surrounded on three sides by what appears to be a natural hillside to the southwest and two artificial berms to the northwest and northeast. The building is long and shallow with the façade facing southeast to maximize access to natural light; it is in three parts – two bays articulated by three precast concrete plain round columns, five bays articulated by six precast round pilasters, and two bays also articulated by three concrete columns. These support a wide precast concrete cornice fascia/parapet that has a decorative channeled line to define the bottom third of it and three lines of evenly spaced punctuation. Within the shelter, the soffit is cast-concrete coffering, comparable to other Brutalist-style interior spaces, such as the D.C. Metro. The flat roof is three parts with the two ends covered in a traditional membrane and the larger center portion topped by a membrane and up to a few feet of earth and grass, creating a rooftop lawn that merges with the northwest berm. Two large concrete stacks resembling ocean liner smokestacks enclose two plastic bubble skylights. Windows are original steel, one-light casements. The southwest end of the façade contains a band of floor-to-ceiling, vertical windows secured by steel surrounds, a single glass door, and a windowless section of square slate tiles with a gray concrete grout. The center part of the façade contains another band of windows, a doubleleaf hollow-core steel door with burnished metal pull handles in the second bay, another band of windows, and then a windowless section of gray tiles in the fifth bay. The northeast end of the façade continues with gray square tiles flanked by a single steel door and single floor-to-ceiling glass window. A set of low stairs hugs the building and leads from the concrete walk in front of the façade up the northeast berm to the green roof.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Earth	<i>No Data</i>
Roof	Parapet	Concrete	<i>No Data</i>
Structural System and Exterior Treatment	Masonry	Concrete	Panels
Windows	Fixed	Steel	<i>No Data</i>

Secondary Resource Information

Secondary Resource #1

Resource Category: *No Data*
Resource Type: *No Data*
Architectural Style: *No Data*
Form: *No Data*
Date of Construction: *No Data*
Condition: *No Data*
Threats to Resource: *No Data*
Architectural Description:
No Data

Historic District Information

Historic District Name: Association Drive Historic District
Local Historic District Name: *No Data*
Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first “New Towns” in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

 In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. “James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to

Reston: "The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston" (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a "27-acre campus," known in the community as the "Center for Educational Associations" (http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia
Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.
<https://www.restonmuseum.org/reston-history>

Property Information

Property Names

Name Explanation	Name
Current Name	Multiple Tenants
Function/Location	Office, 1920 Association Drive
Historic	The Council for Exceptional Children

Property Evaluation Status

Not Evaluated
 This Property is associated with the Association Drive Historic District.

Property Addresses

Current - 1920 Association Drive

County/Independent City(s):	Fairfax (County)
Incorporated Town(s):	Reston
Zip Code(s):	20191
Magisterial District(s):	<i>No Data</i>
Tax Parcel(s):	<i>No Data</i>
USGS Quad(s):	VIENNA

Additional Property Information

Architecture Setting:	Suburban
Acreage:	<i>No Data</i>

Site Description:

May 2018: The building is located at the northeastern section of circular Association Drive, immediately south of Dulles Toll Road and north of Sunrise Valley Drive, within the 1960s planned community of Reston. The building is accessed by the cul-de-sac termination of Association Drive, leading to a large, rectangular parking lot screened by mature oaks, and with small grass medians within the lot. The parklike landscape to the west, north, and south frames 1920 Association Drive with open lawns, a few mature trees dotted here and there, and manicured hedges and plantings around the building's perimeter. Existing concrete walkways branching from access walkways link the property to paved footpaths connecting other buildings within the complex.

Surveyor Assessment:

May 2018: An affiliate of the National Education Association, the Council for Exceptional Children constructed the building at 1920 Association Drive in 1973. It is one of ten office buildings, which were built between 1972 and 1991 on what was originally known as the Reston Center for Associations and Educational Institutions. The building is not yet 50 years old and does not possess sufficient significance under any NRHP criteria to be considered individually eligible for listing in the NRHP under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction. However, as part of a well-conceived and planned complex of Modernist buildings deliberately located in the New Town of Reston, 1920 Association Drive may contribute to a potential Association Drive Historic District under Criterion A for Community Planning and Development and Criterion C for Architecture.

Surveyor Recommendation:	Recommended Not Eligible
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Ownership

Ownership Category	Ownership Entity
Private	<i>No Data</i>

Primary Resource Information

Resource Category:	Commerce/Trade
Resource Type:	Office/Office Building
Date of Construction:	1973
Historic Time Period:	The New Dominion (1946 - 1991)
Historic Context(s):	Architecture/Community Planning, Education
Architectural Style:	Modernist
Form:	<i>No Data</i>
Number of Stories:	5.0
Condition:	Good
Interior Plan:	<i>No Data</i>
Threats to Resource:	Transportation Expansion
Architectural Description:	

May 2018: This building is a five-story, multiple-bay office building designed in the Brutalist style with a Postmodern reference to ancient ziggurats. The structural system is steel frame. The foundation is cast concrete and is partly visible. Exterior walls are original cast concrete and original brick veneer. The building's south and west elevations, or "outer" elevations, are a series of terraced, precast concrete balconies with beveled edges and metal rails that rise to the fifth floor. The outer east and north elevations, which are short, are mostly brick with a vertical line of windows between the building's main block and the attached stairwell. The "inner" elevations east and north, forming the inner outline of the "L" footprint, have a center projecting brick bay. The building's principal entrances are located on either side of the projecting brick bay. The building has a flat roof with a prominent, upper middle compartment of the roof that appears to be part of the HVAC or, since it is aligned with the projecting brick bay, possibly the location of the elevator wells. Windows are original steel, 1/1 fixed. All fenestration is basically the same, with each floor level from the main floor having bands of ribbon windows. The primary entryway on the "inner" north elevation is a recessed entrance beneath a series of parallel concrete fascia bands. The entrance bay is filled by doubleleaf steel and glass doors, with the address stenciled in the overhead spandrel.

Exterior Components

Component	Component Type	Material	Material Treatment
Foundation	Not Visible	Concrete	Not Visible
Roof	Flat	Other	No Data
Structural System and Exterior Treatment	Steel Frame	Concrete	Other
Windows	Casement	Steel	No Data

Secondary Resource Information

Secondary Resource #1

Resource Category: No Data
Resource Type: No Data
Architectural Style: No Data
Form: No Data
Date of Construction: No Data
Condition: No Data
Threats to Resource: No Data
Architectural Description:
 No Data

Historic District Information

Historic District Name: Association Drive Historic District
Local Historic District Name: No Data

Historic District Significance: May 2018: Originally known as the Reston Center for Associations and Educational Institutions, the proposed Association Drive Historic District is located within Reston, Virginia, which, with Irvine, California, and Columbia, Maryland, was one of the first "New Towns" in the United States. The New Town Movement was global, and in the U.S., was a reaction to post-World War II haphazard, residential sprawl. Unlike previous planning and zoning movements, the New Town Movement called for the development of a complete, self-sufficient, non-exclusionary community of people who represented diverse socio-economic backgrounds, nationalities, ethnicities, races, and ages several years before the Fair Housing Act. New Towns were to be built on previously undeveloped land, controlled by one private development company, and master planned with clearly delineated boundaries by multi-disciplinary teams, including sociologists. They were to be designed for a minimum of 20,000 people and contain good transportation, public utilities, a wide variety of housing types, business and industry, community facilities, provisions for self-government, and open space and recreation. In 1964 and 1965, Reston was hailed by Ada Louise Huxtable in the New York Times among other regional and national publications.

In 1970, the National Educational Association and ten affiliates purchased 56 acres and fulfilled one of the goals of the Reston Master Plan by bringing quality jobs located within architecturally interesting buildings in a park-like setting. "James D. Gates, Executive Secretary of the National Council of Teachers of Mathematics, and coordinator of the NEA move to Reston, stated the following reasons for coming to Reston: 'The site of the Educational Park, located next to the Dulles Expressway, five miles from Dulles International Airport, adjacent to the Inn and Conference Center and public golf course, was one of our primary reasons for selecting Reston... We were attracted to Reston because of the open space, community facilities and attention given the environment. It affords us flexibility, room for development and planning for the future. Another very important factor is the availability of housing for different income groups. We would like to be able to help provide jobs for people, traditionally bound to the inner city, in a rural environment-in an area of planned development — such as Reston'" (<https://www.restonmuseum.org/reston-history>). By 1989, the original 56-acre parcel is cited as a "27-acre campus," known in the community as the "Center for Educational Associations"

(http://mars.gmu.edu/bitstream/handle/1920/1385/460_53_01.pdf?sequence=1&isAllowed=y).

This complex of ten buildings, constructed between 1972 and 1991, housed the national headquarters of such organizations as the Future Business Leaders Association, the Future Homemakers of America, Inc., the National Art Education Association, and the Council for Exceptional Children. Each building within the office park exhibits a unique combination of Modernist Movement styles, including International Style, Miesian, Brutalism, Neo-Expressionism, and Neo-Formalism, as well as Postmodernism. All buildings contain outdoor terraces surrounded by regionally favored landscaping such as cedars, oak, boxwood, redbud, dogwood, azalea, and ivy and are sited within a park-like setting linked by open lawns and graded and concrete paths. Under Criteria Consideration G, which addresses exceptional resources that have achieved significance within 50 years of construction, this office park is potentially eligible for listing in the NRHP with local significance under Criterion A for Community Planning and Development and Education and Criterion C for Architecture.

CRM Events

Event Type: Survey:Phase I/Reconnaissance

Project Review File Number: 2005-1168
Investigator: Penne Sandbeck
Organization/Company: Thunderbird Archeology, a division of Wetland Studies and Solutions, Inc.
Sponsoring Organization: *No Data*
Survey Date: 5/1/2018
Dhr Library Report Number: *No Data*
Project Staff/Notes:

May 2018: Fieldwork and data analysis was executed by Wetlands Studies and Solutions (WSSI) Principal Architectural Historian Anna Maas, MUEP, and Senior Architectural Historian, Penne S. Sandbeck, MA.

Bibliographic Information

Bibliography:

No Data

Property Notes:

No Data

Project Bibliographic Information:

May 2018: Supplemental Phase I Architectural Survey, Soapstone Connector, Fairfax County, Virginia
Gulf Reston, Inc. A Brief History of Reston, Virginia. [Place of publication not identified]: Gulf Reston, Inc, 1970.
<https://www.restonmuseum.org/reston-history>